



Council Meeting Agenda

APRIL 5, 2017

CITY COUNCIL CHAMBERS

3:30 P.M. Closed Session; 4:30 P.M. Regular Session

201 N. Broadway, Escondido, CA 92025

MAYOR	Sam Abed
DEPUTY MAYOR	John Masson
COUNCIL MEMBERS	Olga Diaz Ed Gallo Michael Morasco
INTERIM CITY MANAGER	Jeffrey Epp
CITY CLERK	Diane Halverson
INTERIM CITY ATTORNEY	Michael McGuinness
DIRECTOR OF COMMUNITY DEVELOPMENT	Bill Martin
DIRECTOR OF ENGINEERING SERVICES	Julie Procopio

ELECTRONIC MEDIA:

Electronic media which members of the public wish to be used during any public comment period should be submitted to the City Clerk's Office at least 24 hours prior to the Council meeting at which it is to be shown.

The electronic media will be subject to a virus scan and must be compatible with the City's existing system. The media must be labeled with the name of the speaker, the comment period during which the media is to be played and contact information for the person presenting the media.

The time necessary to present any electronic media is considered part of the maximum time limit provided to speakers. City staff will queue the electronic information when the public member is called upon to speak. Materials shown to the Council during the meeting are part of the public record and may be retained by the Clerk.

The City of Escondido is not responsible for the content of any material presented, and the presentation and content of electronic media shall be subject to the same responsibilities regarding decorum and presentation as are applicable to live presentations.



Council Meeting Agenda

**April 5, 2017
3:30 P.M. Meeting**

Escondido City Council

CALL TO ORDER

ROLL CALL: Diaz, Gallo, Masson, Morasco, Abed

ORAL COMMUNICATIONS

In addition to speaking during particular agenda items, the public may address the Council on any item which is not on the agenda provided the item is within the subject matter jurisdiction of the City Council. State law prohibits the Council from discussing or taking action on such items, but the matter may be referred to the City Manager/staff or scheduled on a subsequent agenda. (Please refer to the back page of the agenda for instructions.) Speakers are limited to only one opportunity to address the Council under Oral Communications.

CLOSED SESSION: (COUNCIL/SUCCESSOR AGENCY/RRB)

- I. CONFERENCE WITH LABOR NEGOTIATOR (Government Code §54957.6)**
- a. **Agency Negotiator:** Sheryl Bennett and Jeffrey Epp
Employee Organization: Non-Sworn Police Bargaining Unit
 - b. **Agency Negotiator:** Sheryl Bennett and Jeffrey Epp
Employee Organization: Escondido City Employee Association: Administrative/Clerical/Engineering (ACE) Bargaining Unit
 - c. **Agency Negotiator:** Sheryl Bennett and Jeffrey Epp
Employee Organization: Escondido City Employee Association: Supervisory (SUP) Bargaining Unit
- II. CONFERENCE WITH LEGAL COUNSEL-- EXISTING LITIGATION (Government Code 54956.9(d)(1))**
- Case Name:** Southwest Key Programs, Inc. v. City of Escondido
Case No: '15-CV-1115-H (BLM)
- III. CONFERENCE WITH REAL PROPERTY NEGOTIATOR (Government Code §54956.8)**
- a. **Property:** APNs 238-073-06, -17, -038, -49, -50, -51, -52, -57
City Negotiator: Jeffrey Epp, Interim City Manager
Negotiating Parties: Terry Jackson
Under Negotiation: Price and Terms of Agreement

- b. **Property:** Municipal Parking Lot #1, Municipal Parking Lot #2, and APNs 233-091-01 through -17
 - City Negotiator:** Jeffrey Epp, Interim City Manager
 - Negotiating Parties:** Touchstone Communities
 - Under Negotiation:** Price and Terms of Agreement

IV. PUBLIC EMPLOYEE APPOINTMENT AND EVALUATION (Government Code 54957)

- a. City Manager

ADJOURNMENT



Council Meeting Agenda

**April 5, 2017
4:30 P.M. Meeting**

Escondido City Council

CALL TO ORDER

MOMENT OF REFLECTION:

City Council agendas allow an opportunity for a moment of silence and reflection at the beginning of the evening meeting. The City does not participate in the selection of speakers for this portion of the agenda, and does not endorse or sanction any remarks made by individuals during this time. If you wish to be recognized during this portion of the agenda, please notify the City Clerk in advance.

FLAG SALUTE

ROLL CALL: Diaz, Gallo, Masson, Morasco, Abed

PROCLAMATIONS: Earth Day and Earth Awareness Month

PRESENTATIONS: Earth Day Poster Contest Award Presentation

ORAL COMMUNICATIONS

The public may address the Council on any item that is not on the agenda and that is within the subject matter jurisdiction of the legislative body. State law prohibits the Council from discussing or taking action on such items, but the matter may be referred to the City Manager/staff or scheduled on a subsequent agenda. (Please refer to the back page of the agenda for instructions.) NOTE: Depending on the number of requests, comments may be reduced to less than 3 minutes per speaker and limited to a total of 15 minutes. Any remaining speakers will be heard during Oral Communications at the end of the meeting.

CONSENT CALENDAR

Items on the Consent Calendar are not discussed individually and are approved in a single motion. However, Council members always have the option to have an item considered separately, either on their own request or at the request of staff or a member of the public.

1. **AFFIDAVITS OF PUBLICATION, MAILING AND POSTING (COUNCIL/SUCCESSOR AGENCY/RRB)**
2. **APPROVAL OF WARRANT REGISTER (Council/Successor Agency)**
3. **APPROVAL OF MINUTES: A) Regular Meeting of March 15, 2017 B) Regular Meeting of March 22, 2017**

4. **FISCAL YEAR 2016 STATE HOMELAND SECURITY GRANT PROGRAM GRANT ACCEPTANCE AND BUDGET ADJUSTMENT -**

Request the City Council approve accepting \$121,095 in funding from the Department of Homeland Security for the FY16 State Homeland Security Grant Program; authorize the Fire Chief to execute, on behalf of the City, all documents required for the management of this grant; and approve the necessary budget adjustment to establish new projects for tracking of these grant funds.

Staff Recommendation: **Approval (Fire Department: Russ Knowles)**

5. **SENIOR NUTRITION BUDGET ADJUSTMENT**

Request the City Council approve a budget adjustment of \$6,258, resulting from one-time only funds provided by the County of San Diego for the Senior Nutrition Program and authorize the Interim City Manager and Director of Administrative Services to make the necessary budget adjustments to the Senior Nutrition budget.

Staff Recommendation: **Approval (Community Services Department: Loretta McKinney)**

6. **EXTENSION OF TIME FOR TENTATIVE SUBDIVISION MAP 895 (SUB 15-0030) -**

Request the City Council approve a three-year extension of time for an eight-lot single-family residential Tentative Subdivision Map, originally approved as Tract 895, located at 1537 Boyle Avenue.

Staff Recommendation: **Approval (Community Development Department: Bill Martin)**

RESOLUTION NO. 2017-40

7. **CITY OF ESCONDIDO LANDSCAPE MAINTENANCE DISTRICT - PRELIMINARY ENGINEER'S REPORT FOR ZONES 1 THROUGH 38 FOR FISCAL YEAR 2017/2018 -**

Request the City Council approve initiating the proceedings for the annual levy of assessments for the City of Escondido Landscape Maintenance Assessment District for Zones 1 through 38 for Fiscal Year 2017/2018; approve the preliminary Engineer's Report for LMD Zones 1 through 38; and set a public hearing date of May 3, 2017, for LMD Zones 1 through 38.

Staff Recommendation: **Approval (Public Works Department: Ed Domingue)**

A) RESOLUTION NO. 2017-45 B) RESOLUTION NO. 2017-46

8. **ADOPTION OF A NEW DEBT MANAGEMENT POLICY AS REQUIRED FOR STATE APPROVAL OF THE WASTEWATER STATE REVOLVING FUND LOANS -**

Request the City Council approve establishing a Debt Management Policy for the City of Escondido.

Staff Recommendation: **Approval (Finance Department: Sheryl Bennett)**

RESOLUTION NO. 2017-47

9. **SECOND AMENDMENT TO LEASE AGREEMENT WITH ESCONDIDO EDUCATION COMPACT AT 220 SOUTH BROADWAY -**

Request the City Council approve authorizing the Real Property Manager and the City Clerk to execute a Second Amendment to the Lease Agreement with Escondido Education COMPACT at 220 South Broadway.

Staff Recommendation: **Approval (Engineering Services Department: Julie Procopio)**

RESOLUTION NO. 2017-50

10. **CONTINUING EMERGENCY AND NEED TO REPAIR THE SEWER PIPELINE IN GREEN TREE MOBILE HOME ESTATES -**

Request the City Council approve declaring that pursuant to the terms of Section 22050 of the California Public Contract Code, the City Council finds there is a need to continue the emergency action and pass a resolution by four-fifths vote declaring that public interest and necessity demand the expenditure to safeguard life, health, and property.

Staff Recommendation: **Approval (Utilities Department: Christopher W. McKinney)**

RESOLUTION NO. 2017-51

CONSENT – RESOLUTIONS AND ORDINANCES (COUNCIL/SUCCESSOR AGENCY/RRB)

The following Resolutions and Ordinances were heard and acted upon by the City Council/Successor Agency/RRB at a previous City Council/Successor Agency/Mobilehome Rent Review meeting. (The title of Ordinances listed on the Consent Calendar are deemed to have been read and further reading waived.)

CURRENT BUSINESS

11. **CITY COUNCIL RESPONSE TO AB 805 -**

AB 805 would amend various provisions in the California Public Utilities Code to, among other things, require changes to the agency voting weight and membership of the SANDAG board members and would require changes to the board representation and voting weight of MTS and NCTD member agencies.

Staff Recommendation: **None (Mayor Abed and Deputy Mayor Masson)**

12. **CITY COUNCIL RESPONSE TO SB 54 -**

SB 54 would add several provisions to current state law relating to the Standards for Cooperation in United States Immigration and Customs Enforcement Programs including restrictions on the ability of any California law enforcement agency or official to communicate and cooperate with federal, civil, and criminal immigration law enforcement agencies and personnel.

Staff Recommendation: **None (Mayor Abed and Councilmember Morasco)**

13. **2017-2018 DRAFT CITY COUNCIL ACTION PLAN UPDATE -**

Request the City Council review the Draft 2017-2018 City Council Action Plan and provide input regarding strategies aimed at accomplishing goals.

Staff Recommendation: **Provide Direction (City Manager's Office: Jay Petrek)**

FUTURE AGENDA

14. [FUTURE AGENDA -](#)

The purpose of this item is to identify issues presently known to staff or which members of the City Council wish to place on an upcoming City Council agenda. Council comment on these future agenda items is limited by California Government Code Section 54954.2 to clarifying questions, brief announcements, or requests for factual information in connection with an item when it is discussed.

Staff Recommendation: **None (City Clerk's Office: Diane Halverson)**

COUNCIL MEMBERS' SUBCOMMITTEE REPORTS

CITY MANAGER'S UPDATE/BRIEFING

The most current information from the City Manager regarding Economic Development, Capital Improvement Projects, Public Safety and Community Development.

- [CITY MANAGER'S UPDATE -](#)

ORAL COMMUNICATIONS

The public may address the Council on any item that is not on the agenda and that is within the subject matter jurisdiction of the legislative body. State law prohibits the Council from discussing or taking action on such items, but the matter may be referred to the City Manager/staff or scheduled on a subsequent agenda. Speakers are limited to only one opportunity to address the Council under Oral Communications.

ADJOURNMENT

UPCOMING MEETING SCHEDULE

Date	Day	Time	Meeting Type	Location
April 12	-	-	No Meeting	-
April 19	-	-	No Meeting	-
April 26	Wednesday	3:30 & 4:30 PM	Regular Meeting	City Council Chambers
May 3	Wednesday	3:30 & 4:30 PM	Regular Meeting	City Council Chambers

TO ADDRESS THE COUNCIL

The public may address the City Council on any agenda item. Please complete a Speaker's form and give it to the City Clerk. Submission of Speaker forms prior to the discussion of an item is highly encouraged. Comments are generally limited to 3 minutes.

If you wish to speak concerning an item not on the agenda, you may do so under "Oral Communications." Please complete a Speaker's form as noted above.

Nomination forms for Community Awards are available at the Escondido City Clerk's Office or at <http://www.escondido.org/city-clerks-office.aspx>

Handouts for the City Council should be given to the City Clerk. To address the Council, use the podium in the center of the Chambers, STATE YOUR NAME FOR THE RECORD and speak directly into the microphone.

AGENDA, STAFF REPORTS AND BACK-UP MATERIALS ARE AVAILABLE:

- Online at <http://www.escondido.org/meeting-agendas.aspx>
- In the City Clerk's Office at City Hall
- In the Library (239 S. Kalmia) during regular business hours and
- Placed in the Council Chambers (See: City Clerk/Minutes Clerk) immediately before and during the Council meeting.

AVAILABILITY OF SUPPLEMENTAL MATERIALS AFTER AGENDA POSTING: Any supplemental writings or documents provided to the City Council regarding any item on this agenda will be made available for public inspection in the City Clerk's Office located at 201 N. Broadway during normal business hours, or in the Council Chambers while the meeting is in session.

LIVE BROADCAST

Council meetings are broadcast live on Cox Cable Channel 19 and U-verse Channel 99 – Escondido Gov TV. They can also be viewed the following Sunday and Monday evenings at 6:00 p.m. on those same channels. The Council meetings are also available live via the Internet by accessing the City's website at www.escondido.org, and clicking the "Live Streaming –City Council Meeting now in progress" button on the home page.

Please turn off all cellular phones and pagers while the meeting is in session.

**The City Council is scheduled to meet the first four Wednesdays
of the month at 3:30 in Closed Session and 4:30 in Open Session.
(Verify schedule with City Clerk's Office)**

**Members of the Council also sit as the Successor Agency to the CDC, Escondido Joint Powers
Financing Authority and the Mobilehome Rent Review Board.**

**CITY HALL HOURS OF OPERATION
Monday-Friday 8:00 a.m. to 5:00 p.m.**



If you need special assistance to participate in this meeting, please contact our ADA Coordinator at 839-4643. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility.

Listening devices are available for the hearing impaired – please see the City Clerk.

CITY OF ESCONDIDO
March 15, 2017
3:30 P.M. Meeting Minutes
Escondido City Council

CALL TO ORDER

The Regular Meeting of the Escondido City Council was called to order at 3:35 p.m. on Wednesday, March 15, 2017 in the City Council Chambers at City Hall with Mayor Abed presiding.

ATTENDANCE:

The following members were present: Councilmember Olga Diaz, Councilmember Ed Gallo, Deputy Mayor John Masson, Councilmember Michael Morasco, and Mayor Sam Abed. Quorum present.

ORAL COMMUNICATIONS

CLOSED SESSION: (COUNCIL/SUCCESSOR AGENCY/RRB)

MOTION: Moved by Councilmember Diaz and seconded by Councilmember Gallo to recess to Closed Session. Motion carried unanimously.

I. CONFERENCE WITH LEGAL COUNSEL-- EXISTING LITIGATION (Government Code 54956.9(d)(1))

Case Name: Bruce Masten v. City of Escondido
Case No: WCAB Case No. ADJ9988882; ADJ Unassigned; ADJ9660507J

II. CONFERENCE WITH REAL PROPERTY NEGOTIATOR (Government Code §54956.8)

- a. **Property:** Municipal Parking Lot #1, Municipal Parking Lot #2, and APNs 233-091-01 through -17
City Negotiator: Jeffrey Epp, Interim City Manager
Negotiating Parties: Touchstone Communities
Under Negotiation: Price and Terms of Agreement
- b. **Property:** 901 West Washington Avenue
City Negotiator: Jeffrey Epp, Interim City Manager
Negotiating Parties: Prospective Purchasers
Under Negotiation: Price and Terms of Agreement

Deputy Mayor Masson abstained and left the room for items II. a. and II. b.

ADJOURNMENT

Mayor Abed adjourned the meeting at 4:20 p.m.

MAYOR

CITY CLERK

DEPUTY CITY CLERK

CITY OF ESCONDIDO

March 15, 2017
4:30 P.M. Meeting Minutes

Escondido City Council

CALL TO ORDER

The Regular Meeting of the Escondido City Council was called to order at 4:30 p.m. on Wednesday, March 15, 2017 in the City Council Chambers at City Hall with Mayor Abed presiding.

MOMENT OF REFLECTION

Tammy DeArmas led the Moment of Reflection.

FLAG SALUTE

Deputy Mayor Masson led the Flag Salute.

ATTENDANCE:

The following members were present: Councilmember Olga Diaz, Councilmember Ed Gallo, Deputy Mayor John Masson, Councilmember Michael Morasco, and Mayor Sam Abed. Quorum present.

Also present were: Jeffrey Epp, Interim City Manager; Michael McGuinness, Interim City Attorney; Bill Martin, Director of Community Development; Julie Procopio, Director of Engineering Services; Diane Halverson, City Clerk; and Jennifer Ekblad, Deputy City Clerk.

ORAL COMMUNICATIONS

Ed Ehrhart, Escondido, expressed appreciation for the addition of crosswalks at the intersection of El Norte Parkway near Cypress Court.

Scott Graves, Escondido, read a letter addressed to Christopher W. McKinney, Director of Utilities, from the San Pasqual Valley Preservation Alliance regarding water and wastewater rates and growth in the City.

Angelique Bennett, Escondido, requested the City Council adopt legislation to ban puppy mills in the City.

Andrea Cunningham, Escondido, requested the City Council adopt legislation to ban puppy mills in the City.

Jerry Van Leeuwen, Escondido, shared information regarding the upcoming Dancing with the Stars event at the California Center for the Arts, Escondido.

CONSENT CALENDAR

MOTION: Moved by Councilmember Diaz and seconded by Councilmember Morasco to approve the following Consent Calendar items. Motion carried unanimously.

- 1. AFFIDAVITS OF PUBLICATION, MAILING AND POSTING (COUNCIL/SUCCESSOR AGENCY/RRB)**

2. **APPROVAL OF WARRANT REGISTER (Council/Successor Agency)**
3. **APPROVAL OF MINUTES: Regular Meeting of March 1, 2017**

CONSENT – RESOLUTIONS AND ORDINANCES (COUNCIL/SUCCESSOR AGENCY/RRB)

The following Resolutions and Ordinances were heard and acted upon by the City Council/Successor Agency/RRB at a previous City Council/Successor Agency/Mobilehome Rent Review meeting. (The title of Ordinances listed on the Consent Calendar are deemed to have been read and further reading waived.)

PUBLIC HEARINGS

4. **ZONING CODE AMENDMENTS TO RESTRUCTURE THE PLANNED DEVELOPMENT REVIEW PROCESS AND STREAMLINE OTHER DEVELOPMENT REVIEW PROCESSES (AZ 16-0010) -**
Request the City Council approve amendments to Zoning Code Articles 1, 16, 19, 26, 39, 55, 57, and 61; and approve the environmental determination. (File No. 0810-20)

Staff Recommendation: **Approval (Community Development Department: Bill Martin)**

ORDINANCE NO. 2017-03R (First Reading and Introduction)

Bill Martin, Director of Community Development, presented the staff report utilizing a PowerPoint presentation.

Mayor Abed opened the public hearing and asked if anyone would like to speak on this issue in any way.

Jim Simmons, Escondido, thanked staff for their effort in regards to the amendments and spoke in favor of the proposed changes.

Mayor Abed asked if anyone else wanted to speak on this issue in any way. No one asked to be heard. Therefore, Mayor Abed closed the public hearing.

MOTION: Moved by Deputy Mayor Masson and seconded by Councilmember Morasco to approve amendments to Zoning Code Articles 1, 16, 19, 26, 39, 55, 57, and 61; and approve the environmental determination and introduce Ordinance No. 2017-03R. Motion carried unanimously.

CURRENT BUSINESS

5. **APPOINTMENTS TO THE LIBRARY BOARD OF TRUSTEES, COMMUNITY SERVICES COMMISSION, AND PERSONNEL BOARD OF REVIEW -**
Request the City Council ratify the Mayor's recommendation to fill two regular vacancies on the Library Board of Trustees, each for a three-year term, terms to expire on March 31, 2020; one regular vacancy on the Community Services Commission for a youth member to serve a one-year term, term to expire March 31, 2018, and two vacancies on the Personnel Board of Review, terms to expire March 31, 2018. (File No. 0120-10)

Staff Recommendation: **Ratify the Mayor's Appointments (City Clerk's Office: Diane Halverson)**

MOTION: Moved by Mayor Abed and seconded by Deputy Mayor Masson to ratify the Mayor's appointment of Mirek Gorney and Ron Guiles to the Library Board of Trustees. Motion carried unanimously.

MOTION: Moved by Mayor Abed and seconded by Councilmember Gallo to ratify the Mayor's appointment of Maranda Hernandez to the Community Services Commission as a youth member. Motion carried unanimously.

MOTION: Moved by Mayor Abed and seconded by Councilmember Morasco to ratify the Mayor's appointment of Erika Dion to the Personnel Board of Review. Motion carried unanimously.

6. AUTHORIZATION TO ENTER INTO STANDARDIZED AGREEMENTS FOR PURCHASE AND SALE OF RECYCLED WATER FOR AGRICULTURAL USES -

Request the City Council approve authorizing the Director of Utilities to enter into standardized agreements with Agricultural Customers for a transitional potable water rate until recycled water is available. (File No. 0600-10 [A-3213])

Staff Recommendation: **Approval (Utilities Department: Christopher W. McKinney)**

RESOLUTION NO. 2017-41R

Christopher W. McKinney, Director of Utilities, presented the staff report utilizing a PowerPoint presentation.

MOTION: Moved by Councilmember Morasco and seconded by Deputy Mayor Masson to approve authorizing the Director of Utilities to enter into standardized agreements with Agricultural Customers for a transitional potable water rate until recycled water is available and adopt Resolution No. 2017-41R. Motion carried unanimously.

7. UNDERGROUNDING IN LIEU FEE WAIVER REQUEST FOR CENTERPOINTE 78 PROJECT, ADM 13-027 -

Request the City Council approve denying the waiver request based on the requirement of Escondido Municipal Code Section 23-48 and the need for funds to complete undergrounding projects. (File No. 0480-55)

Staff Recommendation: **Approve the Denial of the Waiver Request (Engineering Services Department: Julie Procopio)**

Homi Namdari, Assistant City Engineer, presented the staff report utilizing a PowerPoint presentation.

Jim Simmons, applicant, requested Council approve the request to waive the undergrounding in lieu fee for the Centerpointe 78 Project.

MOTION: Moved by Councilmember Diaz and seconded by Deputy Mayor Masson to approve denying the waiver request based on the requirement of Escondido Municipal Code Section 23-48 and the need for funds to complete undergrounding projects. Ayes: Abed, Diaz, Masson. Noes: Gallo and Morasco. Motion carried.

FUTURE AGENDA

8. FUTURE AGENDA -

The purpose of this item is to identify issues presently known to staff or which members of the City Council wish to place on an upcoming City Council agenda. Council comment on these future agenda items is limited by California Government Code Section 54954.2 to clarifying questions, brief announcements, or requests for factual information in connection with an item when it is discussed.

Staff Recommendation: **None (City Clerk's Office: Diane Halverson)**

COUNCIL MEMBERS' SUBCOMMITTEE REPORTS

Councilmember Gallo provided information regarding a North County Transit District meeting on April 6, 2017 at the Escondido Public Library from 1:00 p.m. – 3:00 p.m.; Maureen Stapleton, Executive Director of San Diego County Water Authority, will be presenting an update from the San Diego County Water Authority at the next City Council meeting.

Deputy Mayor Masson attended a local League of California Cities meeting and discussed potential legislation.

Mayor Abed attended a SANDAG Regional Planning Board meeting and shared information regarding SB 375; Escondido is in line with greenhouse gas reduction target rates.

CITY MANAGER'S UPDATE/BRIEFING

The most current information from the City Manager regarding Economic Development, Capital Improvement Projects, Public Safety and Community Development.

- **CITY MANAGER'S UPDATE -**

ORAL COMMUNICATIONS

ADJOURNMENT

Mayor Abed adjourned the meeting at 6:24 p.m.

MAYOR

CITY CLERK

DEPUTY CITY CLERK

CITY OF ESCONDIDO
March 22, 2017
3:30 P.M. Meeting Minutes
Escondido City Council

CALL TO ORDER

The Regular Meeting of the Escondido City Council was called to order at 3:30 p.m. on Wednesday, March 22, 2017 in the City Council Chambers at City Hall with Mayor Abed presiding.

ATTENDANCE:

The following members were present: Councilmember Olga Diaz, Councilmember Ed Gallo, Deputy Mayor John Masson, Councilmember Michael Morasco, and Mayor Sam Abed. Quorum present.

ORAL COMMUNICATIONS

CLOSED SESSION: (COUNCIL/SUCCESSOR AGENCY/RRB)

Interim City Attorney Michael McGuinness recommended City Council recess to Closed Session and requested the addition of one Closed Session item to the agenda.

MOTION: Moved by Councilmember Morasco and seconded by Councilmember Diaz to add the following item to the Closed Session pursuant to Government Code section 54954.2(b)(2); that the need to take action arose subsequent to the posting of the agenda and to recess to Closed Session. Motion carried unanimously.

I. CONFERENCE WITH LABOR NEGOTIATOR (Government Code §54957.6)

- a. **Agency Negotiator:** Sheryl Bennett and Jeffrey Epp
Employee Organization: Non-Sworn Police Bargaining Unit
- b. **Agency Negotiator:** Sheryl Bennett and Jeffrey Epp
Employee Organization: Escondido City Employee Association: Administrative/Clerical/Engineering Bargaining Unit
- c. **Agency Negotiator:** Sheryl Bennett and Jeffrey Epp
Employee Organization: Escondido City Employee Association: Supervisory Bargaining Unit

II. CONFERENCE WITH LEGAL COUNSEL-- EXISTING LITIGATION (Government Code 54956.9(d)(1))

Case Name: Julia Hernandez v. City of Escondido
Case No: 37-2015-00041588-CU-PO-NC

ADDED ITEM:

- III. CONFERENCE WITH REAL PROPERTY NEGOTIATOR (Government Code §54956.8)**
a. **Property:** Municipal Parking Lot #1, Municipal Parking Lot #2, and APNs 233-091-01 through -17
City Negotiator: Jeffrey Epp, Interim City Manager
Negotiating Parties: Touchstone Communities
Under Negotiation: Price and Terms of Agreement

DEPUTY MAYOR MASSON ABSTAINED AND LEFT THE ROOM FOR ITEM III. a.

ADJOURNMENT

Mayor Abed adjourned the meeting at 4:15 p.m.

MAYOR

CITY CLERK

DEPUTY CITY CLERK

CITY OF ESCONDIDO
March 22, 2017
4:30 P.M. Meeting Minutes

Escondido City Council

CALL TO ORDER

The Regular Meeting of the Escondido City Council was called to order at 4:30 p.m. on Wednesday, March 22, 2017 in the City Council Chambers at City Hall with Mayor Abed presiding.

MOMENT OF REFLECTION

Terese Woll led the Moment of Reflection.

FLAG SALUTE

Councilmember Morasco led the flag salute.

ATTENDANCE:

The following members were present: Councilmember Olga Diaz, Councilmember Ed Gallo, Deputy Mayor John Masson, Councilmember Michael Morasco, and Mayor Sam Abed. Quorum present.

Also present were: Jeffrey Epp, Interim City Manager; Michael McGuinness, Interim City Attorney; Bill Martin, Director of Community Development; Julie Procopio, Director of Engineering Services; Diane Halverson, City Clerk; and Jennifer Ekblad, Deputy City Clerk.

PRESENTATIONS

SAN DIEGO COUNTY WATER AUTHORITY – Issues Update - Maureen Stapleton presented information utilizing a Power Point

ORAL COMMUNICATIONS

Bruce Sims, Escondido, requested the Council pass legislation to prevent third party billing of water and wastewater service fees.

CONSENT CALENDAR

MOTION: Moved by Deputy Mayor Masson and seconded by Councilmember Gallo to approve all Consent Calendar items with the exception of item 6. Motion carried unanimously.

1. **AFFIDAVITS OF PUBLICATION, MAILING AND POSTING (COUNCIL/SUCCESSOR AGENCY/RRB)**
2. **APPROVAL OF WARRANT REGISTER (Council/Successor Agency)**
3. **APPROVAL OF MINUTES: Regular Meeting of March 8, 2017**

4. **HOUSING RELATED PARKS PROGRAM BUDGET ADJUSTMENT -**
Request the City Council approve budget adjustments totaling \$100,797, to reprogram Housing Related Parks (HRP) funds for multiple park projects, using Program Year (PY) 2014 and PY 2015 HRP funds from the Department of Housing and Community Development. (File No. 0430-80)

Staff Recommendation: **Approval (Public Works Department: Ed Domingue)**

5. **BUDGET ADJUSTMENT FOR EMERGENCY PROJECTS -**
Request the City Council approve a budget adjustment to create a Capital Improvement Program project account to fund repair of emergency drainage projects. (File No. 0430-80)

Staff Recommendation: **Approval (Engineering Services Department: Julie Procopio)**

6. **LEASE AGREEMENT WITH ASOCIACION DE CHARROS DE EL CABALLO PARK, AT 3400 VALLEY CENTER ROAD -**
Request the City Council approve authorizing the Real Property Manager and the City Clerk to execute a Lease Agreement with Asociacion de Charros de El Caballo Park, at 3400 Valley Center Road. (File No. 0600-10 [A-2540])

Staff Recommendation: **Approval (Engineering Services Department/Real Property: Julie Procopio)**

RESOLUTION NO. 2017-25

Sergio Contreras, Escondido, expressed appreciation to the Council for renewing the lease with the Asociacion de Charros de El Caballo Park.

MOTION: Moved by Deputy Mayor Masson and seconded by Councilmember Diaz to approve authorizing the Real Property Manager and the City Clerk to execute a Lease Agreement with Asociacion de Charros de El Caballo Park, at 3400 Valley Center Road and adopt Resolution No. 2017-25. Motion carried unanimously.

7. **CONTINUING EMERGENCY AND NEED TO REPAIR THE SEWER PIPELINE ON NORTH HALE AVENUE -**
Request the City Council approve declaring that pursuant to the terms of Section 22050 of the California Public Contract Code, the City Council finds there is a need to continue the emergency action and pass a resolution by four-fifths vote declaring that public interest and necessity demand the expenditure to safeguard life, health, or property. (File No. 0600-10 [A-3208])

Staff Recommendation: **Approval (Utilities Department: Christopher W. McKinney)**

RESOLUTION NO. 2017-42

8. **CONTINUING EMERGENCY AND NEED TO REPAIR THE SEWER PIPELINE IN GREEN TREE MOBILE HOME ESTATES -**
Request the City Council approve declaring that pursuant to the terms of Section 22050 of the California Public Contract Code, the City Council finds there is a need to continue the emergency action and pass a resolution by four-fifths vote declaring that public interest and necessity demand the expenditure to safeguard life, health, or property. (File No. 0600-10 [A-3213])

Staff Recommendation: **Approval (Utilities Department: Christopher W. McKinney)**

RESOLUTION NO. 2017-43

CONSENT – RESOLUTIONS AND ORDINANCES (COUNCIL/SUCCESSOR AGENCY/RRB)

The following Resolutions and Ordinances were heard and acted upon by the City Council/Successor Agency/RRB at a previous City Council/Successor Agency/Mobilehome Rent Review meeting. (The title of Ordinances listed on the Consent Calendar are deemed to have been read and further reading waived.)

9. ZONING CODE AMENDMENTS TO RESTRUCTURE THE PLANNED DEVELOPMENT REVIEW PROCESS AND STREAMLINE OTHER DEVELOPMENT REVIEW PROCESSES (AZ 16-0010) -

Approved on March 15, 2017 with a vote of 5/0 (File No. 0810-20)

ORDINANCE NO. 2017-03R (Second Reading and Adoption)

PUBLIC HEARINGS

10. AMENDING THE REGIONAL TRANSPORTATION IMPROVEMENT PROGRAM AND BUDGET ADJUSTMENT -

Request the City Council approve authorizing an amendment to the Regional Transportation Improvement Program (RTIP) to update programming of TransNet funds, and adjust previously adopted Fiscal Year 2016/17 capital projects budgets; and approve a budget adjustment to reflect a net increase in funding to the FY 2017 Annual Street Resurfacing Program. (File No. 0430-30)

Staff Recommendation: **Approval (Engineering Services Department: Julie Procopio)**

RESOLUTION NO. 2017-36

Michelle Collette, Accountant II, presented the staff report utilizing a PowerPoint presentation.

Mayor Abed opened the public hearing and asked if anyone wanted to speak on the item in anyway. No one asked to be heard. Therefore, Mayor Abed closed the public hearing.

MOTION: Moved by Councilmember Morasco and seconded by Councilmember Diaz to approve authorizing an amendment to the Regional Transportation Improvement Program (RTIP) to update programming of TransNet funds, and adjust previously adopted Fiscal Year 2016/17 capital projects budgets; and approve a budget adjustment to reflect a net increase in funding to the FY 2017 Annual Street Resurfacing Program and adopt Resolution No. 2017-36. Motion carried unanimously.

FUTURE AGENDA

11. FUTURE AGENDA -

The purpose of this item is to identify issues presently known to staff or which members of the City Council wish to place on an upcoming City Council agenda. Council comment on these future agenda items is limited by California Government Code Section 54954.2 to clarifying questions, brief announcements, or requests for factual information in connection with an item when it is discussed.

Staff Recommendation: **None (City Clerk's Office: Diane Halverson)**

COUNCIL MEMBERS' SUBCOMMITTEE REPORTS

Councilmember Gallo reported that North County Transit District will hold a public hearing on May 18, 2017 regarding proposed route changes.

CITY MANAGER'S UPDATE/BRIEFING

The most current information from the City Manager regarding Economic Development, Capital Improvement Projects, Public Safety and Community Development.

- **CITY MANAGER'S UPDATE -**

ORAL COMMUNICATIONS

ADJOURNMENT

Mayor Abed adjourned the meeting at 5:20 p.m.

MAYOR

CITY CLERK

DEPUTY CITY CLERK

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 4

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Rick Vogt, Deputy Fire Chief

SUBJECT: FY16 State Homeland Security Grant Program (SHSGP) Grant Acceptance

RECOMMENDATION:

It is requested that the City Council accept \$121,095 in funding from the Department of Homeland Security (DHS) for the FY16 State Homeland Security Grant Program (SHSGP). It is also requested that the City Council authorize the Fire Chief to execute, on behalf of the City, all documents required for the management of this grant and that the City Council approve the necessary budget adjustment to establish new projects for tracking of these grant funds.

FISCAL ANALYSIS:

The SHSGP is 100 percent federally funded. No matching funds are required and the City will be reimbursed for all expenditures. With the City Council approval, the City will receive a total of \$121,095 and funds will be used for the following items:

- \$60,548 – Strengthen Communications Capabilities: Funds will be used to purchase Project 25 (P25) replacement portable radios for police first responders.
- \$60,547 – Enhance Protection of Critical Infrastructure and Key Resources: Funds will be used to pay for temporary part-time salaries and benefits for a GIS position(s), not to exceed the total grant funding. These part-time GIS employees will be utilized by both Police and Fire Department to provide current and accurate pre-incident maps for all shopping centers, educational facilities, mobile home parks, hospitals, apartments, retirement facilities, and target hazards within the City of Escondido and the Rincon Fire Protection District. This project meets the State's goals by providing up-to-date pre-incident maps to enhance the protection of critical infrastructure.

PREVIOUS ACTION:

On May 14, 2003, the City Council authorized the Fire Chief to participate in the DHS Homeland Security Grant Program. Also the City Council has approved several previous items relating to the SHSGP. Under this multi-year grant program, the City Council has accepted funds from FY02 through

FY15. The most recent City Council action was taken on December 2, 2015, when the City Council authorized the acceptance of the FY15 SHSGP grant.

BACKGROUND:

The SHSGP is multi-year grant program. The City began receiving DHS grant funding in 2003 and funding has continued each subsequent year at varying levels. The FY16 SHSGP is a continuation of Federal funding from the DHS. An example of some items purchased from previous DHS funding for Police and Fire first responders are: personal protective equipment (PPE), breathing apparatus, hazardous material bags, boots, gloves, suits, an explosive detection K-9, thermal imagers, chemical and radiological detection equipment, portable and mobile radios (for Police, Fire and Public Works), surveillance equipment for City Hall, and the Police/Fire Mobile Command Vehicle. In addition, funds have also been used for Emergency Operations Center (EOC) exercises and emergency management training and planning.

SUMMARY:

The SHSGP funds are intended to enhance first responder safety and readiness when responding to acts of terrorism as well as other natural or man-made disasters. Equipment, planning and training monies provided with these grant funds are invaluable and will improve our ability to respond to numerous types of incidents, whether it be an act of terrorism, a major wildland fire or a building collapse caused by a major earthquake. Without these grants a significant amount of funding from the City's General Fund would be required to meet the needs of these unique types of incidents. The FY16 SHSGP funds will be used to continue strengthening and sustaining the City's preparedness capabilities.

Respectfully submitted,



Rick Vogt
Deputy Fire Chief

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 5

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Danielle Lopez, Assistant Director of Community Services
Jilaine Hernandez, Supervisor III

SUBJECT: Senior Nutrition Budget Adjustment

DESCRIPTION OF REQUEST:

It is requested that the City Council approve a budget adjustment of \$6,258, resulting from one-time-only funds provided by the County of San Diego for the Senior Nutrition Program, and authorize the Interim City Manager and Director of Administrative Services to make the necessary budget adjustments to the Senior Nutrition budget.

RECOMMENDATION:

Approval

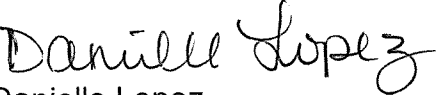
FISCAL ANALYSIS:


The \$6,258 budget adjustment to the Nutrition budget will enable staff to purchase 20 dining tables with a storage cart with no impact to the General Fund.

BACKGROUND:

The City of Escondido Older Adult Services Division received a grant in July 2016 from the County of San Diego to offset the costs of the Senior Nutrition Program. On March 6, 2017, the County notified staff that the Program would receive one-time-only money, in the amount of \$6,258, for the purchase of equipment. Specifically, this money will provide 20 dining tables with a storage cart for Nutrition Program operations.

Respectfully submitted,


Danielle Lopez
Assistant Director of Community Services


Jilaine Hernandez
Supervisor III

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Orcl No. _____

Agenda Item No.: 6

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council
FROM: Bill Martin, Director of Community Development
SUBJECT: Extension of Time for Tentative Subdivision Map 895 (SUB15-0030)

STAFF RECOMMENDATION:

It is requested that the City Council adopt Resolution No. 2017-40, approving a three-year extension of time for an 8-lot single-family residential Tentative Subdivision Map.

PLANNING COMMISSION RECOMMENDATION:

The requested extension of time does not require consideration by the Planning Commission because Section 32.210.02.A of the Escondido Subdivision Ordinance states that time extensions shall be granted or denied by the original approval body, which was the City Council.

PROJECT DESCRIPTION:

A request for a three-year Extension of Time for a previously approved eight-lot Tentative Subdivision Map (TR 895) on approximately 5.24 acres of land within the RE-20 zone (Single-Family Residential Estate, 20,000 SF min. lot size). The proposed lots range in size from approximately 20,086 SF to 33,289 SF. The project also includes dedication of street right-of-way, a 10-foot-wide sewer easement between lots 1 and 2, a 15-foot-wide maintenance access easement between lots 4 and 5, a Landscape Maintenance District responsible for the entry and drainage area landscaping, a 20-foot-wide off-site drainage maintenance access easement, and improvements including a drain pipe to be maintained by the subdivision's homeowner's association installed across four off-site County properties between the subdivision boundary and the existing drainage structure to the south under Birch Way.

LOCATION:

On the southern side of East Boyle Avenue between Paul Way and Rose Street, addressed as 1537 Boyle Avenue (APN 234-460-1000).

FISCAL ANALYSIS:

The project will pay all applicable development fees and install improvements in conformance with City standards

GENERAL PLAN ANALYSIS:

The General Plan land use designation on the property involved with this project is Estate II, which allows up to two dwelling units per acre. The project density for the 8-lot subdivision is 1.82 du/acre which conforms with the Estate II designation.

ENVIRONMENTAL REVIEW:

In conformance with the California Environmental Quality Act (CEQA), a Negative Declaration (City Log No. ER 2004-32) was issued on April 26, 2006. In accordance with CEQA Section 15162, it has been determined that no new substantial changes to the project or new significant environmental effects or new information of substantial importance has come to light requiring the preparation of a subsequent Negative Declaration or addendum for the project.

BACKGROUND:

On May 24, 2005, the Planning Commission voted 6-0 (Caster absent) to recommend approval of the proposed Annexation, Prezone and Tentative Subdivision Map. Several residents spoke at the hearing. Their comments and the Commission's discussion centered around the proposed annexation, whether the sewer design preserved opportunities for future connection, and potential view blockage issues relating to the proposed grading. The Commission also heard concerns expressed by adjacent Alapat Drive residents regarding the size and proximity of future single-family homes within the proposed subdivision. The Commission did not limit future units to one-story since the proposed pads for lots 2, 3 and 4 would be up to 20 feet lower than adjacent residences along Alapat Drive.

The project was reviewed by the City Council on June 22, 2005. At that time a number of County residents expressed concern regarding drainage issues that had not been raised at the Planning Commission meeting. Many felt the proposed detention basin and other on-site improvements would not adequately address runoff issues. The City Council voted to continue the item to allow the applicant and the City Engineering Department opportunity to resolve drainage issues.

A neighborhood meeting was held November 17, 2005, to review the applicant's revised design that proposed drainage improvements extending southward into the County across four private properties to the drainage structure existing under Birch Way (a private road). The applicant agreed to secure easements from the four County property owners to install the necessary drainage improvements. On May 24, 2006, the City Council approved the Annexation, Prezone, and Tentative Subdivision Map.

ANALYSIS:

The eight-lot subdivision would be in conformance with the allowable yield and density within the Estate II land-use designation. The subdivision would be compatible with the surrounding County development pattern with regard to lot size, access, and orientation. Adequate access and public utilities/services can be provided to the site. The size and configuration of the lots can support a reasonable sized single-family residential home, garage, and usable open space areas.

The plans submitted with this request were reviewed by the City's Engineering Department. They have determined that the plans adequately address the existing off-site drainage issues for which the County has to date offered no remedy. Staff believes the applicant has met all of the requirements of the code and also has provided a drainage solution with improvements both on- and off-site to benefit County residents on adjacent properties downhill of the project.

SUMMARY:

Staff believes the current Certified Tentative Map conforms to the General Plan, Zoning Code requirements and CEQA provisions, and is in substantial conformance with the originally approved Tentative Subdivision Map. The applicant has agreed to abide by the original map's Conditions of Approval. The applicant also has agreed to abide by any new storm water design requirements that would apply to the project. Prior to acceptance of the Final Map, all offsite easements shall be secured and maintenance agreements for the storm water system, storm water treatment and hydro modification facilities would need to be executed by the developer. Therefore, staff recommends the requested three-year extension of time be approved, as reflected in the Council Resolution.

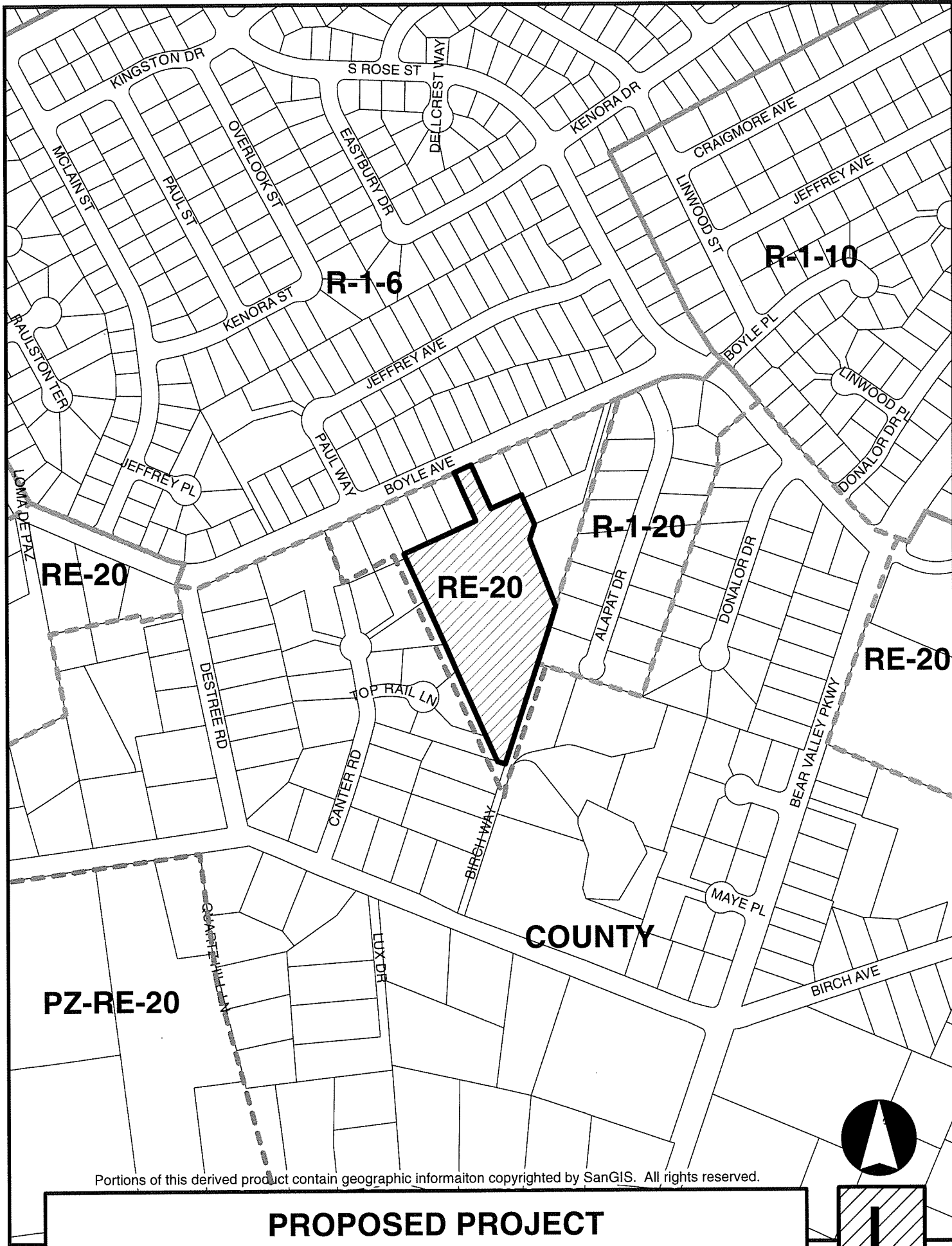
Respectfully Submitted,



Bill Martin
Director of Community Development



Paul K. Bingham
Assistant Planner II

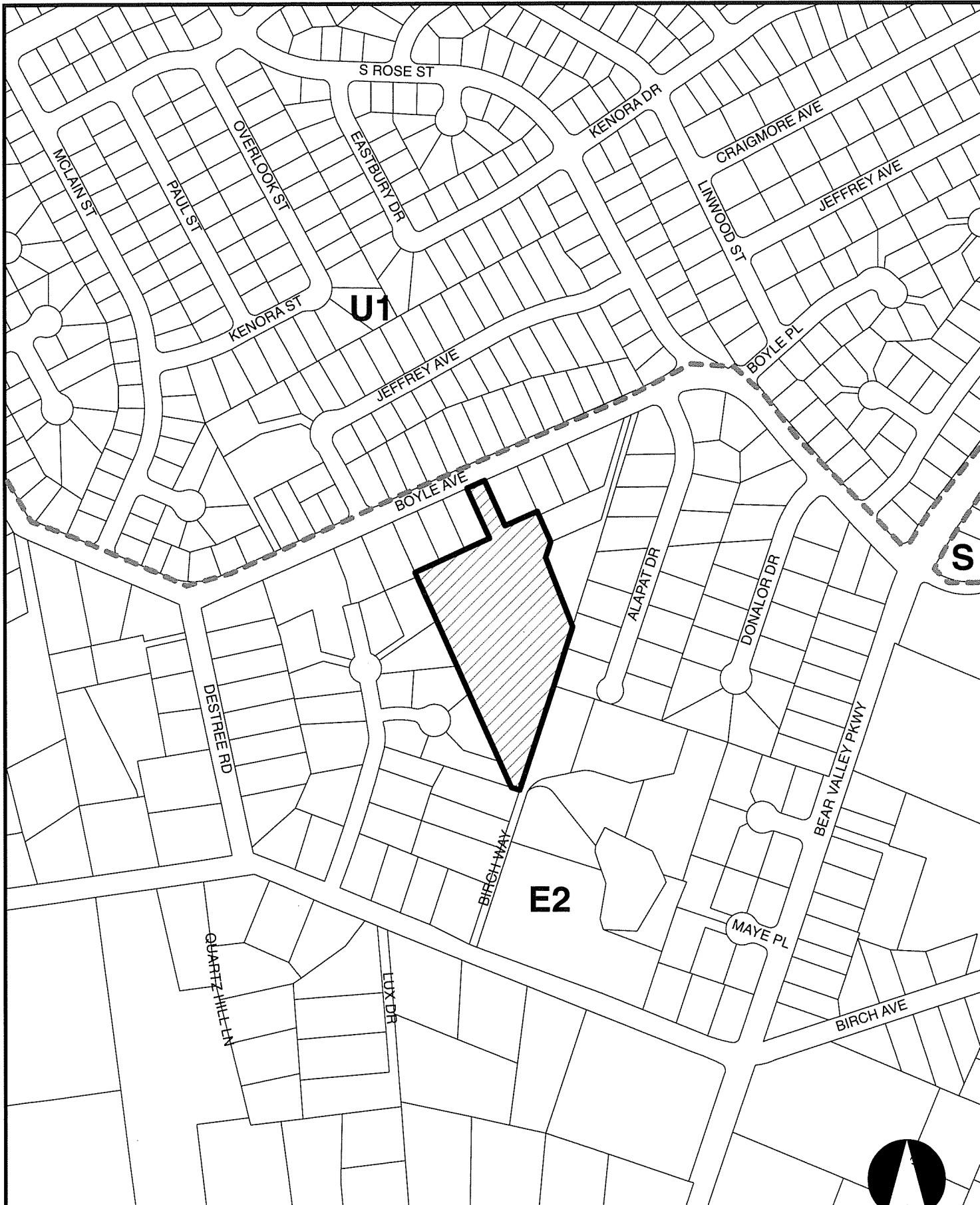


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**PROPOSED PROJECT
SUB 15-0030 (TR 895)**



LOCATION/ZONING



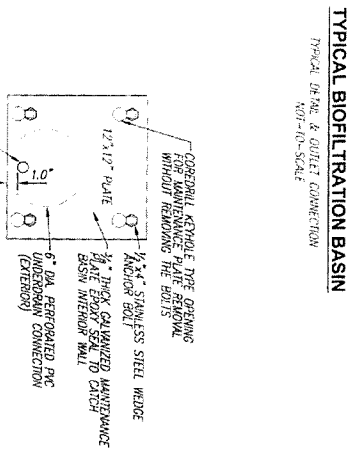
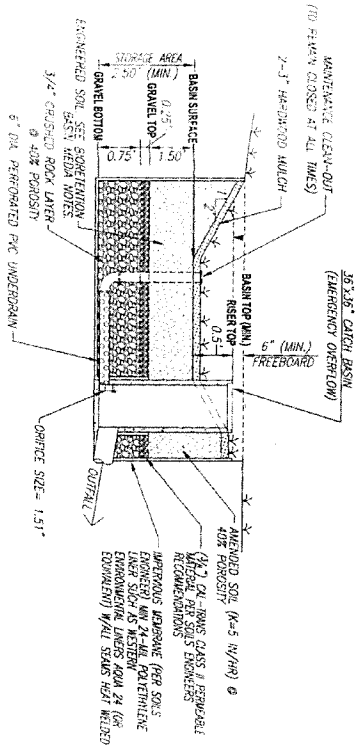
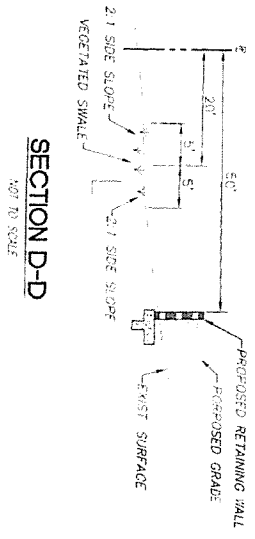
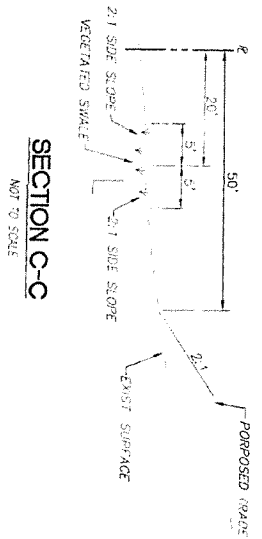
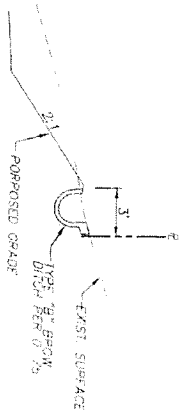
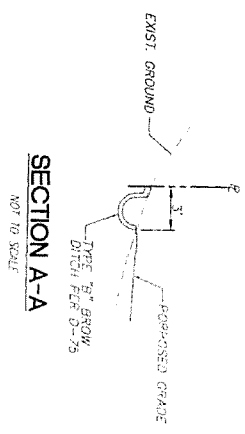
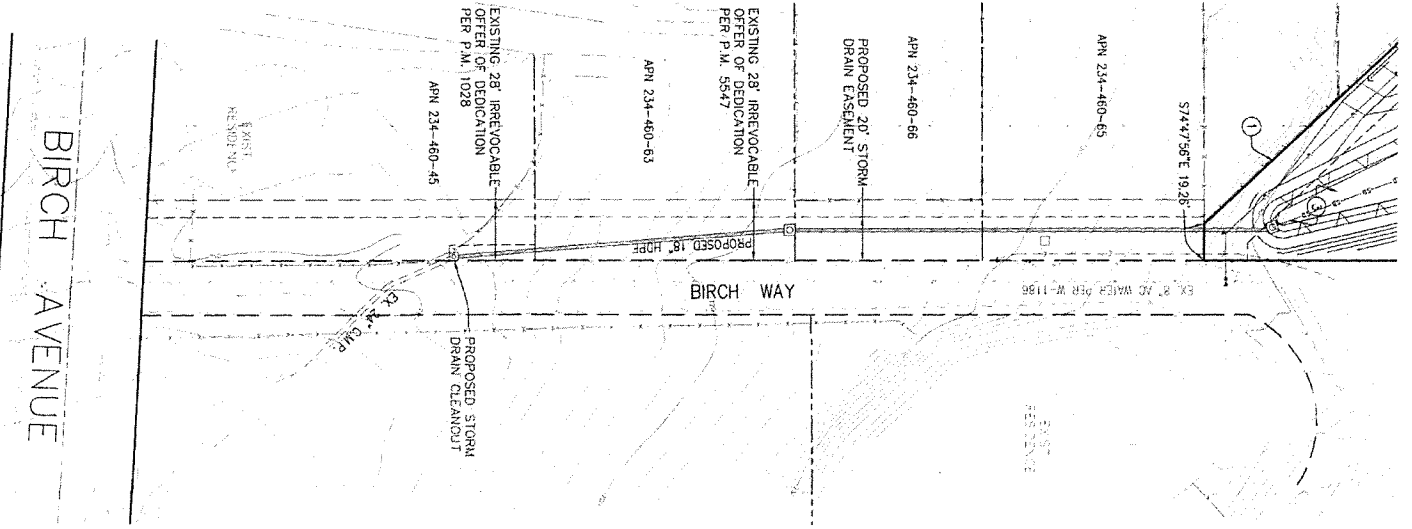
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TENTATIVE SUBDIVISION MAP
SUB 15-0030 (TR 895)



GENERAL PLAN

TENTATIVE MAP OF THE CITY OF ESCONDIDO TRACT NO. 895



BIOFILTRATION BASIN MEDIA

18\"/>

SURFACE VEGETATION

12\"/>

**PROPOSED PROJECT
SUB 15-0030 (TR 895)**



TENTATIVE MAP

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: _____

Date: May 24, 2006

TO: Honorable Mayor and Members of the City Council
FROM: Jonathan H. Brindle, Director of Planning
SUBJECT: Annexation, Prezone, and Tentative Subdivision Map on Boyle Avenue (2004-03-AN, 2004-58-PZ, Tract 895, ER 2004-32)

PLANNING COMMISSION RECOMMENDATION:

On May 24, 2005, the Planning Commission voted 6-0 (Caster absent) to recommend approval of the project.

STAFF RECOMMENDATION:

It is requested that Council approve the proposed Annexation, Prezone and Tentative Subdivision Map as recommended by the Planning Commission by adopting ORD 2006-02 and RESO 2006-05.

PROJECT DESCRIPTION/BACKGROUND:

A proposed annexation of 9.35 acres to the City of Escondido involving ten properties and pre zoning of the entire area to RE-20 (Residential Estate, 20,000 SF min. lot size). Also proposed is an associated Tentative Subdivision Map for 8 single-family residential lots on 5.24 acres within the annexation area. Proposed lot sizes range from approximately 20,086 SF to 33,289 SF. The subdivision includes necessary road right-of-way, a 10-foot-wide sewer easement between lots 1 and 2, a 15-foot-wide maintenance access easement between lots 4 and 5, a Landscape Maintenance District responsible for the entry and drainage area landscaping, a 20' wide off-site drainage maintenance access easement, and improvements including a drain pipe to be maintained by the subdivision's homeowner's association installed across four off-site County properties between the subdivision boundary and the existing drainage structure to the south under Birch Way. Annexation of the territory also involves five (5) single-family properties, all of which are consenting to annex. Annexation to the City includes detaching from the County Communication District and Rincon Municipal Water and Fire Improvement Districts.

LOCATION:

On the southern side of East Boyle Avenue between Paul Way and Rose Street, addressed as 1461 through 1545, 1603, 1627 & 1635 Boyle Avenue (APN 234-460-02, -04 through -10, -59 & -62).

ENVIRONMENTAL STATUS:

A revised Negative Declaration, City Log No. ER 2004-32 was issued on April 26, 2006. In staff's opinion, no significant issues remain unresolved through compliance with code requirements and the recommended conditions of approval. The project will have a de minimus impact on fish and wildlife resources as no sensitive or protected habitat occurs on-site or will be impacted by the proposed development.

FISCAL ANALYSIS:

The project will pay all applicable development fees and install improvements in conformance with City standards.

GENERAL PLAN ANALYSIS:

The General Plan land use designation on the properties involved with this proposal is Estate II, which allows up to two dwelling units per acre. The project density for the proposed subdivision is 1.82 du/acre which conforms with the Estate II designation. Therefore, no General Plan consistency issues exist.

PREVIOUS ACTION:

The project was reviewed by the City Council on June 22, 2005. At that time a number of County residents expressed concern regarding drainage issues that had not been raised at the Planning Commission meeting. Many felt the proposed detention basin and other on-site improvements would not adequately address runoff issues. The Council voted to continue the item to allow the applicant and the City Engineering Department opportunity to resolve drainage issues. A neighborhood meeting was held to review the applicant's revised design on November 17, 2005 that proposed drainage improvements extending southward into the County across four private properties to the drainage structure existing under Birch Way (a private road). The applicant is in the process of securing easements from the four County property owners to install the necessary improvements.

PLANNING COMMISSION RECOMMENDATION AND SUMMARY:

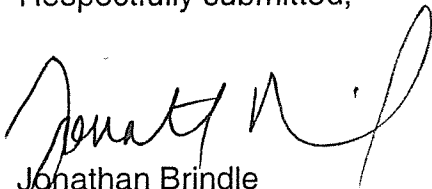
On May 24, 2005, the Planning Commission voted 6-0 (Caster absent) to recommend approval of the proposed annexation, prezone and tentative subdivision map. Several residents spoke at the hearing. Their comments and the Commission's discussion centered around the proposed annexation, whether the sewer design preserved opportunities for future connection, and potential view blockage issues relating to the proposed grading. The Commission also heard concerns expressed by adjacent Alapat Drive residents regarding the size and proximity of future single-family homes within the proposed subdivision. The Commission did not limit future units to one-story since the proposed pads for lots 2, 3 and 4 would be up to 20 feet lower than adjacent residences along Alapat Drive.

ANALYSIS:

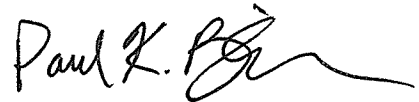
The proposed eight-lot subdivision would be in conformance with the allowable yield and density within the Estate II land-use designation. The proposed subdivision would be compatible with the surrounding County development pattern with regard to lot size, access, and orientation. Adequate access and public utilities/services could be provided to the site. The size and configuration of the lots could support a reasonable sized single-family residential home, garage, and usable open space areas.

The revised drainage plans have been reviewed by the City's Engineering Department and were found to adequately address the neighbors' concerns including solving some existing off-site drainage issues for which the County has offered no remedy. Staff feels the applicant has met or exceeded all of the requirements of the code, has accommodated other neighboring property owners wishing to join the annexation request to do so late in the process, and also has provided a drainage solution with improvements both on- and off-site to benefit County residents on adjacent properties downhill of the project.

Respectfully submitted,



Jonathan Brindle
Director of Planning



Paul K. Bingham
Assistant Planner II

CITY OF ESCONDIDO

**SUBSEQUENTLY ADDED
TO ANNEXATION REQUEST**

**INCLUDED IN ORIGINAL
ANNEXATION SUBMITTAL**

**APPLICANT'S
PROPOSED
8-LOT
SUBDIVISION**

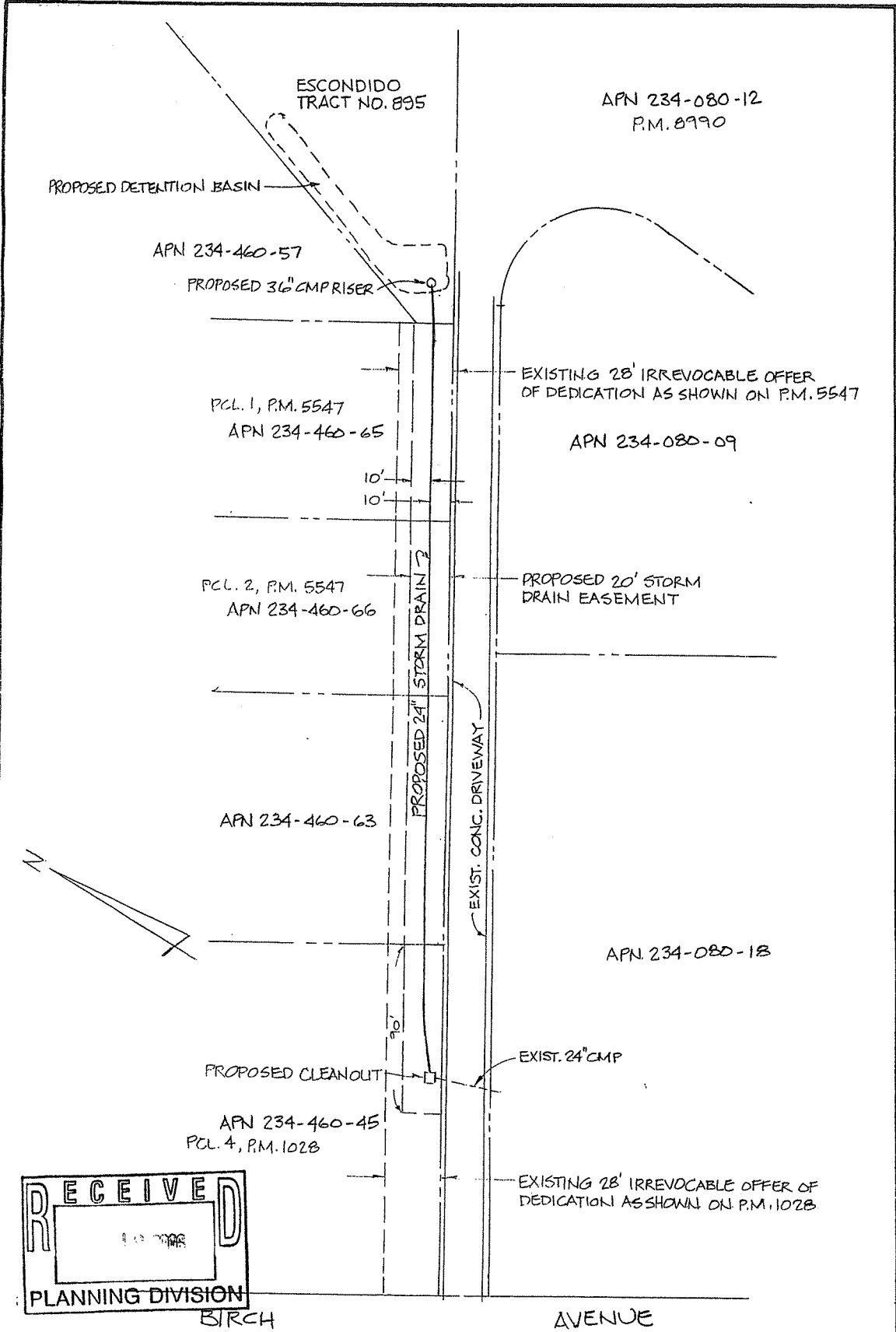
**OFF-SITE DRAINAGE
EASEMENT & PIPE**

COUNTY



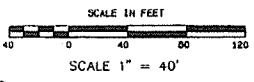
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**PROPOSED SUBDIVISION, PREZONE,
AND ANNEXATION
TRACT 895, 2004-58-PZ & 2004-03-AN**



SCALE 1" = 60' ±	SPEAR & ASSOCIATES, INC. CIVIL ENGINEERING AND LAND SURVEYING 475 PRODUCTION STREET SAN MARCOS, CA 92078 (760) 736-2040 • FAX (760) 736-4866	JOB NO. 04-166
DATE 4/13/06		DWG NO.
DRN. D.F. CK.		

TENTATIVE MAP OF CITY OF ESCONDIDO TRACT NO.



ASSESSOR'S PARCEL NO.
234-490-10

LEGAL DESCRIPTION
A PORTION OF LOT "C" OF THE RESUBDIVISION OF BLOCK 190 OF THE RANCHO ANTONIO DEL VALLE IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1427 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, APRIL 4, 1912.

- NOTES
- UNDERGROUND WATERPROOF PROTECTION FOR DOWNSIDE DRAIN PROPERTIES.
 - ENTRY PARKWAYS TO PROJECT TO BE LANDSCAPED WITH MAINTENANCE BY CITY LANDSCAPE DISTRICT.
 - LANDSCAPED DETENTION BASIN TO BE MAINTAINED BY CITY LANDSCAPE DISTRICT.

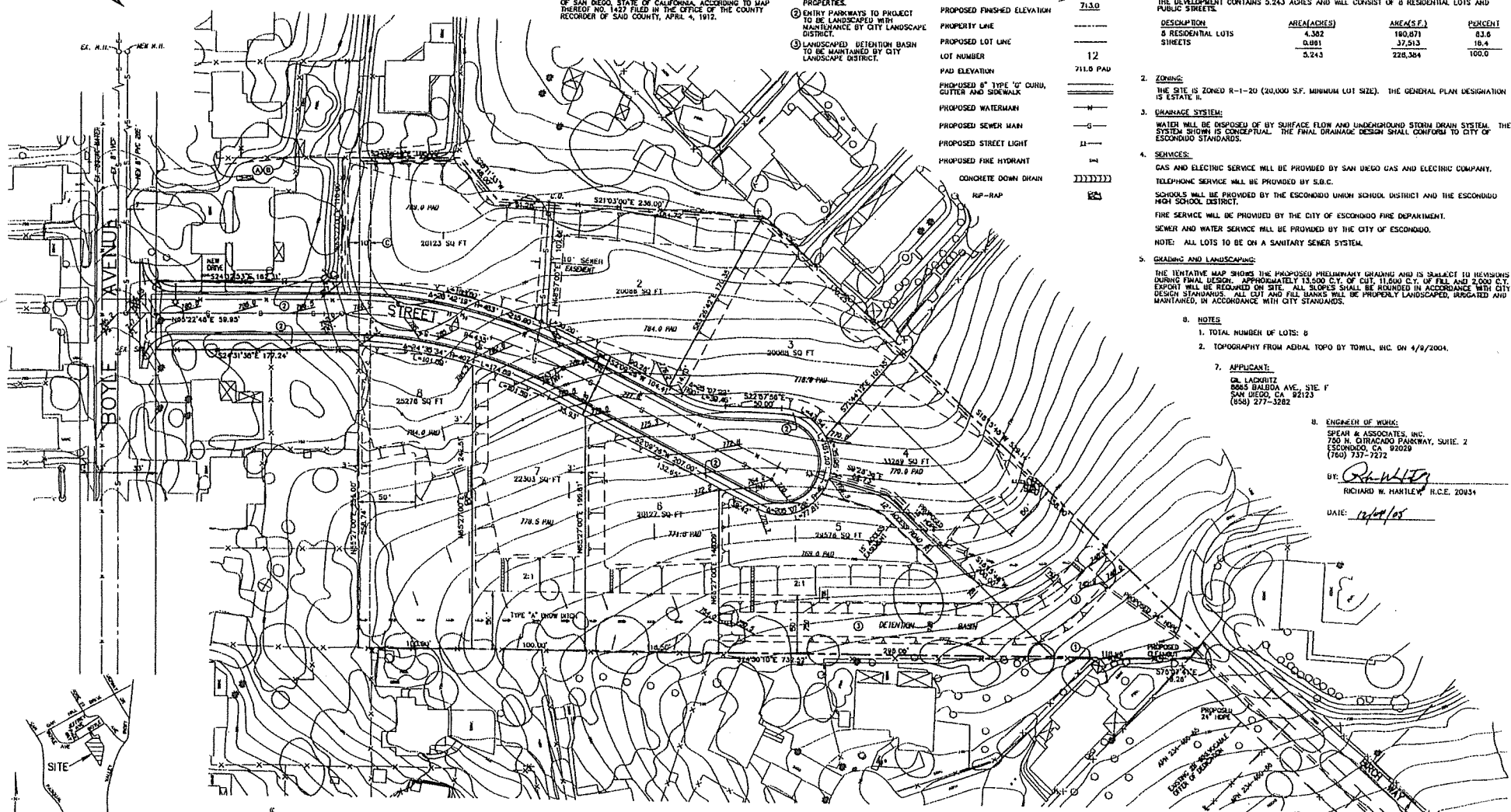
LEGEND

EXISTING CONTOUR LINE	-10-
PROPOSED FINISHED ELEVATION	71.0
PROPERTY LINE	---
PROPOSED LOT LINE	---
LOT NUMBER	12
PAD ELEVATION	711.0 PAU
PROPOSED 8" TYPE 'U' CURB, GUTTER AND SIDEWALK	=====
PROPOSED WATERMAIN	—W—
PROPOSED SEWER MAIN	—S—
PROPOSED STREET LIGHT	—L—
PROPOSED FIRE HYDRANT	—H—
CONCRETE DOWN DRAIN	
RP-RAP	====

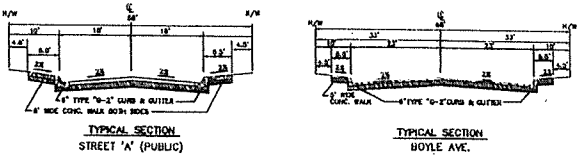
- GENERAL NOTES
- DESCRIPTION OF PROJECT:**
THE DEVELOPMENT CONTAINS 0.243 ACRES AND WILL CONSIST OF 8 RESIDENTIAL LOTS AND PUBLIC STREETS.

DESCRIPTION	AREA (ACRES)	AREA (S.F.)	PERCENT
8 RESIDENTIAL LOTS	4.382	180,871	83.6
STREETS	0.091	37,513	16.4
	5.243	228,384	100.0

 - ZONING:**
THE SITE IS ZONED R-1-20 (20,000 S.F. MINIMUM LOT SIZE). THE GENERAL PLAN DESIGNATION IS ESTATE II.
 - DRAINAGE SYSTEM:**
WATER WILL BE DISPOSED OF BY SURFACE FLOW AND UNDERGROUND STORM DRAIN SYSTEM. THE DESIGN SYSTEM IS CONCEPTUAL. THE FINAL DRAINAGE DESIGN SHALL CONFORM TO CITY OF ESCONDIDO STANDARDS.
 - SERVICES:**
GAS AND ELECTRIC SERVICE WILL BE PROVIDED BY SAN DIEGO GAS AND ELECTRIC COMPANY. TELEPHONIC SERVICE WILL BE PROVIDED BY S.B.C. SCHOOLS WILL BE PROVIDED BY THE ESCONDIDO UNION SCHOOL DISTRICT AND THE ESCONDIDO HIGH SCHOOL DISTRICT. FIRE SERVICE WILL BE PROVIDED BY THE CITY OF ESCONDIDO FIRE DEPARTMENT. SEWER AND WATER SERVICE WILL BE PROVIDED BY THE CITY OF ESCONDIDO.
NOTE: ALL LOTS TO BE ON A SANITARY SEWER SYSTEM.
 - GRADING AND LANDSCAPING:**
THE TENTATIVE MAP SHOWS THE PROPOSED PRELIMINARY GRADING AND IS SUBJECT TO REVISIONS DURING FINAL DESIGN. APPROXIMATELY 13,500 C.Y. OF CUT, 11,500 C.Y. OF FILL AND 2,000 C.Y. OF EXPORT WILL BE REQUIRED ON SITE. ALL SLOPES SHALL BE IN ACCORDANCE WITH CITY DESIGN STANDARDS. ALL CUT AND FILL BANKS WILL BE PROPERLY LANDSCAPED, GRASSED AND MAINTAINED, IN ACCORDANCE WITH CITY STANDARDS.



- NOTES**
 - TOTAL NUMBER OF LOTS: 8
 - TOPOGRAPHY FROM AERIAL TOPO BY TORILL, INC. ON 4/9/2004.
- APPLICANT:**
DR. LACKRITZ
8845 BALBOA AVE., STE. F
SAN DIEGO, CA 92123
(619) 277-3282
- ENGINEER OF WORKS:**
SPEAR & ASSOCIATES, INC.
750 N. GIRACADO PARKWAY, SUITE 2
ESCONDIDO, CA 92029
(760) 237-7272
BY: *Richard W. Hartley*
RICHARD W. HARTLEY, R.C.E. 20434
DATE: 12/12/05



- EASEMENTS
- AN EASEMENT FOR PIPELINES AND DITCHES IN FAVOR OF ESCONDIDO IRRIGATION DISTRICT REC. 8-1-1895 IN BOOK 230, PAGE 539 O.R. (NOT PLOTTABLE)
 - AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY REC. 2-14-1850 IN BOOK 352A, PAGE 339 O.R.
 - AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY REC. 4-8-1955 IN BOOK 509D, PAGE 308 O.R.
 - AN EASEMENT FOR PIPELINES, INGRESS AND EGRESS, IN FAVOR OF ESCONDIDO MUNICIPAL WATER COMPANY REC. 12-10-1939 IN BOOK 637A, PAGE 514 O.R.
- * NO WIDTH SPECIFIED FOR EASEMENT. EASEMENT INCLUDES THE RIGHT TO TRIM TREES WHICH COULD IMPACT SUBJECT PROPERTY.

(SEE SHEET 2)

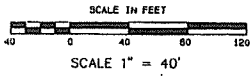
WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNER OF THE PROPERTY SHOWN ON THE TENTATIVE SUBDIVISION MAP AND THAT SAID MAP SHOWS ALL OUR CONTIGUOUS OWNERSHIP IN WHICH WE HAVE ANY DEED OF TRUST INTEREST. WE UNDERSTAND THAT OUR PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROAD, STREET'S UTILITY EASEMENTS, OR RAILROAD RIGHTS-OF-WAY.

DR. LACKRITZ AND VERA A. LACKRITZ
8845 BALBOA AVE., STE. F
SAN DIEGO, CA 92123
(619) 277-3282

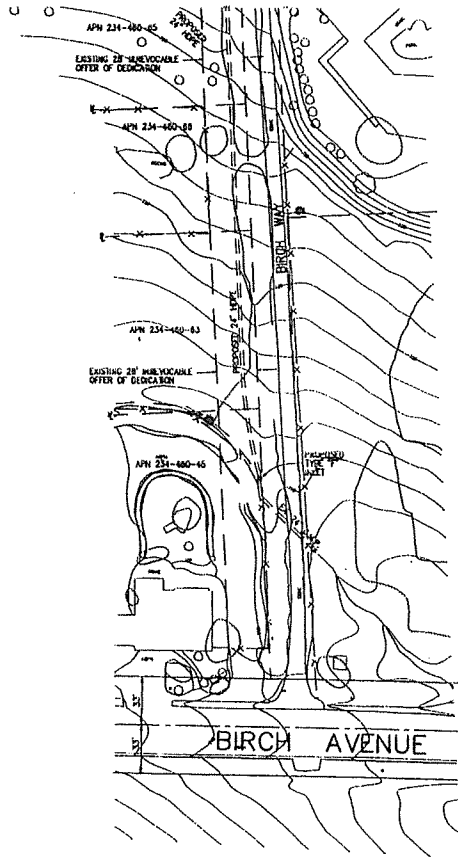
BY: *Vera A. Lackritz*
VERA A. LACKRITZ
REVISED 12/12/05

DEC 12 2005

TENTATIVE MAP OF CITY OF ESCONDIDO TRACT NO.



(SEE SHEET 1)



DEC 12 2005

EXHIBIT "B"

CONDITIONS OF APPROVAL TR 895

General

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Division, Director of Building, and the Fire Chief.
2. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees, commissioners, or board members assume responsibility for the accuracy of said legal description.
3. Fire hydrant spacing and location must be approved by the Fire Department. The number, timing and minimum GPM fire flow shall be coordinated with the Fire Chief.
4. Any blasting within the City of Escondido is subject to the provisions of Ordinance No. 95-6 and a Blasting Permit must be obtained from the Escondido Fire Department. If blasting occurs, verification of a San Diego County Explosive Permit and a policy or certificate of public liability insurance shall be filed with the Fire Chief and City Engineer prior to any blasting within the City of Escondido.
5. Access for use of heavy fire fighting equipment, as required by the Fire Chief, shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshall.
6. All required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
7. All habitable buildings within the proposed subdivision shall be noise-insulated to maintain interior noise levels not to exceed 45 dBA or less. A final interior noise assessment shall be submitted with the building plans demonstrating compliance with the interior noise requirements. Recommendation of the study shall be included in the building plans.
8. The location of proposed fences and walls shall be indicated on the grading, building and landscape plans, and design, color and material of the walls indicated on the building and landscape plans.
9. All requirements of the Public Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program
10. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75).
11. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Planning and Building.
12. Prior to obtaining building permits, the applicant shall demonstrate compliance with the requirements of the Citywide Facilities Plan, to the satisfaction of the Planning Division.
13. All subdivision project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08), to the satisfaction of the Planning Division.
14. Prior to final map approval, a note shall be included on the final map, or other documents provided, stating that grading shall be in conformance to the submitted conceptual design.

15. Three (3) copies of a revised tentative map, reflecting all modification and any required changes shall be submitted the Planning Division for certification prior to submittal of grading and landscape plans and the final map.
16. Any parcels not associated with this Tentative Map shall be labeled "Not a Part."
17. No street names are part of this approval. A separate request shall be submitted prior to Final Map.
18. Copies of the CC&Rs shall be submitted to the Planning Division for review and approval prior to Final Map and grading plan. The CC&Rs shall detail the responsibility for the maintenance of any parkway landscaping, easements, and any common drainage facilities. A plan check fee will be collected at the time of submittal. The CC&Rs shall be recorded in conjunction with or prior to the recordation of the final map, and a copy of the recorded CC&Rs must be submitted to the Planning Division prior to the issuance of building permits.
19. Prior to the issuance of a grading permit, the grading plan shall include the location and type of any mature trees located on the site. Each tree shall be labeled on the plan as to whether it will remain or be relocated or removed and staked in the field, as necessary, to the satisfaction of the Planning Division.
20. All lots shall meet the average lot width and lot area requirements of the underlying zoning category. Conformance with these requirements shall be demonstrated on the grading and final map. Non-compliance with these minimum standards will result in revisions to the map.
21. The areas between the parkway wall and public right-of-way as well as the required drainage structures and access road shall be placed in a landscape easement (indicated on the final map) and annexed into a landscape maintenance district.

Landscaping

1. Four copies of a detailed landscape and irrigation plan(s) shall be submitted prior to issuance of Grading or Building permits, and shall be equivalent or superior to the concept plan attached as exhibit(s) to the satisfaction of the Planning Division. A plan check fee will be collected at the time of submittal. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards in Ordinance 93-12. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
2. Any existing trees to remain within the subdivision and any to be relocated or replaced shall be identified on the landscape and grading plans, to the satisfaction of the Planning Division.
3. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.
4. All manufactured slopes, or slopes cleared of vegetation shall be landscaped within thirty (30) days of completion of rough grading. If, for whatever reason, it is not practical to install the permanent landscaping, then an interim landscaping solution may be acceptable. The type of plant material, irrigation and the method of application shall be to the satisfaction of the Planning Department and City Engineer.
5. Prior to occupancy of future units, all required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
6. All slopes shall be landscaped with suitable material to control erosion. All manufactured slopes over three feet in height shall be landscaped with a combination of trees, shrubs and groundcover. Fill slopes shall have a minimum of six (6) trees, fifteen (15) gallon in size and ten (10) shrubs, five (5) gallon size per 1,000 square feet of slope area plus ground cover. Groundcover shall provide one hundred percent coverage within one year of installation. Cut slopes shall have a minimum of six (6) trees, five (5) gallon in size and ten (10) shrubs, one (1) gallon size per 1,000 square feet of slope area plus ground cover. Groundcover shall provide one hundred percent coverage within one year of installation. The type of plant material shall be low maintenance, drought resistant, and fast growing, to the satisfaction of the Planning Department. In particular, the ground cover shall be a fast-growing species which establishes quickly and is capable of choking out weeds. All slopes over three vertical feet shall be irrigated with an individual lot irrigation system approved by the Planning and Building Departments.
7. Street trees shall be provided along every frontage within, or adjacent to this subdivision in conformance with the Escondido Landscape Ordinance and Street Tree List. Specimen size trees (min. 24" box per nursery standards)

along with shrubs and groundcover, shall be incorporated into the landscape design along Fig Street. If existing mature trees on site are removed, they shall be replaced with specimen sized trees in conformance with the City's tree preservation requirements at a minimum 1:1 ratio.

8. Any proposed walls and retaining walls shall be constructed out of decorative material to the satisfaction of the Planning Division. The materials and location of the wall(s) shall be identified on the final landscape plans.
9. The installation of the landscaping and irrigation shall be inspected by the project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

ENGINEERING CONDITIONS OF APPROVAL ESCONDIDO TRACT NUMBER 895

GENERAL

1. The applicant shall provide the City Engineer with a Subdivision Guarantee and Title Report covering subject property.
2. The location of all on-site utilities shall be determined by the Engineer. If a conflict occurs with proposed lots, these utilities shall be relocated.
3. As surety for the construction of required off-site and/or on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of this Subdivision.
4. No Grading Permit shall be issued for any construction within this Subdivision until the Final Subdivision Map is recorded.
5. If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
6. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
7. The engineer shall submit to the Planning Department a copy of the Tentative Map as presented to the Planning Commission and the City Council. The Tentative Map will be signed by the Planning Department verifying that it is an accurate reproduction of the approved Tentative Map and must be included in the first submittal for plan check to the Engineering Department.

STREET IMPROVEMENTS AND TRAFFIC

1. Public street improvements shall be constructed to City Standards as required by the Subdivision Ordinance in effect at the time of the Tentative Map approval and to the satisfaction of the City Engineer. Specific details, including final street improvement widths, right-of-way widths, concrete curb and gutters, drainage, lighting, etc. shall be resolved to the satisfaction of the City Engineer.
2. The developer shall construct street improvements, including but not limited to, concrete curb, gutter, sidewalk, street lights, street trees, paving and base on the following streets within and adjoining the project boundary:

STREET

**Boyle Avenue
Street "A"**

CLASSIFICATION

**Local Collector
Residential**

See appropriate typical sections in the current Escondido Design Standards for additional details.

3. The developer shall be responsible to provide adequate line of sight along Boyle Avenue in accordance with City Design Standards. The developer shall also be responsible to construct roadway improvements along Boyle Avenue as required by the City Engineer based on the condition of Boyle Avenue surface improvements at the time of project's engineering plans and final map review
4. The developer shall be responsible for removal and reconstruction or overlay of Boyle Avenue along proposed offsite sewer main to serve the project as determined by the City Engineer.
5. The major access entrances shall be designed as street intersections with curb returns, cross gutters and spandrels, sidewalk ramps, etc. with a minimum throat width of 36 feet.
6. The address of each lot/dwelling unit shall either be painted on the curb or, where curbs are not available, posted in such a manner that the address is visible from the street. In both cases, the address shall be placed in a manner and location approved by the City Engineer.
7. Sidewalk construction shall be contiguous to the curb in accordance with current Escondido Design Standards.
8. All cul-de-sacs shall conform to the current Escondido Design Standards.
9. Plans for construction within any right-of-way under a jurisdiction other than the City of Escondido will be subject to the review by both the City of Escondido and the other jurisdiction. The developer shall be responsible for securing all necessary permits from the appropriate agencies.
10. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer and the Field Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.
11. The developer's engineer shall prepare a complete signing and striping plan for all improved roadways. Any removal of existing striping shall be done by a private contractor. All new signing and striping shall be done by City forces. The developer shall post a cash deposit with the City for any work to be done by City forces.

12. The developer will be responsible for an overlay of Boyle Avenue at the time project plan review by the City Engineer. The determination of the extent of the overlay shall be to the satisfaction of the City Engineer.
13. Adequate horizontal sight distance shall be provided at all street intersections. Increased parkway widths, open space easements, and restrictions on landscaping may be required at the discretion of the City Engineer.
14. The maximum grade of intersecting streets is 6% per the Escondido Design Standards.
15. The developer shall be required to construct a 135 watt street light in accordance with Escondido Standard Drawing No. 6 at project entrance on Boyle Avenue and along Street "A".

GRADING

1. A site grading and erosion control plan shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the project.
3. At the time of project's engineering plans review all surrounding properties leach fields shall be located on the grading plans. Increased cut slope setbacks or grading plan modifications shall be required along the project boundary to avoid disrupting any existing septic systems in the adjoining residential areas and may be required to avoid encountering ground water problems. Actual setbacks to be used will be based on recommendations of the soils engineer. The requirements of the San Diego County Health Department should be consulted in this regard. In lieu of these requirements, or if the County Health Department requirements cannot be met, the developer must arrange to connect adjoining existing dwelling units, now on private septic systems, to the public sewer system. In this regard, the developer will be required to make necessary arrangements for sewer main extensions, easements and payment of all connection and permit fees. Any dwellings in the unincorporated areas must have special approval of the City Council before being connected to the City sewer system. This requirement shall also apply to off-site road and utility improvements where existing septic systems are jeopardized as a result of these improvements.

4. It shall be the responsibility of the developer to pay all plan check and inspection fees required by the San Diego County Health Department and City of Escondido's processing fees.
5. Cut slope setbacks must be of sufficient width to allow for construction of all necessary screen walls and/or brow ditches.
6. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
7. A General Construction Activity Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity.
8. Lot drainage shall meet the requirements of current Escondido Design Standards and the City Engineer.
9. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
10. Unless specifically permitted to remain by the County Health Department, all existing wells within the project or affected by the off-site improvements shall be abandoned and capped, and all existing septic tanks within the project or affected by the off-site improvements shall be pumped and backfilled per County Health Department requirements.
11. The developer will be required to obtain permission from adjoining property owners for any off-site grading and slopes necessary to construct the project and/or the required improvements.
12. Cross-lot drainage may be allowed in rural estate zones on a case-by-case basis, to be approved by the City Engineer.
13. All driveway grades shall conform to current Escondido Design Standards and Escondido Standard Drawings.
14. All lot lines shall be located at the top of slope unless otherwise approved by the City Engineer.
15. Project landscape plans shall include landscaping of front /back yard to the satisfaction of the Planning and Engineering Divisions to avoid future erosion from individual lots.

DRAINAGE

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a drainage study prepared by the engineer of work. The drainage study shall be in conformance with the City of Escondido Design Standards and Storm water management Requirements.
2. A Water Quality Technical Report shall be prepared for the project in accordance with the City's Storm Water Management Requirements. Water Quality Technical Report shall include post construction storm water treatment measures and maintenance requirements by the home owners association.
3. All on-site and offsite storm drains required for the project are private. The responsibility for maintenance of these storm drains shall be that of the property owner's association. Provisions stating this shall be included in the CC&R'S.
4. The project drainage design shall include a detention basin that shall be designed with consideration for not creating surface and subsurface drainage impacts on the adjacent properties. The detention basin shall include a maintenance access road with surface improvements, fencing on both sides and access gates to the satisfaction of the City Engineer.

WATER SUPPLY

1. All water main locations and sizing shall be to the satisfaction of the City Engineer.
2. Fire hydrants together with an adequate water supply shall be installed at locations approved by the Fire Marshal.

SEWER

1. All sewer main locations and sizing of mains shall be to the satisfaction of the City Engineer.

FINAL MAP - EASEMENTS AND DEDICATIONS

1. The developer shall make all necessary dedications (or, if appropriate, offer of dedications) for public rights-of-way on the following streets contiguous to the project to bring the roadways to the indicated classification.

STREET

**Boyle Avenue
Street "A"**

CLASSIFICATION

**Local Collector
Residential**

2. All easements, both private and public, affecting subject property shall be shown and delineated on the Final Map.

3. The developer is responsible for making the arrangements to quitclaim all easements of record which conflict with the proposed development prior to approval of the final map. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to approval of the Final Map. Building permits will not be issued for lots in which construction will conflict with existing easements, nor will any securities be released until the existing easements are quitclaimed.
4. The developer is required to obtain offsite private storm drain easement from down stream properties to the benefit of the home owners association for construction of offsite storm drain, to the satisfaction of the City Engineer.

REPAYMENTS AND FEES

1. A cash security or other security satisfactory to the City Engineer shall be posted to pay any costs incurred by the City for cleanup or damage caused by erosion of any type, related to project grading. Any moneys used by the City for cleanup or damage will be drawn from this security. The remaining portion of this cleanup security shall be released upon final acceptance of the grading for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading work up to a maximum of \$30,000, unless a higher amount is deemed necessary by the City Engineer. The balance of the grading work shall be secured by performance bonds, an instrument of credit, a letter of credit or such other security as may be approved by the City Engineer and City Attorney.
2. This subdivision is contiguous to the facilities of another public agency. This agency may be required to review and/or sign the improvement plans. It will be the responsibility of the developer to establish an account with this jurisdiction to pay for all fees for plan checking and permit approval.
3. The developer shall be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued.

CC&R's

1. Copies of the CC&R's shall be submitted to the Engineering Department and Planning Department for approval prior to approval of the Final Map.
2. The developer shall make provisions in the CC&R's for maintenance by the homeowners' association of onsite and offsite storm drain system and storm water treatment basin. These provisions must be approved by the Engineering Department prior to approval of the Final Map.

3. The CC&R's must state that the property owners' association assumes liability for damage and repair to City utilities in the event that damage is caused by the property owners' association when repair or replacement of private utilities is done.

UTILITY UNDERGROUNDING AND RELOCATION

1. All existing overhead utilities within the subdivision boundary or along fronting streets shall be relocated underground as required by the Subdivision Ordinance.
2. The developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.

Tr895.doc



Charles D. Grimm
Director of Community Development
Planning Division
201 North Broadway, Escondido, CA 92025
Phone: 760-839-4671 Fax: 760-839-4313

NEGATIVE DECLARATION

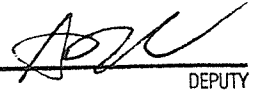
FILED
Gregory J. Smith, Recorder/County Clerk

CASE NO.: ER 2004-32, Tract 895, 2004-03-AN, 2004-58-PZ

APR 28 2006

DATE ISSUED: April 26, 2006

PUBLIC REVIEW PERIOD: April 27 – May 16, 2006

BY  DEPUTY

PROJECT DESCRIPTION: An Annexation Request and a proposed Tentative Subdivision Map for eight single-family residential lots on approximately 5.24 acres of land within the County's R1-20 zone (Single-Family Residential, 20,000 SF min. lot size), E2 (Estate II) General Plan and Tier 2B/East Valley designation. Includes approximately 400' of off-site drainpipe installation.

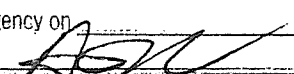
LOCATION: On the south side of East Boyle Avenue between Paul Way and Rose Street, addressed as 1515 East Boyle (APN 234-460-1000)

APPLICANT: Gil Lackritz, Washington Meadows Development

An Initial Study has been prepared to assess this project as required by the California Environmental Quality Act and Guidelines, Ordinance and Regulations of the City of Escondido. The Initial Study is on file in the City of Escondido Planning Division.

Findings: The findings of this review are that the project will not have a significant effect on the environment since there is no substantial evidence in the record to indicate project related impacts are potentially significant.


JAY P. PETREK
Senior Planner

FILED IN THE OFFICE OF THE COUNTY CLERK
San Diego County on APR 28 2006
Posted APR 28 2006 Removed _____
Returned to agency on _____
Deputy 

ER2004-32

RESOLUTION NO. 2017-40

A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ESCONDIDO, CALIFORNIA,
APPROVING A THREE-YEAR EXTENSION OF
TIME FOR AN EIGHT-LOT SINGLE-FAMILY
RESIDENTIAL TENTATIVE SUBDIVISION MAP
ON 5.24 ACRES LOCATED AT 1537 EAST
BOYLE AVENUE

Case No. SUB 15-0030 (TR 895)

WHEREAS, pursuant to Chapter 32 of the Escondido Zoning Code, the City Council did on May 24, 2006, consider and approve a request for an eight-lot single-family residential Tentative Subdivision Map (TR 895) on approximately 5.24 acres of land, along with an annexation to the City of Escondido and assignment of a pre-zoning designation of PZ-RE-20 (Pre-zone Residential Estates, 20,000 SF minimum lot size) for a total of approximately 9.35 acres of unincorporated land; and

WHEREAS, the above referenced annexation was completed on July 9, 2007, and the land is now within the City of Escondido's jurisdiction; and

WHEREAS, The Tentative Subdivision Map proposed lots that would range from 20,086 SF to 33,298 SF, the creation of a 10-foot-wide sewer easement between proposed Lots 1 and 2 to provide sewer connection to the property located at 1635 Boyle Avenue, the creation of a 15-foot-wide maintenance access easement between proposed Lots 4 and 5, the creation of a 20-foot-wide off-site drainage maintenance access easement and improvements to include a drain pipe to be maintained by the subdivision's homeowner's association installed across four off-site county properties between the subdivision boundary and the existing drainage structure to the south under Birch Way, and the establishment of a Landscape Maintenance District to be

responsible for maintaining the desilting and detention basin drainage areas and landscaping along the entrance to the tract off Boyle Avenue. The subdivision property is addressed as 1537 East Boyle Avenue, more particularly described in the attached Exhibit "C," and incorporated by this reference; and

WHEREAS, the Tentative Map originally was approved for three years and subsequent automatic map extensions granted by the State Legislature (SB1185, AB333, AB208, and AB116) extended the tentative map until May 24, 2016; and

WHEREAS, the applicant filed a request for an Extension of Time on December 18, 2015; and

WHEREAS, the application was assessed in conformance with the California Environmental Quality Act and a Negative Declaration was adopted by the City Council issued on April 26, 2006, (City Log No. ER 2004-32); and

WHEREAS, in accordance to CEQA Section 15162 it has been determined that no new substantial changes or new significant environmental effects or new information of substantial importance regarding the project has come to light requiring the preparation of a subsequent Negative Declaration or addendum; and

WHEREAS, the applicant requests that the City Council approve an extension of time for three years as permitted by the Subdivision Map Act and Chapter 32, Article 2 of the City of Escondido Zoning Code; and

WHEREAS, this City Council has considered the extension request, the staff report, and incorporates by reference the findings made therein; and

WHEREAS, this City Council desires at this time and deems it to be in the best public interest to approve said extension of time.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the Findings of Fact, attached as Exhibit "A" and is incorporated by this reference, were made by said Council.
3. That upon consideration of the Findings, including all material in the staff report (a copy of which is on file in the Planning Division), this City Council extends the Tentative Subdivision Map (TR 895) for three years, as reflected on plans and documents on file in the offices of the City Clerk and the Planning Division, and subject to the Conditions of Approval as set forth as Exhibit "B," attached to this Resolution and incorporated by this reference.
4. That this Tentative Subdivision Map shall be null and void unless a Final Map, conforming to the Tentative Subdivision Map and all required conditions, is filed on or before May 24, 2019, or an Extension of Time is granted pursuant to Section 66452.6 of the California Government Code.

EXHIBIT "A"**FINDINGS OF FACT
SUB15-0030 (TR 895)**

1. The 5.24-acre project site (gross acreage) has a General Plan designation of Estate II, which allows a density of up to 2 du/ac and minimum lot size of 20,000 SF. The proposed project density of 1.83 du/ac is consistent with the underlying Estate II land-use designation. The project site could support up to 11 lots based on the subdivision's net acreage (6.55 acres) and Estate II land-use designation. The proposed 8 lots would be in conformance with the yield calculated for the project. Lot sizes for the project range from approximately 20,086 SF to 33,289 SF, which would be in conformance with the current Estate II land-use designation and proposed RE-20 zoning requirements for lot size, area, lot width and street frontage.
2. The design and improvement of the proposed subdivision is consistent with the General Plan since the proposed density of 1.83 du/ac is in conformance with the maximum density of up to 2 du/ac for the Estate II land-use designation, and minimum lot size and widths are consistent with RE-20 development standards. Land Use Policy B1.9(d) (page II-16) indicates the Estate II classification is characterized by detached single-family homes and the minimum lot size shall be 20,000 SF. The proposed lot sizes (which range from approximately 20,086 SF to 33,289 SF) would be compatible with the single-family residential development adjacent to and throughout the area. The proposed development is not located within a significant viewshed area; does not impact hillsides and ridgelines as delineated on the City's Hillside Ridgeline Map; and the design, mass and scale of the proposed development would be consistent with the surrounding residential development. Landscaping would be installed on any manufactured slopes, and the loss of mature trees would be replaced in conformance with the City's Landscape Ordinance.
3. The project would not result in the destruction of desirable natural features, nor be visually obstructive or disharmonious with surrounding areas since the site is not located on a skyline or intermediate ridge, and the site does not contain any significant topographical features or biological habitat. The proposed grading design would not result in any manufactured slopes or building pads that would create any significant adverse visual or compatibility impacts with adjacent lots, nor block any significant views, as discussed in the land-use compatibility and analysis sections of the staff report. Landscaping would be installed on any manufactured slopes, and the loss of mature trees would be replaced in conformance with the City's Landscape Ordinance.
4. The site is suitable for this residential type of development proposed since the project site is currently county zoned for single-family development and the site is adjacent to similar single-family residential development. Adequate access and public utilities can be provided to the site. All vehicular traffic generated by the project will be accommodated safely and without degrading the level of service on the adjoining streets or intersections.
5. The site is physically suitable for the proposed density of the underlying General Plan Estate II land-use designation as described in the sections above. Adequate access and public utilities can be provided to the site. The design of the lots would be in conformance with the RE-20 design standards and would be compatible with the general pattern of residential development throughout the area. The proposed project also would not result in any adverse impacts to historical or biological resources on and off the site.
6. The design of the residential map and the type of improvements are not likely to cause serious public health problems since the project would not degrade the levels of service on the adjoining streets or drainage systems. Adequate water and sewer could be provided to the site. The project would not cause substantial environmental damage nor injure fish, wildlife or their habitat since there is no sensitive habitat located on the site. The project would not create any significant noise impacts to

adjacent properties due to the existing ambient noise levels, residential nature of the project, and limited traffic increase created by the project. Appropriate outdoor areas could be provided that would in conformance with the General Plan exterior noise level guidelines. Appropriate interior noise levels would be provided in conformance with the Escondido General Plan and City's Noise Ordinance requirements.

7. The design of the map and the type of improvements will not conflict with easements of record, or easements established through court judgments, or acquired by the population at large, for access through, or use of property within the proposed map since any existing easements will either be accommodated within the project design; be quitclaimed prior to recordation of the map; or alternate provisions provided.
8. All of the requirements of the California Environmental Quality Act (CEQA) have been met and a Negative Declaration ER 2004-32 was issued for the proposed project on April 14, 2005.
9. The design of the map has provided, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. Lot sizes and subdivision configuration provides opportunities for passive/solar heating.
10. All permits and approvals applicable to the proposed map pursuant to the Escondido Zoning Code will have been obtained prior to the recordation of the map.
11. The proposed map will not conflict with regional or local housing needs since all lots maintain all development standards of the applicable zone and observe the density of the General Plan. The existing single-family residence that are part of the annexation request would be remain. The proposed subdivision would be developed with single-family residential homes in conformance with the Estate II land-use designation.

EXHIBIT "B"**CONDITIONS OF APPROVAL
SUB15-0030 (TR 895)**General

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Division, Director of Building, and the Fire Chief.
2. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees, commissioners, or board members assume responsibility for the accuracy of said legal description.
3. Fire hydrant spacing and location must be approved by the Fire Department. The number, timing and minimum GPM fire flow shall be coordinated with the Fire Chief.
4. Any blasting within the City of Escondido is subject to the provisions of Ordinance No. 95-6 and a Blasting Permit must be obtained from the Escondido Fire Department. If blasting occurs, verification of a San Diego County Explosive Permit and a policy or certificate of public liability insurance shall be filed with the Fire Chief and City Engineer prior to any blasting within the City of Escondido.
5. Access for use of heavy fire fighting equipment, as required by the Fire Chief, shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshall.
6. All required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
7. All habitable buildings within the proposed subdivision shall be noise-insulated to maintain interior noise levels not to exceed 45 dBA or less. A final interior noise assessment shall be submitted with the building plans demonstrating compliance with the interior noise requirements. Recommendation of the study shall be included in the building plans.
8. The location of proposed fences and walls shall be indicated on the grading, building and landscape plans, and design, color and material of the walls indicated on the building and landscape plans.
9. All requirements of the Public Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program
10. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75).
11. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Planning and Building.
12. Prior to obtaining building permits, the applicant shall demonstrate compliance with the requirements of the Citywide Facilities Plan, to the satisfaction of the Planning Division.
13. All subdivision project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08), to the satisfaction of the Planning Division.
14. Prior to final map approval, a note shall be included on the final map, or other documents provided, stating that grading shall be in conformance to the submitted conceptual design.

15. Three (3) copies of a revised tentative map, reflecting all modification and any required changes shall be submitted to the Planning Division for certification prior to submittal of grading and landscape plans and the final map.
16. Any parcels not associated with this Tentative Map shall be labeled "Not a Part."
17. No street names are part of this approval. A separate request shall be submitted prior to Final Map.
18. Copies of the CC&Rs shall be submitted to the Planning Division for review and approval prior to Final Map and grading plan. The CC&Rs shall detail the responsibility for the maintenance of any parkway landscaping, easements, and any common drainage facilities. A plan check fee will be collected at the time of submittal. The CC&Rs shall be recorded in conjunction with or prior to the recordation of the final map, and a copy of the recorded CC&Rs must be submitted to the Planning Division prior to the issuance of building permits.
19. Prior to the issuance of a grading permit, the grading plan shall include the location and type of any mature trees located on the site. Each tree shall be labeled on the plan as to whether it will remain or be relocated or removed and staked in the field, as necessary, to the satisfaction of the Planning Division.
20. All lots shall meet the average lot width and lot area requirements of the underlying zoning category. Conformance with these requirements shall be demonstrated on the grading and final map. Non-compliance with these minimum standards will result in revisions to the map.
21. The areas between the parkway wall and public right-of-way as well as the required drainage structures and access road shall be placed in a landscape easement (indicated on the final map) and annexed into a landscape maintenance district.

Landscaping

1. Four copies of a detailed landscape and irrigation plan(s) shall be submitted prior to issuance of Grading or Building permits, and shall be equivalent or superior to the concept plan attached as exhibit(s) to the satisfaction of the Planning Division. A plan check fee will be collected at the time of submittal. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards in Ordinance 93-12. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
2. Any existing trees to remain within the subdivision and any to be relocated or replaced shall be identified on the landscape and grading plans, to the satisfaction of the Planning Division.
3. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.
4. All manufactured slopes, or slopes cleared of vegetation shall be landscaped within thirty (30) days of completion of rough grading. If, for whatever reason, it is not practical to install the permanent landscaping, then an interim landscaping solution may be acceptable. The type of plant material, irrigation and the method of application shall be to the satisfaction of the Planning Department and City Engineer.
5. Prior to occupancy of future units, all required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
6. All slopes shall be landscaped with suitable material to control erosion. All manufactured slopes over three feet in height shall be landscaped with a combination of trees, shrubs and groundcover. Fill slopes shall have a minimum of six (6) trees, fifteen (15) gallon in size and ten (10) shrubs, five (5) gallon size per 1,000 square feet of slope area plus ground cover. Groundcover shall provide one hundred percent coverage within one year of installation. Cut slopes shall have a minimum of six (6) trees, five (5) gallon in size and ten (10) shrubs, one (1) gallon size per 1,000 square feet of slope area plus ground cover. Groundcover shall provide one hundred percent coverage within one year of installation. The type of plant material shall be low maintenance, drought resistant, and fast growing, to the satisfaction of the Planning Department. In particular, the ground cover shall be a fast-growing species which establishes quickly and is capable of choking out weeds. All slopes over three vertical feet shall be irrigated with an individual lot irrigation system approved by the Planning and Building Departments.
7. Street trees shall be provided along every frontage within, or adjacent to this subdivision in conformance with the Escondido Landscape Ordinance and Street Tree List. Specimen size trees (min. 24" box per nursery standards)

along with shrubs and groundcover, shall be incorporated into the landscape design along Fig Street. If existing mature trees on site are removed, they shall be replaced with specimen sized trees in conformance with the City's tree preservation requirements at a minimum 1:1 ratio.

8. Any proposed walls and retaining walls shall be constructed out of decorative material to the satisfaction of the Planning Division. The materials and location of the wall(s) shall be identified on the final landscape plans.
9. The installation of the landscaping and irrigation shall be inspected by the project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

**ENGINEERING CONDITIONS OF APPROVAL
SUB15-0030 (TR 895)**

GENERAL

1. The applicant shall provide the City Engineer with a Subdivision Guarantee and Title Report covering the subject property.
2. The location of all on-site utilities shall be determined by the Engineer. If a conflict occurs with proposed lots, these utilities shall be relocated.
3. As surety for the construction of required off-site and/or on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of this Subdivision.
4. No Building Permits shall be issued for any construction within this Subdivision until the Final Subdivision Map is recorded and either:
 - a) All conditions of the Tentative Subdivision Map have been fulfilled: or
 - b) Those conditions unfulfilled at the time of an application for Building Permits shall be secured and agreements executed in a form and manner satisfactory to the City Attorney and City Engineer.
5. If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
6. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
7. The engineer shall submit to the Planning Department a copy of the Tentative Map as presented to the Planning Commission and the City Council. The Tentative Map will be signed by the Planning Department verifying that it is an accurate reproduction of the approved Tentative Map and must be included in the first submittal for plan check to the Engineering Department.

STREET IMPROVEMENTS AND TRAFFIC

1. Public street improvements shall be constructed to City Standards as required by the Subdivision Ordinance in effect at the time of the Tentative Map approval and to the satisfaction of the City Engineer. Specific details, including final street improvement widths, right-of-way widths, concrete curb and gutters, drainage, lighting, etc. shall be resolved to the satisfaction of the City Engineer.
2. The developer shall construct street improvements, including but not limited to, concrete curb, gutter, sidewalk, street lights, street trees, paving and base on the following streets within and adjoining the project boundary:

STREET

**Boyle Avenue
Street "A"**

CLASSIFICATION

**Local Collector
Residential**

See appropriate typical sections in the current Escondido Design Standards for additional details.

3. The developer shall be responsible to provide adequate line of sight along Boyle Avenue in accordance with City Design Standards. The developer shall also be responsible to construct roadway improvements along Boyle Avenue as required by the City Engineer based on the condition of Boyle Avenue surface improvements at the time of project's engineering plans and final map review
4. The developer shall be responsible for removal and reconstruction or overlay of Boyle Avenue along proposed offsite sewer main to serve the project as determined by the City Engineer.

5. The major access entrances shall be designed as street intersections with curb returns, cross gutters and spandrels, sidewalk ramps, etc. with a minimum throat width of 36 feet.
6. The address of each lot/dwelling unit shall either be painted on the curb or, where curbs are not available, posted in such a manner that the address is visible from the street. In both cases, the address shall be placed in a manner and location approved by the City Engineer.
7. Sidewalk construction shall be contiguous to the curb in accordance with current Escondido Design Standards.
8. All cul-de-sacs shall conform to the current Escondido Design Standards.
9. Plans for construction within any right-of-way under a jurisdiction other than the City of Escondido will be subject to the review by both the City of Escondido and the other jurisdiction. The developer shall be responsible for securing all necessary permits from the appropriate agencies.
10. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer and the Field Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.
11. The developer's engineer shall prepare a complete signing and striping plan for all improved roadways. Any removal of existing striping shall be done by a private contractor. All new signing and striping shall be done by City forces. The developer shall post a cash deposit with the City for any work to be done by City forces.
12. The developer may be responsible for an overlay of Boyle Avenue at the time project plan review by the City Engineer. The determination of the extent of the overlay shall be to the satisfaction of the City Engineer.
13. Adequate horizontal sight distance shall be provided at all street intersections. Increased parkway widths, open space easements, and restrictions on landscaping may be required at the discretion of the City Engineer.
14. The maximum grade of intersecting streets is 6% per the Escondido Design Standards.
15. The developer shall be required to construct a 135 watt street light in accordance with Escondido Standard Drawing No. 6 at project entrance on Boyle Avenue and along Street "A".

GRADING

1. A site grading and erosion control plan shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the project.
3. At the time of project's engineering plans review all surrounding properties leach fields shall be located on the grading plans. Increased cut slope setbacks or grading plan modifications shall be required along the project boundary to avoid disrupting any existing septic systems in the adjoining residential areas and may be required to avoid encountering ground water problems. Actual setbacks to be used will be based on recommendations of the soils engineer. The requirements of the San Diego County Health Department should be consulted in this regard. In lieu of these requirements, or if the County Health Department requirements cannot be met, the developer must arrange to connect adjoining existing dwelling units, now on private septic systems, to the public sewer system. In this regard, the developer will be required to make necessary arrangements for sewer main extensions, easements and payment of all connection and permit fees. Any dwellings in the unincorporated areas must have special approval of the City Council before being connected to the City sewer system. This requirement shall also apply to off-site road and utility improvements where existing septic systems are jeopardized as a result of these improvements.
4. It shall be the responsibility of the developer to pay all plan check and inspection fees required by the San Diego County Health Department and City of Escondido's processing fees.

5. Cut slope setbacks must be of sufficient width to allow for construction of all necessary screen walls and/or brow ditches.
6. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
7. A General Construction Activity Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity.
8. Lot drainage shall meet the requirements of current Escondido Design Standards and the City Engineer.
9. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
10. Unless specifically permitted to remain by the County Health Department, all existing wells within the project or affected by the off-site improvements shall be abandoned and capped, and all existing septic tanks within the project or affected by the off-site improvements shall be pumped and backfilled per County Health Department requirements.
11. The developer will be required to obtain permission from adjoining property owners for any off-site grading and slopes necessary to construct the project and/or the required improvements.
12. Cross-lot drainage may be allowed in rural estate zones on a case-by-case basis, to be approved by the City Engineer.
13. All driveway grades shall conform to current Escondido Design Standards and Escondido Standard Drawings.
14. All lot lines shall be located at the top of slope unless otherwise approved by the City Engineer.
15. Project landscape plans shall include landscaping of front /back yard to the satisfaction of the Planning and Engineering Divisions to avoid future erosion from individual lots.

DRAINAGE

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a drainage study to be prepared by the engineer of work. The drainage study shall be in conformance with the City of Escondido Design Standards and Storm water management Requirements.
2. Offsite storm drain improvements may be required after review of the drainage study at the time project's engineering plans review. In the event that the developer was required to construct offsite drainage improvements all easements and letters of permissions shall be obtained by the developer and offsite improvements constructed to the satisfaction of the City Engineer.
3. The project drainage design shall include a detention basin that shall be designed with consideration for not creating surface and subsurface drainage impacts on the adjacent properties. The detention basin shall include a maintenance access road with surface improvements, fencing on both sides and access gates to the satisfaction of the City Engineer.
4. The project developer shall be responsible to annex this project into the City's Landscape Maintenance District prior to approval of the Final Map. Landscape Maintenance District will maintain landscaping along project entrance between Boyle Avenue and Parcel 1 and all storm water detention facilities.

WATER SUPPLY

1. All water main locations and sizing shall be to the satisfaction of the City Engineer.
2. Fire hydrants together with an adequate water supply shall be installed at locations approved by the Fire Marshal.

SEWER

1. All sewer main locations and sizing of mains shall be to the satisfaction of the City Engineer.
2. A sewer study shall be prepared by the owner's engineer to verify existing and/or proposed sewer main sizes. The sewer study shall be subject to review and approval by the Utilities Manager and City Engineer.

FINAL MAP - EASEMENTS AND DEDICATIONS

1. The developer shall make all necessary dedications (or, if appropriate, offer of dedications) for public rights-of-way on the following streets contiguous to the project to bring the roadways to the indicated classification.

STREET

**Boyle Avenue
Street "A"**

CLASSIFICATION

**Local Collector
Residential**

- 2.
3. The developer shall annex this project into the City Landscape Maintenance District prior to approval of Final Map.
4. All easements, both private and public, affecting subject property shall be shown and delineated on the Final Map.
5. The developer shall provide the City with landscape maintenance easement and access easement for the maintenance of the Landscape Maintenance District areas proposed for the project to the satisfaction of the City Engineer.
6. The developer is responsible for making the arrangements to vacate all streets or quitclaim all easements of record which conflict with the proposed development prior to approval of the final map. All street vacations shall be accomplished by means of a separate public hearing. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to approval of the Final Map. Building permits will not be issued for lots in which construction will conflict with existing easements, nor will any securities be released until the existing easements are quitclaimed.

REPAYMENTS AND FEES

1. A cash security or other security satisfactory to the City Engineer shall be posted to pay any costs incurred by the City for cleanup or damage caused by erosion of any type, related to project grading. Any moneys used by the City for cleanup or damage will be drawn from this security. The remaining portion of this cleanup security shall be released upon final acceptance of the grading for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading work up to a maximum of \$30,000, unless a higher amount is deemed necessary by the City Engineer. The balance of the grading work shall be secured by performance bonds, an instrument of credit, a letter of credit or such other security as may be approved by the City Engineer and City Attorney.
2. This subdivision is contiguous to the facilities of another public agency. This agency may be required to review and/or sign the improvement plans. It will be the responsibility of the developer to establish an account with this jurisdiction to pay for all fees for plan checking and permit approval.
3. The developer shall be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued.

CC&R's

1. Copies of the CC&R's shall be submitted to the Engineering Department and Planning Department for approval prior to approval of the Final Map.
2. The developer shall make provisions in the CC&R's for maintenance, repair and access to all brow ditches which pass from one lot through an adjacent lot. Copies of an approved wording and format for this section of the CC&R's may be obtained from the Engineering Department.

UTILITY UNDERGROUNDING AND RELOCATION

1. All existing overhead utilities within the subdivision boundary or along fronting streets shall be relocated underground as required by the Subdivision Ordinance. The developer may request a waiver of this condition by writing a letter to the City Engineer explaining his/her reasons for requesting the waiver. The developer will be required to pay a waiver fee as adopted by City Council resolution.
2. The developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.

EXHIBIT "C"

LEGAL DESCRIPTION

THAT PORTION OF LOT "G" OF THE RESUBDIVISION OF BLOCK 190 OF THE RANCHO RINCON DEL DIABLO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1427 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, APRIL 4, 1912, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID LOT "G" WHICH IS DISTANT THEREON 554.00 FEET SOUTHWESTERLY FROM THE MOST NORTHERLY CORNER OF SAID LOT; THENCE SOUTHEASTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT, 162.00 FEET; THENCE NORTHEASTERLY PARALLEL WITH THE NORTHWESTERLY LINE OF SAID LOT 110.00 FEET; THENCE SOUTHEASTERLY PARALLEL WITH SAID SOUTHWESTERLY LOT LINE, 105.00 FEET TO A POINT; THENCE SOUTHERLY TO A POINT WHICH BEARS NORTH 21°03' WEST 236.00 FEET FROM A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT, DISTANT THEREON NORTH 18°15'50" EAST, 530.24 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT; THENCE SOUTH 21°03' EAST 236.00 FEET; THENCE SOUTH 18°15'50" WEST ALONG SAID SOUTHEASTERLY LOT LINE 530.24 FEET; THENCE NORTHWESTERLY ALONG SOUTHWESTERLY LINE OF SAID LOT 19.00 FEET TO AN ANGLE POINT THEREIN; THENCE ALONG SAID SOUTHWESTERLY LINE NORTH 24°30'10" WEST 732.50 FEET TO THE SOUTHEASTERLY LINE OF THE NORTHWESTERLY 177.00 FEET OF SAID LOT; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF SAID NORTHWESTERLY 177.00 FEET TO THE INTERSECTION WITH A LINE PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT FROM A POINT IN THE NORTHWESTERLY LINE OF SAID LOT, WHICH IS DISTANT THEREON SOUTHWESTERLY 614.00 FEET FROM THE MOST NORTHERLY CORNER OF SAID LOT; THENCE NORTHWESTERLY PARALLEL WITH SAID SOUTHWESTERLY LOT LINE 177.00 FEET TO SAID NORTHWESTERLY LOT LINE; THENCE NORTHEASTERLY 60.00 FEET TO THE POINT OF BEGINNING.

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 7

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Edward N. Domingue, Public Works Director
Gabrielle Restivo, Management Analyst I

SUBJECT: City of Escondido Landscape Maintenance District – Preliminary Engineer’s Report for Zones 1 through 38 for Fiscal Year 2017/2018

RECOMMENDATION:

It is requested that the City Council adopt Resolution Nos. 2017-45 and 2017-46, initiating the proceedings for the annual levy of assessments for the City of Escondido Landscape Maintenance Assessment District (LMD) (see attached map) for Zones 1 through 38 for Fiscal Year 2017/2018, approve the preliminary Engineer’s Report for LMD Zones 1 through 38, and set a public hearing date of May 3, 2017, for LMD Zones 1 through 38.

FISCAL ANALYSIS:

The LMD reimburses all costs incurred by the City in all zones except Zones 12 and 13. The City of Escondido purchased property adjacent to the Reidy Creek environmental channel that lies within Zone 12 and, therefore, assumed the assessment assigned to this property. Zone 13 was formed to pay for the maintenance of the median landscaping on Centre City Parkway, south of Felicita Avenue and north of Montview Drive. The City shares the cost of the maintenance in Zone 13 with the two shopping centers on either side of Centre City Parkway.

PREVIOUS ACTION:

The City Council approved the formation of the LMD in 1986.

BACKGROUND:


The LMD was established as a means to fund the ongoing maintenance of certain landscape improvements associated with the development of specific properties within the City of Escondido. These landscape improvements have a special benefit to those specific properties. The LMD is divided into various zones. Property owners of parcels within each zone are assessed for the benefit received within their zone for the maintenance of the landscape improvements.

Each year the City Council is required to review and approve the upcoming fiscal year budget and assessment for the LMD. The preliminary Engineer's Report presented today details the proposed budget and assessment for Zones 1 through 38 within the LMD for Fiscal Year 2017/2018. As part of the approval process, a public hearing is held to give property owners within Zones 1 through 38 of the LMD, the opportunity to comment on the proposed LMD budget and assessment. The final Engineer's Report for LMD Zones 1 through 38 for Fiscal Year 2017/2018 will be presented to the City Council for approval on June 7, 2017.

In Fiscal Year 2016-17 the City obtained Metropolitan Water District SoCal Water Smart rebate funds to help cover the cost of installing a web-based, water-efficient irrigation system. This system will reduce water usage and costs with increased knowledge and use of the system and labor costs normally associated with manual operation of these facilities.

This year's budget will focus on restoring drought and storm-damaged landscaping by removing dead and dying plants and replacing them with a variety of drought-tolerant species appropriate to individual landscape plans and palettes.

Respectfully submitted,

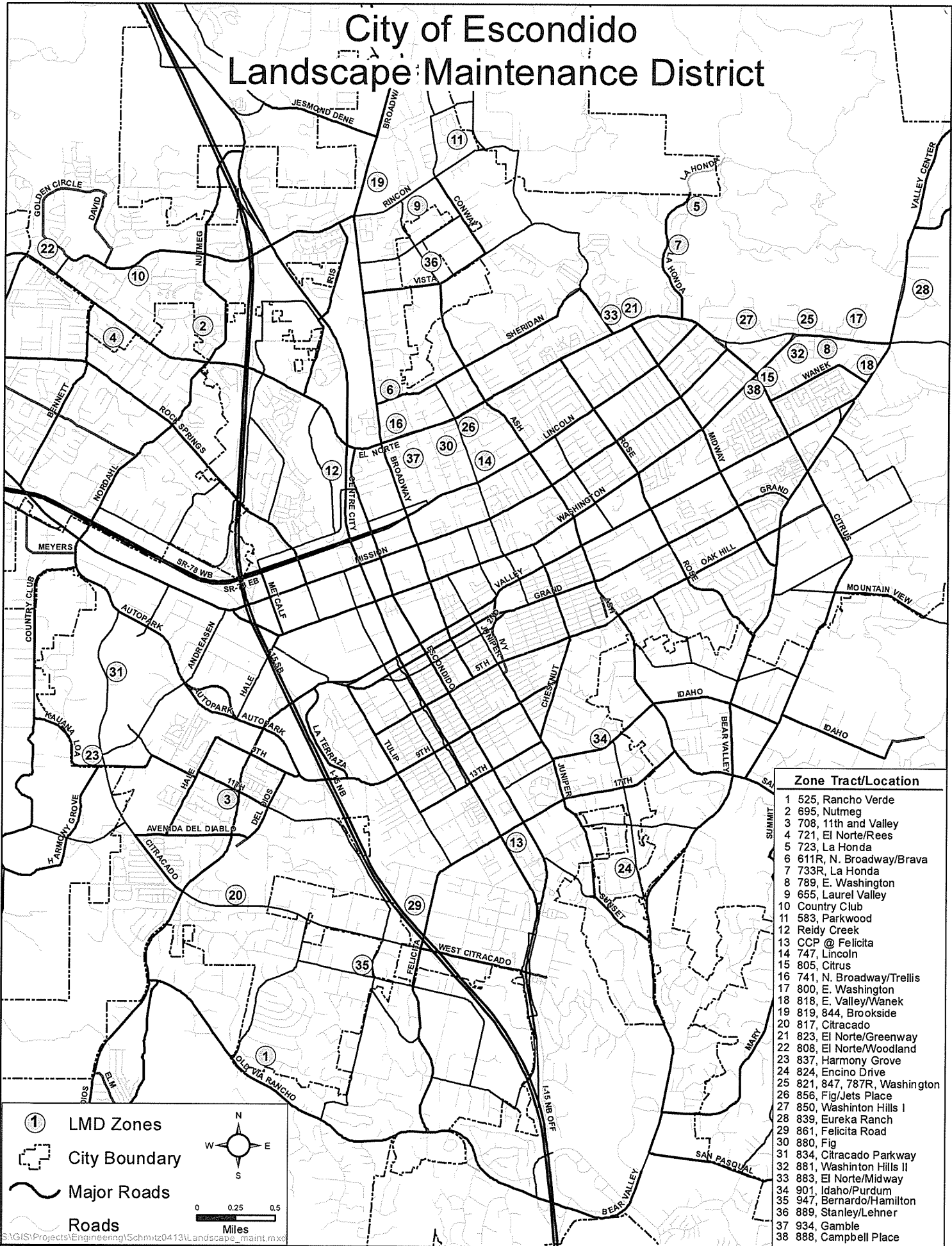


Edward N. Domingue, P.E.
Public Works Director



Gabrielle Restivo
Management Analyst I

City of Escondido Landscape Maintenance District



Zone Tract/Location

- 1 525, Rancho Verde
- 2 695, Nutmeg
- 3 708, 11th and Valley
- 4 721, El Norte/Rees
- 5 723, La Honda
- 6 611R, N. Broadway/Brava
- 7 733R, La Honda
- 8 789, E. Washington
- 9 655, Laurel Valley
- 10 Country Club
- 11 583, Parkwood
- 12 Reidy Creek
- 13 CCP @ Felicity
- 14 747, Lincoln
- 15 805, Citrus
- 16 741, N. Broadway/Trellis
- 17 800, E. Washington
- 18 818, E. Valley/Wanek
- 19 819, 844, Brookside
- 20 817, Citracado
- 21 823, El Norte/Greenway
- 22 808, El Norte/Woodland
- 23 837, Harmony Grove
- 24 824, Encino Drive
- 25 821, 847, 787R, Washington
- 26 856, Fig/Jets Place
- 27 850, Washinton Hills I
- 28 839, Eureka Ranch
- 29 861, Felicity Road
- 30 880, Fig
- 31 834, Citracado Parkway
- 32 881, Washinton Hills II
- 33 883, El Norte/Midway
- 34 901, Idaho/Purdum
- 35 947, Bernardo/Hamilton
- 36 889, Stanley/Lehner
- 37 934, Gamble
- 38 888, Campbell Place

① LMD Zones
 City Boundary
 Major Roads
 Roads

0 0.25 0.5
 Miles

S:\GIS\Projects\Engine\mg1\Schmitz0413\Landscape_maint.mxd

RESOLUTION NO. 2017-45

**A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ESCONDIDO, CALIFORNIA,
ORDERING THE PREPARATION OF AN
ASSESSMENT ENGINEER'S REPORT FOR
THE ANNUAL LEVY OF ASSESSMENTS IN
ZONES 1 THROUGH 38 OF THE
ESCONDIDO LANDSCAPE MAINTENANCE
ASSESSMENT DISTRICT**

WHEREAS, the City Council of the City of Escondido has previously formed a Maintenance District pursuant to the terms of the "Landscaping and Lighting Act of 1972," being Division 15, Part 2 of the Streets and Highways Code of the State of California (the "Act"), said Maintenance District known and designated as the Escondido Landscape Maintenance Assessment District (the "Maintenance District"); and

WHEREAS, at this time the City Council desires to initiate proceedings to provide for the annual levy of assessments for the next ensuing fiscal year to provide for the annual costs of maintenance of improvements within Zones 1 through 38 of the Maintenance District and order the preparation and filing of an Assessment Engineer's Report for Zones 1 through 38.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California:

1. That the above recitals are true.
2. That the public interest and convenience requires, and it is the intention of this legislative body to initiate proceedings for the annual levy and collection of special assessments for the payment of annual maintenance and/or servicing costs within Zones 1 through 38 of the Maintenance District for Fiscal Year 2017-2018.

special assessments for the payment of annual maintenance and/or servicing costs within Zones 1 through 38 of the Maintenance District for Fiscal Year 2017-2018.

3. That the Public Works Director is hereby directed to prepare and file, or cause to be prepared and filed, an Assessment Engineer's Report as required by the provisions of the Act, Article XIII D of the Constitution of the State of California, the Proposition 218 Omnibus Implementation Act (Government Code Section 53750 and following), and other applicable law, and generally containing the following:

- A. Plans and specifications describing the general nature, location and extent of the existing improvements to be maintained;
- B. An estimate of the cost of the maintenance and/or servicing of the existing improvements for Zones 1 through 38 of the Maintenance District;
- C. A diagram of the Maintenance District, showing: (i) the exterior boundaries of the Maintenance District and Zones 1 through 38 therein; and (ii) the lines and dimensions of each lot or parcel of land within Zones 1 through 38 of the Maintenance District which is identified by a distinctive number or letter;
- D. An assessment of the estimated costs of the maintenance and/or servicing of the existing improvements, assessing the net amount upon all assessable lots and/or parcels within Zones 1 through 38 of the Maintenance District in proportion of the special benefits received.

Upon completion of the preparation of said Assessment Engineer's Report, the original shall be filed with the City Clerk, who shall then submit the same to this City Council for its immediate review and consideration.

4. That the above Assessment Engineer's Report shall include all costs and expenses of said maintenance and/or servicing of existing improvements relating to Fiscal Year 2017-2018.

5. That this Resolution shall take effect immediately upon its adoption.

RESOLUTION NO. 2017-46

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ESCONDIDO, CALIFORNIA, PRELIMINARILY APPROVING THE ASSESSMENT ENGINEER'S REPORT, DECLARING ITS INTENTION TO PROVIDE FOR AN ANNUAL LEVY AND COLLECTION OF ASSESSMENTS IN ZONES 1 THROUGH 38 OF THE ESCONDIDO LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT, AND SETTING THE TIME AND PLACE FOR PUBLIC HEARINGS THEREON

WHEREAS, the City Council of the City of Escondido has previously formed a Maintenance District pursuant to the terms of the "Landscaping and Lighting Act of 1972," being Division 15, Part 2 of the Streets and Highways Code of the State of California (the "Act"), which is also governed by Article XIID of the Constitution of the State of California ("Article XIID"), and the Proposition 218 Omnibus Implementation Act (Government Code Section 53750 and following) (the "Implementation Act") (the 1972 Act, Article XIID, and the Implementation Act are referred collectively as the "Assessment Law"). Such Maintenance District is known and designated as the Escondido Landscape Maintenance Assessment District (the "Maintenance District"); and

WHEREAS, there has been established by the City 38 zones within the Maintenance District (each individually referenced as a "Zone"); and

WHEREAS, the City Council ordered the preparation of an Assessment Engineer's Report (the "Assessment Engineer's Report") to provide for the annual levy of assessments for Zones 1 through 38 of the Maintenance District for the next ensuing

fiscal year to provide for the costs and expenses necessary to pay for the maintenance and servicing of the improvements in Zones 1 through 38 of the Maintenance District; and

WHEREAS, there has been presented to the City Council and is on file with the City Clerk, the Assessment Engineer's Report for Zones 1 through 38 of the Maintenance District, attached hereto as Exhibit "A" and by this reference incorporated herein, as required by the Assessment Law, which Assessment Engineer's Report provides a full and detailed description of the improvements, boundaries of the Maintenance District and Zones therein, and the proposed assessments on the assessable lots and parcels of land within Zones 1 through 38 of the Maintenance District; and

WHEREAS, this City Council has now carefully examined and reviewed the Assessment Engineer's Report as presented, and is satisfied with each and all of the items and documents as set forth therein pertaining to Zones 1 through 38, and is satisfied that the assessments for Zones 1 through 38, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements to be maintained, as set forth in the Assessment Engineer's Report; and

WHEREAS, the proposed annual assessments for Zones 1 through 38 for Fiscal Year 2016-2017 as set forth in the Assessment Engineer's Report do not exceed the maximum annual assessments as previously authorized to be levied by the previously approved formula for Zones 1 through 38 of the Maintenance District and, therefore, in accordance with the Assessment Law, the proposed levy of assessments for Fiscal

Year 2017-2018 are not deemed to be “increased” over the maximum authorized annual assessments for such Zones; and

WHEREAS, the City Council desires to preliminarily approve such Assessment Engineer’s Report pertaining to Zones 1 through 38 and intends to conduct the proceedings to authorize the annual levy and collection of the assessments within Zones 1 through 38 of the Maintenance District for Fiscal Year 2017-2018.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Escondido, California, as follows:

1. The above recitals are true.
2. The public interest and convenience requires the levy and collection of assessments within the Maintenance District for Fiscal Year 2017-2018 to pay the annual costs and expenses for the maintenance and/or servicing of the improvements for Zones 1 through 38 of the above-referenced Maintenance District.
3. The existing improvements, which generally consist of landscape improvements located in the public rights-of-way and in dedicated landscape easements, are of special benefit to certain identified properties within the boundaries of Zones 1 through 38 of the Maintenance District.
4. The Assessment Engineer’s Report as it pertains to Zones 1 through 38, as presented, is hereby approved on a preliminary basis, and is ordered to be filed in the office of the City Clerk as a permanent record and to remain open to public inspection. Reference is made to the Assessment Engineer’s Report for (a) a full and detailed description of the existing improvements proposed to be maintained; (b) the

boundaries of the Maintenance District and Zones 1 through 38 therein; and (c) the proposed assessments upon assessable lots and parcels of land within Zones 1 through 38 of the Maintenance District. There are no substantial changes proposed to be made in the existing improvements. For further particulars, reference is made to the diagram of the Maintenance District as previously approved by this City Council, a copy of which is on file in the Office of the City Clerk of the City of Escondido and open for public inspection, and is designated by the name of the Maintenance District.

5. The public interest and convenience requires, and it is the intention of this City Council to order the annual levy and collection of the assessments for Zones 1 through 38 of the Maintenance District as set forth and described in the Assessment Engineer's Report, and further it is determined to be in the best public interest and convenience to levy and collect annual assessments to pay the costs and expense of said maintenance and improvements as estimated in the Assessment Engineer's Report. All costs and expenses of the maintenance and incidental expenses have been apportioned and distributed to the benefiting parcels in Zones 1 through 38 in accordance with the special benefits received from the existing improvements. Assessments are proposed to be levied as follows:

A. Assessments proposed to be levied on parcels within Zones 1 through 38 of the Maintenance District are not proposed to be increased from those as previously authorized to be levied within such Zones.

B. The majority of the Zones previously authorized an annual adjustment to the maximum assessment. The maximum assessments authorized to be levied in Zones 1, 4, 6, 7, 9, 10, 11, 13 through 30, and

32 through 38, have now been adjusted for inflation by the increase in the Consumer Price Index – All Urban Consumers, San Diego Area, as published by the Bureau of Labor Statistics. Adjustment of the maximum authorized assessments by such formula has been previously approved. No increase in the assessments beyond the maximum authorized assessments, as adjusted for inflation, is proposed for any of these Zones.

6. **NOTICE IS HEREBY GIVEN** that a public hearing will be held on May 3, 2017, at 4:30 p.m., or as soon thereafter as the matter may be heard, in the regular meeting place of this City Council, located at 201 North Broadway, Escondido, California 92025, which are the time, date, and place fixed by the City Council for the hearing of protests or objections in reference to the annual levy of assessments within Zones 1 through 38 of the Maintenance District, to the extent of the maintenance, by any interested person and any other matters contained in this Resolution. At such time the City Council will consider and finally determine whether to levy the proposed annual assessments.

The City Council shall consider all objections or protests, if any, to the annual assessments proposed to be levied on all properties located in Zones 1 through 38. Any person interested may file a written protest prior to the close of the public hearing referred to herein or, having filed such a protest, may file a written withdrawal of that protest prior to the close of such hearing, which shall occur upon the conclusion of public testimony. Any such written protest must state all grounds for objection. A written protest by a property owner must contain a description sufficient to identify the property owned by such person, e.g., assessor's parcel number.

Any interested person may mail a protest to the following address:

City Clerk
City of Escondido
201 North Broadway
Escondido, CA 92025

To be considered by the City Council, all protests must be received prior to the conclusion of the public hearing. **A postmark on an envelope returning a written protest which is postmarked prior to such date and time but not received until after the conclusion of the public hearing will not be considered.**

7. The City Clerk is authorized and directed to give notice of the public hearing for the annual levy and collection of the assessments within Zones 1 through 38 as required by law by causing a copy of this Resolution to be published one time in a newspaper of general circulation within the City of Escondido; said publication to be completed not less than ten (10) days prior to the date set for the public hearing.

8. For any and all information relating to these proceedings, including information relating to protest procedure, your attention is directed to the person designated below:

Gabrielle Restivo
City of Escondido
475 North Spruce Street
Escondido, CA 92025
(760) 839-4039

9. This Resolution shall take effect immediately upon its adoption.

SDF A

Assessment Engineer's Report Zones 1 through 38

Fiscal Year 2017/18

City of Escondido
201 North Broadway – Escondido California 92025
Landscape Maintenance Assessment District

PRELIMINARY REPORT

April 5, 2017

Report pursuant to the Landscaping and Lighting Act of 1972, Part 2 Division 15 of the Streets and Highways Code, Article XIII.D. of the California Constitution, and Proposition 218 Omnibus Implementation Act (Government Code Section 53750 et seq.). The Streets and Highways Code, Part 2, Division 15, Article 4, commencing with Section 22565, directs the preparation of the Assessment Engineer's Report for each fiscal year for which assessments are to be levied and collected to pay the costs of the improvements described herein.

SPECIAL DISTRICT FINANCING & ADMINISTRATION

437 West Grand Avenue
Escondido CA 92025
760.233.2630 Fax 233.2631

**CITY OF ESCONDIDO
ASSESSMENT ENGINEER'S REPORT
ZONES 1 THROUGH 38**

**ESCONDIDO LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT
FISCAL YEAR 2017/18**

The Assessment Engineer's Report, submitted herein, includes the following Sections as outlined below:

Section Description	Page
Compliance with Landscaping and Lighting Act of 1972, Article 4 of the California Government Code	1
Section A: Plans and Specifications for the Improvements	1
Section B: Estimate of Costs of the Improvements	3
Section C: Diagram for the Maintenance District	5
Section D: Assessment of the Estimated Costs of the Improvements	5
Section E: If Bonds or Notes will be Issued Pursuant to Section 22662.5, An Estimate of their Principal Amount	20
Appendix I: Estimate of Cost and Assessment	
Appendix II: Assessment Roll	
Appendix III: Diagram of Landscape Maintenance District Boundaries	

COMPLIANCE WITH LANDSCAPE AND LIGHTING ACT OF 1972 ARTICLE 4 OF THE CALIFORNIA GOVERNMENT CODE

Whereas the City Council of the City of Escondido, California, did, pursuant to the provisions of the Landscape and Lighting Act of 1972, Chapter 3, Section 22622 of the California Government Code, order the preparation and filing of the Assessment Engineer's Report in accordance with Chapter 1, Article 4, commencing with Section 22565, of Chapter 1.

Section 22565 directs that the report refer to the Landscape Maintenance Assessment District (the "Maintenance District") by its distinctive designation, specify the fiscal year to which the report applies, and, with respect to that year, contain all of the following:

- (a) Plans and specifications for the improvements.
- (b) An estimate of the costs of the improvements.
- (c) A diagram for the Maintenance District.
- (d) An assessment of the estimated costs of the improvements.
- (e) If bonds or notes will be issued pursuant to Section 22662.5, an estimate of their principal amount.

A preliminary report is then filed in accordance with Section 22623 with the City Clerk for submission to the legislative body. The legislative body may approve the report, as filed, or it may modify the report in any particular and approve it as modified.

Now, therefore, the following Assessment Engineer's Report is submitted:

A. PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS

In accordance with Section 22568, the plans and specifications are required to show and describe existing and proposed improvements. The plans and specifications need not be detailed, but are sufficient if they show or describe the general nature, location, and extent of the improvements. If the Maintenance District is divided into Zones, the plans and specifications are required to indicate the class and type of improvements to be provided for each such Zone.

The Maintenance District has been divided into 38 distinct Zones of benefit. By reasons of variations in the nature, location, and extent of the improvements, the various Zones receive different degrees of benefit from the improvements. The improvements, which have been constructed or which may be subsequently constructed within and adjacent to the Zones and that will be serviced and maintained, and the proposed maintenance and services are generally described as follows.

DESCRIPTION OF IMPROVEMENTS TO BE MAINTAINED AND SERVICED

Landscape and Appurtenant Improvements

Landscape improvements (collectively, the "Landscape Improvements") include but are not limited to: landscaping, planting shrubbery, trees, irrigation systems, hardscapes and fixtures in public streets and sidewalks, and right-of-ways including: medians, parkways and other easements dedicated to the City of Escondido within the boundaries of the District.

Description of Maintenance and Services

Maintenance means the furnishing of services and materials for the ordinary and usual maintenance, operation and servicing of the Landscape Improvements and appurtenant facilities, including repair, removal or replacement of all or part of any of the Landscape Improvements or appurtenant providing for the life, growth, health and beauty of the Landscape Improvements, including cultivation, irrigation, trimming, spraying, fertilizing and treating for disease or injury, the removal of trimmings, rubbish, debris and other solid waste, and the cleaning, sandblasting, and painting of walls and other improvements to remove or cover graffiti.

Service means the furnishing of water for the irrigation of the Landscape Improvements and the furnishing of electric current or energy, gas or other illuminating agent for the lighting or operation of the Landscape Improvements or appurtenant facilities.

The plans and specifications for the Landscape Improvements, showing the general nature, location and the extent of the Landscape Improvements, are on file in the office of the City Engineer and are by reference herein made a part of this Report.

B. ESTIMATE OF COSTS OF THE IMPROVEMENTS

In accordance with Section 22569 of the California Government Code, the estimate of the costs of the improvements for the fiscal year is required to contain estimates of the following:

- (a) The total cost for improvements to be made that year, being the total costs of constructing or installing all purposed improvements and of maintaining and servicing all existing and proposed improvements, including all incidental expenses. This may include a cash flow reserve and an operating and maintenance reserve which are further detailed in the description of *Reserve* on the following page.
- (b) The amount of any surplus or deficit in the improvement fund to be carried over from a previous fiscal year.
- (c) The amount of any contributions to be made from sources other than assessments levied pursuant to this part. (Contributions will only be shown if such a contribution has been received.)
- (d) The amount, if any, of the annual installment for the fiscal year where the legislative body has ordered an assessment for the estimated cost of any improvements to be levied and collected in annual installments.
- (e) The net amount to be assessed upon assessable lands within the Maintenance District being the total improvement costs, as referred to in subdivision (a), increased or decreased, as the case may be, by any of the amounts referred to in subdivision (b), (c), or (d).

The estimates of cost are contained in Appendix I of this Report, titled, "Estimate of Cost and Assessment." The Assessment Law requires that a special fund be established for the revenues and expenditures of each Zone within the District. Funds levied by these assessments shall be used only for the purposes as stated herein. The City may advance funds to the Zone, if needed, to ensure adequate cash flow, and will be reimbursed for any such advances upon receipt of assessments. Any surplus or deficit remaining on June 30 must be carried over to the next fiscal year.

DESCRIPTION OF BUDGET EXPENSE ITEMS

Administration/Inspection: The cost to all departments and staff of the City for providing the coordination of maintenance, and responding to public concerns regarding levy collections.

Annual Installment: The amount, if any, of the annual installment for the fiscal year where the legislative body has ordered an assessment for the estimated cost of any improvements to be levied and collected in annual installments.

Consultant: The recovery of the cost of contracting for professional services to provide District administration and legal services.

County Fee: The recovery of the cost charged by the County of San Diego for placing and collecting the fixed charged special assessments on the county tax roll.

Liability Fund: The recovery of the cost incurred by the City to provide liability insurance.

Miscellaneous Repairs: Recovery of the cost of unplanned repairs. These costs are not included in the maintenance contract and are unplanned. An example of an expenditure that would fall under this category is repairs due to vandalism.

Reserve: The collection of a reserve is a combination of a cash flow reserve and an operating and maintenance reserve. The cash flow reserve should not exceed the estimated costs of maintenance and servicing to December 10 of the fiscal year, or whenever the City expects to receive its apportionment of special assessments and tax collections from the County, whichever is later. This time period has been estimated by the City as six months from July 1 to January 1 of each fiscal year. The purpose of the cash flow reserve is to eliminate the need for the City to transfer funds from non-District accounts to pay for District expenditures. The operating and maintenance reserve, estimated as 12 months of maintenance and servicing, is to provide a buffer for unforeseen emergency repairs and maintenance, and to allow the Zone to continue maintenance through a period of delinquencies in the collection of the assessments.

Maintenance: Includes all contracted labor, material and equipment required to properly maintain the landscaping, irrigation systems, fencing, and entry monuments within the District.

Service/Utilities: The furnishing of water and electricity required for the maintenance of the landscaping and drainage facilities.

C. DIAGRAM FOR THE MAINTENANCE DISTRICT

The diagram for a Maintenance District as required by Sections 22570 and 22571 of the California Government Code is required to show: a) the exterior boundaries of the Maintenance District, b) the boundaries of any Zones within the district, and c) the lines and dimensions of each lot or parcel of land within the district. Each lot or parcel is required to be identified by a distinctive number or letter. A Diagram of the District by Zone which shows each lot or parcel of land within Zones 1 to 38 of the District is on file in the Offices of the City Clerk and the Engineering Department Management Analyst. Appendix III provides the general location of all the zones currently within the District.

The lines and dimensions of each lot or parcel of land shown on the diagram are required to conform to those shown on the county assessor's maps for the fiscal year in which the report applies. The diagram may refer to the county assessor maps for a detailed description of the lines and dimensions of any lots or parcels, in which case, those maps govern all details concerning the lines and dimensions of such lots or parcels.

D. ASSESSMENT OF THE ESTIMATED COSTS OF THE IMPROVEMENTS

The assessment, or annual levy amount, in accordance with Sections 22572 and 22573 of the California Government Code, must refer to the fiscal year to which it applies and provide all of the following:

- (a) State the net amount, determined in accordance with Section 22569, to be assessed upon assessable lands within the Maintenance District, which includes an amount sufficient to pay the principal and interest due during the fiscal year from each parcel on any bonds or notes issued pursuant to Section 22662.5.

- (b) Describe each assessable lot or parcel of land within the District.
- (c) Assess the net amount upon all assessable lots or parcels of land within the District by apportioning that amount among the several lots or parcels in proportion to the estimated benefits to be received by each lot or parcel from the improvements.

The assessment may refer to the County assessment roll for a description of the lots or parcels, in which case that roll will govern for all details concerning the description of the lots or parcels. The 1972 Act permits the establishment of Maintenance Districts by cities for the purpose of providing certain public improvements which include the construction, maintenance and servicing of landscaping improvements. Streets and Highways Code Section 22573 requires that maintenance assessments be levied according to benefit, directing that the method of apportionment can be based on any method which fairly distributes the net amount among all assessable lots or parcel in proportion to the estimated benefit to be received by each such lot or parcel from the improvements. Article XIII.D. and the Implementation Act require that a parcel's assessment may not exceed the reasonable cost for the proportional special benefit conferred on that parcel. Article XIII.D. and the Implementation Act further provide that only special benefits are assessable and the City must separate the general benefits from the special benefit. They also require that publicly-owned properties which specially benefit from the improvements be assessed.

SPECIAL BENEFIT ANALYSIS

Proper maintenance of the street trees, street medians, and entryways provides special benefit to adjacent properties by providing security, safety, and community character and vitality.

Special Benefit

Trees, landscaping, hardscape and appurtenant facilities, if well maintained, provide beautification, shade and enhancement of desirability to the surroundings, and therefore increase property value. Street trees within the public street parkways provide special benefit to those properties directly adjacent to those tree-lined parkways. Landscaping and hardscaping within the medians in the public streets and entryways provide special benefit to those developments that are directly adjacent to those public

medians or entryways. These medians are located in the arterial roadways.

General Benefit

There are no general benefits associated with local street trees. Landscaping and hardscaping within medians in the arterial roadways provide only incidental aesthetic benefit to motorists traveling to, from or through the City. Therefore, it is deemed that there are no special benefits associated with the landscaped medians and entryways.

Benefit Zones

Benefit Zones are used to differentiate between different types of Landscape Improvements to be maintained and serviced within each such Zone. The method of spread for each Zone is based on benefit units outlined in the following table:

Zone(s)	Land Use Type	Benefit Unit	Benefit Factor
1 - 9, 11, 14 - 30 & 32 - 38	Residential	Dwelling Unit	1.000
10	Residential	Dwelling Unit	1.000
	Church	Acre	1.875
	Commercial	Acre	12.500
	Golf Course	Acre	0.250
12	Residential	Acre	1.000
13	Non-Residential	Frontage	1.000
31	Non-Residential	Acre	1.000

Appendix I of this Report, titled, "Estimate of Cost and Assessment," shows the calculation of the net amount to be assessed by Zone. In addition, it provides the calculation of apportionment among the parcels in proportion to the special benefits to be received by each parcel. The method of apportionment fairly distributes the net amount among all assessable parcels in proportion to the special benefit to be received by each parcel from the improvements.

For a description of each assessable lot or parcel of land within the District, refer to the County of San Diego assessment roll. Appendix II of this Report, titled "Assessment Roll," provides a listing of the assessor parcel numbers and levy per parcel by Zone.

Following is a description providing the general nature, location and extent of the existing and proposed improvements for each Zone.

Zone 1: Tract 523A, 523B, 653 and 692 Rancho Verde

The boundaries of Zone 1 are coterminous with the entire boundary of Escondido Tract Nos. 523A, 523B, 653 and 692, which are located north of Via Rancho Parkway at Eucalyptus Avenue. Eucalyptus Avenue provides access to the Rancho Verde community. The improvements to be maintained provide special benefit to the properties within Zone 1. The improvements consist of entryway improvements including the entry monument and the parkway landscaping on both the east and west side of Eucalyptus Avenue extending a distance of approximately 400 feet from Via Rancho Parkway.

Zone 2: Tract 695

Zone 2 lies within the boundaries of Escondido Tract 695 located west of Nutmeg Street and south of Sunset Heights Road. This tract encompasses the southern half of three cul-de-sacs: Skyhill Place, Eagle Summit Place and Lookout Point Place. The nature and extent of the special benefit provided by the improvements to the property within Zone 2 is the slope landscaping along Nutmeg Street and the service road south of the tract.

Zone 3: Tract 708

Zone 3 lies within the boundaries of Escondido Tract 708 located at the southwest corner of West 11th Street and Valley Parkway, encompassing Lisbon Place and a portion of Chambers Street. The extent and nature of the special benefit provided by the improvements to the property within Zone 3 is the slope landscaping along Valley Parkway and West Eleventh Street.

Zone 4: Tract 721

Zone 4 lies within the boundary of Escondido Tract 721 located at the north corner of El Norte Parkway and Rees Road. Streets within the subdivision include Las Palmas Lane, Los Cedros Lane, El Rosal Place, El Cielo Lane, El Aire Place and La Manzana Lane. The extent and nature of the special benefit provided by the improvements to the property within Zone 4 is the slope and parkway landscaping along El Norte Parkway and Rees Road.

Zone 5: Tract 723

Zone 5 lies within the boundary of Escondido Tract 723. Entrance to the subdivision is at the intersection of La Honda Drive and Dublin Lane. Streets within the tract include Dublin Lane and a portion of Glasgow Lane. The nature and extent of the special benefit provided by the improvements to the property within Zone 5 includes the parkway landscaping along La Honda Drive adjacent to Tract 723.

Zone 6: Tract 611R

Zone 6 lies within the boundary of Escondido Tract 611R. Entrance to the tract is at the intersection of North Broadway and Brava Place. The nature and extent of the special benefit provided by the improvements to the property within Zone 6 which are to be maintained is the landscaped area within the right-of-way along North Broadway and the portion of Reidy Creek channel which flows under an easement within the tract.

Zone 7: Tract 733R

Zone 7 lies within the boundary of Escondido Tract 733R. Entrance to the tract is at the intersection of La Honda Drive and MacNaughton Lane approximately 0.6 miles north of El Norte Parkway. The nature and extent of the special benefit of the improvement provided to the property within Zone 7 includes the parkway landscaping along La Honda Drive adjacent to Tract 733R.

Zone 8: Tract 789

Zone 8 encompasses Tract 789 and is generally located east of Bear Valley Parkway. The northern edge of the tract abuts El Norte Parkway. The tract includes a portion of Iona Court. The nature and extent of the special benefit provided by the improvements to the property within Zone 8 include street right-of-way landscaping on that section of El Norte Parkway lying east of Justin Way and west of Kaile Lane.

Zone 9: Tract 655 Laurel Valley

Zone 9 lies within the boundaries of Laurel Valley, Escondido Tract 655, and is generally located south of Rincon Avenue and east of North Broadway. Internal subdivision streets include Crestwood Place, Terracewood Lane, a portion of Shadywood Drive, Brookwood Court, a portion of Ash Street, Pleasantwood Lane, Splendorwood Place, Parktree Lane, Valleytree Place, and Springtree Place. The nature and extent of the special benefit provided by the improvements to the property within Zone 9 includes planting materials such as ground cover, turf, shrubs and trees, brow ditches, open space, and irrigation systems located within lots 1, 74, 112, 161, and a portion of lot 34.

Zone 10: Country Club Lane

Zone 10, known by the name, "Country Club Lane," lies west of Interstate 15 and northeast of El Norte Parkway. Country Club Lane runs through the middle and northeast corner of the Zone. For a specific diagram showing the boundaries of the Zone, please refer the diagram on file with the City Clerk. The nature and extent of the special benefit provided by the improvements to the property within Zone 10 includes planting materials such as ground cover, shrubs and trees, irrigation systems, decorative paving, and entry monuments within the median of Country Club Lane.

Zone 11: Parkwood

Zone 11, known by the name, "Parkwood," lies within the boundary of Escondido Tract 583 and is located north of Rincon Avenue and south of Cleveland Avenue.

For a specific diagram showing the boundaries of the Zone, please refer to the diagram on file with the City Clerk. The nature and extent of the special benefit provided by the improvements to the property within Zone 11 includes planting materials such as ground cover, turf, shrubs and trees, irrigation systems, fencing, natural drainage areas, mow curbs, natural open space areas with paths, median landscape on Conway Drive, and landscape around the tract perimeter.

Zone 12: Reidy Creek

Zone 12, known by the name, "Reidy Creek," generally lies west of Centre City Parkway, north of Lincoln Avenue, and south of El Norte Parkway. The nature and extent of the special benefit provided by the improvements to the property within Zone 12 includes planting materials such as ground cover, shrubs and trees, drainage systems, and fencing.

Zone 13:

This Zone is located on the southwest and southeast corners of Centre City Parkway and Felicita Avenue. The Zone annexed to the Maintenance District in 1998/99. The special benefit of the improvements to the property within Zone 13 include maintenance of the landscaping within the median fronting the commercial centers. A portion of the special benefit has been allocated to the City on a front footage basis.

Zone 14: Tract 747

The entrance to this Zone is on Wanda Court off of Grape Street. The Zone annexed to the Maintenance District in 1999/00. The nature and extent of the special benefit of the improvements to the property within Zone 14 includes the maintenance of parkway landscaping adjacent to Tract 747 on Lincoln Parkway.

Zone 15: Tract 805

Zone 15 lies within Tract 805, lots 1-18, located east of Citrus Avenue and south of Washington Avenue. The Zone annexed to the Maintenance District in 1999/00. The nature and extent of the special benefit provided by the improvements to the property within Zone 15 includes parkway landscaping along Citrus Avenue and Washington Avenue.

Zone 16: Tract 741

Zone 16 lies within Tract 741. Entrance to this Zone is on Trellis Lane at North Broadway Avenue. The Zone annexed to the Maintenance District in 1999/00. The nature and extent of the special benefit of the improvements provided to the property within Zone 16 includes parkway landscaping along North Broadway Avenue and at the corner of Trellis Lane and North Broadway Avenue.

Zone 17: Tract 800

Zone 17 lies within Tract 800, located north of El Norte Parkway and west of the Escondido Creek channel. The Zone annexed to the Maintenance District in 1999/00. The nature and extent of the special benefit provided by the improvements to the property within Zone 17 includes parkway landscaping along El Norte Parkway.

Zone 18: Tract 818

Zone 18 lies within Tract 818. Entrance to this Zone is on Wanek Road at East Valley Parkway. The Zone annexed to the Maintenance District in 2000/01. The nature and extent of the special benefit provided by the improvements to the property within Zone 19 includes parkway landscaping along East Valley Parkway.

Zone 19: Tract 819 and Tract 844

The existing boundaries of Zone 19, approved on May 9, 2001 are coterminous with the boundaries of Escondido Tract No. 819, which is located on the east

side of North Broadway and the north side of Rincon Avenue in the northern area of the City. An annexation has added the area contained within Tract 844 to Zone 19. Tract 844 is located north of Cleveland Avenue, west of Conway Drive and south of North Avenue on land adjacent to the existing Zone 19. Tract 844, referred to as Brookside II, adds a total of 40 single family dwelling units to the existing 222 single family dwelling units resulting in a grand total of 262 single family dwelling units within Zone 19. The nature and extent of the special benefit provided by the improvements to the property within Zone 19 includes the walking and equestrian trails and associated landscaping, parkway, slope and environmental channel landscaping and irrigation system.

Zone 20: Tract 817

The boundaries of Zone 20 are coterminous with the boundaries of Escondido Tract No. 817, which is located on the north and south side of Citracado Parkway at its termination point east of Scenic Trails Way. The Zone annexed to the Maintenance District in 2001/02. The nature and extent of the special benefit of the improvements provided to the property within Zone 20 include the slope landscaping on the south, east and north side of Citracado Parkway at Greenwood Place. This is the entryway to that portion of the tract referred to as Estate I (lots 1 through 8).

Zone 21: Tract 823

The boundaries of Zone 21 are coterminous with the boundaries of Escondido Tract No. 823, which is located on the north side of El Norte Parkway east of Greenway Rise. The Zone annexed to the Maintenance District in 2001/02. The nature and extent of the special benefit provided by the improvements to the property within Zone 21 includes the slope and parkway landscaping on the north side of El Norte Parkway east of Greenway Rise for a distance of approximately 380 feet.

Zone 22: Tract 808

The boundaries of Zone 22 are coterminous with the boundaries of Escondido Tract No. 808, which is located at the northeast corner of the intersection of El

Norte Parkway and Woodland Parkway in the northwestern area of the City. The Zone annexed to the Maintenance District during fiscal year 2001/02. The nature and extent of the special benefit provided by the improvements to the property within Zone 22 include the maintenance of the parkway landscaping on the north side of El Norte Parkway east of Woodland Parkway for a distance of approximately 300 linear feet, and approximately 550 linear feet of parkway landscaping on the east side of Woodland Parkway and on the north and south side of Dancer Court, the entry street to the development.

Zone 23: Tract 837 Harmony Grove

The boundaries of Zone 23 are coterminous with the boundaries of Escondido Tract No. 837, which is located on Harmony Grove Road just west of Howard Lane in the southwestern area of the City. The Zone annexed to the Maintenance District during fiscal year 2001/02. The nature and extent of the special benefit provided by the improvements to the property within Zone 23 to be maintained include approximately 2,600 square feet of parkway landscaping on the north side of Harmony Grove Road east and west of Princess Kyra Place.

Zone 24: Tract 824 and Tract 845

The existing boundaries of Zone 24, approved on June 2, 2002, are coterminous with the boundaries of Escondido Tract No. 824, which has its main entryway and frontage on Encino Drive between Rancho Verde Drive and Montana Luna Court in the southeastern area of the City. An annexation has added the area contained within Tract 845 to Zone 24. Tract 845 fronts the east side of Juniper Street and is located north of Amparo Drive, the access street to Tract 845. Tract 845 abuts lot 28 and a portion of lot 27 in Tract 824 and adds a total of 13 single family dwelling units to the existing total of 45 single family dwelling units resulting in a grand total of 58 single family dwelling units within Zone 24. The nature and extent of the special benefit provided by the improvements to the property within Zone 24 to be maintained for the existing boundaries of Zone 24 include approximately 64,200 square feet of parkway and slope landscaping on the west side of Encino Drive north and south of the main entry street to Tract No. 824 for a distance of approximately 1,000 feet. The improvements to be maintained which were added to Zone 24 with the annexation of Tract 845 are

the parkway and slope landscaping along Juniper Street north of Amparo Drive. Amparo Drive provides access to the expanded Zone 24 area from Juniper Street on the west and from Encino Drive on the east.

Zone 25: Tract 787R, 821 (Excepting lot 12) and 847

The boundaries of Zone 25 are coterminous with the boundaries of Escondido Tract Nos. 787R, 821 (excepting Lot 12) and 847, which are located on the north side of El Norte Parkway east of El Norte Hills Place. The nature and extent of the special benefit of the improvements to the property within Zone 25 includes the slope and parkway landscaping on the north side of El Norte Parkway extending from the west corner of Tract 787R to the east corner of Tract 821, a distance of approximately 770 feet of landscaped area.

Zone 26: Tract 856

The boundaries of Zone 26 are coterminous with the boundaries of Escondido Tract No. 856, which is located on the east side of Fig Street, south of El Norte Parkway and just north of Stanley Court in the northern area of the City. The nature and extent of the special benefit provided by the improvements to the property within Zone 26 includes approximately 2,700 square feet of parkway landscaping on the east side of Fig Street, for a distance of approximately 70 linear feet north of Jets Place (the entry street to the Tract 856 subdivision) and approximately 75 linear feet south of Jets Place.

Zone 27: Tract 850 Washington Hills

The boundaries of Zone 27 are coterminous with the boundaries of Escondido Tract No. 850, which is located north and south of a new segment of El Norte Parkway constructed with this development. The new segment of El Norte Parkway extends from a new intersection with Citrus Avenue on the west to a new intersection with Washington Avenue on the east. The nature and extent of the special benefit provided by the improvements to the property within Zone 27 include approximately 29,900 square feet of parkway landscaping located along the frontage property of Tract No. 850 on both El Norte Parkway and Washington Avenue. The annexation of area contained within Tentative Map 2006-08 in

March 2008 added one parcel (3 additional dwelling units) to the existing 124 dwelling units for a total of 127 dwelling units. The new segment of El Norte Parkway extends from a new intersection with Citrus Avenue on the west to a new intersection with Washington Avenue on the east.

Zone 28: Tract 839 Eureka Ranch

The boundaries of Zone 28 are coterminous with the boundaries of Escondido Tract No. 839, which is located on the west side of East Valley Parkway for a distance of 800 feet north of El Norte Parkway and on both the east and west side of East Valley Parkway extending another 1,250 feet further north. The nature and extent of the special benefit provided by the improvements to the property within Zone 28 include the following: a 600 linear foot median in El Norte Parkway between Key Lime Way and East Valley Parkway encompassing approximately 2,400 square feet, an 800 linear foot median in East Valley Parkway between El Norte Parkway and Eureka Drive encompassing approximately 4,900 square feet, a 1,250 linear foot median in East Valley Parkway between Eureka Drive and Beven Drive encompassing approximately 7,675 square feet, 630 linear feet of parkway and open space (Lot A within Unit 2) on the north side of El Norte Parkway between Key Lime Way and East Valley Parkway encompassing approximately 20,420 square feet, 2,105 linear feet of parkway and open space (Lot A within Unit 2 and Unit 3) on the west side of East Valley Parkway between El Norte Parkway and Beven Drive encompassing approximately 148,235 square feet, 2,250 square feet of parkway and open space at the southeast corner of East Valley Parkway and Eureka Drive, 1,300 linear feet of parkway and open space (Lot A within Unit 4) on the east side of East Valley Parkway between Eureka Drive and Beven Drive encompassing approximately 88,100 square feet, 480 linear feet of median, parkway and open space (includes Lot A within Unit 3) on Beven Drive encompassing approximately 12,600 square feet, and 65 linear feet of parkway on the northeast corner of Wohlford Drive and Beven Drive encompassing approximately 420 square feet. The improvements to be maintained by the Landscape Maintenance District within these defined areas consist of trees, shrubs, ground cover, hardscape and an irrigation system. The total area of landscape and hardscape to be maintained is approximately 287,000 square feet. The improvements to be maintained by the

HOA include all entry walls (including post and board fence, lighting and signage); trellis structures, decorative walls and benches.

Zone 29: Tract 861

The boundaries of Zone 29 are coterminous with the boundaries of Escondido Tract No. 861, which is located on the west side of Felicita Road, south of Brotherton Road, north of Escondido Lane and east of Interstate 15 in the central area of the City. The nature and extent of the special benefit provided by the improvements to the property within Zone 29 include approximately 4,578 square feet of parkway and grass channel landscaping on the west side of Felicita Road. The parkway extends for a distance of approximately 185 linear feet north of Rockwell Springs Court and approximately 405 linear feet south of the entry street.

Zone 30: Tract 880

The boundaries of Zone 30 are coterminous with the boundaries of Escondido Tract No. 880, which is located on the west side of Fig Street, south of Siggson Court and north of Stanley Court in the northern area of the City. The nature and extent of the special benefit provided by the improvements to the property within Zone 30 include include approximately 1,910 square feet of parkway landscaping on the west side of Fig Street, for a distance of approximately 60 linear feet north of the entry street to Tract 880 and approximately 60 linear feet south of the entry street to Tract 880.

Zone 31: Tract 834

The boundaries of Zone 31 are coterminous with the boundaries of Escondido Tract No. 834, which is known as the Escondido Research and Technology Center. The nature and extent of the special benefit provided by the improvements to the property within Zone 31 include slope and right-of-way landscaping.

Zone 32: Tract 881 Washington Hills II

The boundaries of Zone 32 are coterminous with the boundaries of Escondido Tract No. 881, which is located on the south side of Washington Avenue between Alta Meadow Lane and Veronica Place. The improvements along Washington Avenue to be maintained include 90 feet of parkway landscape east of Trovita Court and 85 feet of parkway landscape west of Trovita Court (approximately 875 square feet of maintained area). The nature and extent of the special benefit provided by the improvements to the property within Zone 32 include maintenance of trees, shrubs, ground cover and an irrigation system.

Zone 33: Tract 883

The boundaries of Zone 33 are coterminous with the boundaries of Escondido Tract No. 883, which is located on the north side of El Norte Parkway between Alita Lane and Greenway Drive. The nature and extent of the special benefit provided by the improvements to the property within Zone 33 include the following improvements along El Norte Parkway and Midway Drive, the main point of access from El Norte Parkway:

1. El Norte Parkway – approximately 300 linear feet of slope and parkway landscape west of Midway Drive and approximately 120 linear feet of slope and parkway landscape east of Midway Drive.
2. Midway Drive – approximately 120 linear feet of slope and parkway landscape north of El Norte Parkway on the west side and approximately 90 linear feet of slope and parkway landscape north of El Norte Parkway on the east side.

The improvements to be maintained consist of trees, shrubs, ground cover and an irrigation system.

Zone 34: Tract 901

The boundaries of Zone 34 are coterminous with the boundaries of Escondido Tract No. 901, which is located on the north side of Idaho Avenue just west of

Purdum Lane. The nature and extent of the special benefit provided by the improvements to the property within Zone 34 include approximately 200 linear feet of slope and parkway landscaping along Idaho Avenue. The improvements to be maintained consist of trees, shrubs, ground cover and an irrigation system.

Zone 35: Tract 947

The boundaries of Zone 35 are coterminous with the boundaries of Escondido Tract No. 947, which is located on the south side of Hamilton Lane approximately 230 feet west of Bernardo Avenue. The nature and extent of the special benefit provided by the improvements to the property within Zone 35 include the improvements along Hamilton Lane, approximately 370 linear feet of parkway landscaping for a depth of 15 feet behind an existing sidewalk. The improvements to be maintained consist of trees, shrubs, ground cover and an irrigation system.

Zone 36: Tract 889

The boundaries of Zone 36 are coterminous with the boundaries of Escondido Tract No. 889, which is located on the north side of Lehner Avenue, south of Stanley Avenue and east of Ash Street in the northern area of the City. The nature and extent of the special benefit provided by the improvements to the property within Zone 36 include approximately 2,700 square feet of parkway landscaping on the south side of Stanley Avenue east and west of Alec Way, the entry street to Tract 889; 2,200 square feet of parkway landscaping on the north side of Lehner Avenue east and west of Alec Way; and 3,700 square feet of landscaped bio-swale at the southwest corner of the development. The improvements to be maintained consist of trees, shrubs, ground cover and an irrigation system.

Zone 37: Tract 934

Zone 37 is located at 1207 Gamble Street between Lincoln Avenue and El Norte Parkway. The improvements to be maintained by the Landscape Maintenance District include parkway landscape along approximately 120 feet of Gamble Street and along approximately 20 feet of Emilia Place. The landscaped areas

include or will include trees, shrubs, groundcover, a bio-swale, and an automatic irrigation system. The landscaped area totals approximately 1,840 square feet.

Zone 38: Tract 888

The boundaries of Zone 38 are coterminous with the boundaries of Escondido Tract 888, which is located south of East Washington Avenue and west of North Citrus Avenue. The nature and extent of the special benefit provided by the improvements to the property within Zone 38 include planting materials such as ground cover, grass bio swale, shrubs and trees, irrigation systems, and natural drainage areas within Citrus Avenue right-of-way and dedicated 10-foot landscape parkway.

E. IF BONDS OR NOTES WILL BE ISSUED PURSUANT TO SECTION 22662.5, AN ESTIMATE OF THEIR PRINCIPAL AMOUNT

For the current fiscal year the legislative body of the City of Escondido has not determined the need for bonds or notes to be issued.

**CITY OF ESCONDIDO
LANDSCAPE AND MAINTENANCE ASSESSMENT DISTRICT**

APPENDIX I

ESTIMATE OF COST AND ASSESSMENT

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 1 523A&B,653	ZONE 2 Tract 695	ZONE 3 Tract 708	ZONE 4 Tract 721	ZONE 5 Tract 723
Projected Beginning Balance (07/01/17)	\$39,868.78	\$8,431.81	\$11,896.71	\$9,602.67	\$18,750.60
<u>Expenditures</u>					
<u>Direct Costs</u>					
Maintenance	5,160.00	3,870.00	3,870.00	5,160.00	5,160.00
Miscellaneous Repairs	10,000.00	4,000.00	5,000.00	4,000.00	7,000.00
Service/Utilities	11,110.00	3,320.00	2,790.00	7,400.00	7,930.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	26,270.00	11,190.00	11,660.00	16,560.00	20,090.00
<u>Administrative Costs</u>					
Administration/Inspection	5,500.00	1,050.00	1,100.00	1,060.00	1,060.00
Liability Fund	140.90	140.90	140.90	140.90	140.90
Consultant	1,065.00	600.00	600.00	1,000.00	900.00
County Fee	29.70	2.90	2.00	8.20	3.00
Subtotal Administrative Costs:	6,735.60	1,793.80	1,842.90	2,209.10	2,103.90
Subtotal Direct and Administrative:	\$33,005.60	\$12,983.80	\$13,502.90	\$18,769.10	\$22,193.90
Reserve	33,648.12	3,997.93	6,943.90	4,687.05	11,249.64
Total Expenditures:	\$66,653.72	\$16,981.73	\$20,446.80	\$23,456.15	\$33,443.54
Projected Ending Balance (June 30, 2018)	(\$26,784.94)	(\$8,549.92)	(\$8,550.09)	(\$13,853.48)	(\$14,692.94)
Calculated Required Net Levy	\$26,784.94	\$8,549.92	\$8,550.09	\$13,853.48	\$14,692.94
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	Per Parcel	Per Parcel	Per Parcel	Per Parcel	Per Parcel
Number of Benefit Units	297	29	20	82	30
Authorized Maximum Levy 2017/18	\$90.19	\$294.83	\$427.50	\$168.94	\$489.77
Levy per Unit 2017/18	\$90.18	\$294.82	\$427.50	\$168.94	\$489.76
Actual Total Levy	\$26,783.46	\$8,549.78	\$8,550.00	\$13,853.08	\$14,692.80
<u>Historical Information</u>					
2017/18 Levy per Unit	\$90.18	\$294.82	\$427.50	\$168.94	\$489.76
2016/17 Levy per Unit	\$88.44	\$294.82	\$427.50	\$165.68	\$489.76
2015/16 Levy per Unit	\$87.04	\$294.82	\$427.50	\$163.04	\$489.76
2014/15 Levy per Unit	\$85.46	\$294.82	\$427.50	\$160.10	\$489.76
2013/14 Levy per Unit	\$84.35	\$294.82	\$427.50	\$158.00	\$489.76
2012/13 Levy per Unit	\$83.02	\$294.82	\$427.50	\$155.52	\$489.76
2011/12 Levy per Unit	\$80.58	\$294.82	\$427.50	\$150.94	\$489.76
2010/11 Levy per Unit	\$68.70	\$265.34	\$360.96	\$148.98	\$368.98
2009/10 Levy per Unit	\$68.94	\$235.30	\$310.96	\$101.32	\$270.98
2008/09 Levy per Unit	\$49.98	\$235.32	\$310.96	\$101.32	\$270.98
2007/08 Levy per Unit	\$49.98	\$149.96	\$186.10	\$101.32	\$270.98
2006/07 Levy per Unit	\$49.98	\$149.96	\$186.10	\$101.32	\$270.98
2005/06 Levy per Unit	\$49.98	\$159.96	\$198.86	\$101.32	\$270.98
2004/05 Levy per Unit	\$49.98	\$166.36	\$210.96	\$101.32	\$270.98
2003/04 Levy per Unit	\$49.98	\$235.32	\$310.96	\$101.32	\$270.98
2002/03 Levy per Unit	\$38.46	\$235.32	\$310.96	\$101.32	\$270.98
2001/02 Levy per Unit	\$59.76	\$235.32	\$310.96	\$101.32	\$270.98

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 6 Tract 611R	ZONE 7 Tract 733R	ZONE 8 Tract 789	ZONE 9 Laurel Valley	ZONE 10 Country Club
Projected Beginning Balance (07/01/17)	\$5,537.00	\$23,722.01	\$3,533.66	\$50,147.35	\$30,381.51
<u>Expenditures</u>					
<u>Direct Costs</u>					
Maintenance	969.00	2,580.00	1,290.00	20,640.00	5,160.00
Miscellaneous Repairs	3,000.00	8,000.00	2,000.00	25,000.00	8,000.00
Service/Utilities	2,495.00	6,500.00	1,830.00	48,200.00	7,230.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	6,464.00	17,080.00	5,120.00	93,840.00	20,390.00
<u>Administrative Costs</u>					
Administration/Inspection	600.00	3,200.00	65.00	14,350.00	6,200.00
Liability Fund	0.00	140.90	0.00	140.90	140.90
Consultant	600.00	600.00	500.00	1,525.00	4,455.00
County Fee	1.30	2.20	2.90	15.60	152.40
Subtotal Administrative Costs:	1,201.30	3,943.10	567.90	16,031.50	10,948.30
Subtotal Direct and Administrative:	\$7,665.30	\$21,023.10	\$5,687.90	\$109,871.50	\$31,338.30
Reserve	3,500.76	17,994.29	461.70	22,104.86	26,767.89
Total Expenditures:	\$11,166.06	\$39,017.39	\$6,149.60	\$131,976.36	\$58,106.19
Projected Ending Balance (June 30, 2018)	(\$5,629.06)	(\$15,295.38)	(\$2,615.94)	(\$81,829.01)	(\$27,724.68)
Calculated Required Net Levy	\$5,629.06	\$15,295.38	\$2,615.94	\$81,829.01	\$27,724.68
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	Per Parcel	Per Parcel	Per Parcel	Per Parcel	Per EDU
Number of Benefit Units	13	22	29	156	1,571.25
Authorized Maximum Levy 2017/18	\$433.01	\$987.82	\$90.20	\$524.55	\$17.65
Levy per Unit 2017/18	\$433.00	\$695.24	\$90.20	\$524.54	\$17.64
Actual Total Levy	\$5,629.00	\$15,295.28	\$2,615.80	\$81,828.24	\$27,716.76
<u>Historical Information</u>					
2017/18 Levy per Unit	\$433.00	\$695.24	\$90.20	\$524.54	\$17.64
2016/17 Levy per Unit	\$424.66	\$688.36	\$90.20	\$514.44	\$17.30
2015/16 Levy per Unit	\$417.90	\$688.36	\$90.20	\$506.24	\$17.02
2014/15 Levy per Unit	\$410.38	\$663.36	\$90.20	\$497.12	\$16.72
2013/14 Levy per Unit	\$405.00	\$660.39	\$90.20	\$490.62	\$16.50
2012/13 Levy per Unit	\$398.62	\$629.12	\$90.20	\$482.88	\$16.24
2011/12 Levy per Unit	\$386.88	\$599.16	\$90.20	\$468.66	\$15.76
2010/11 Levy per Unit	\$381.84	\$582.16	\$90.20	\$462.56	\$15.56
2009/10 Levy per Unit	\$370.32	\$582.16	\$0.00	\$462.56	\$15.56
2008/09 Levy per Unit	\$279.98	\$299.00	\$0.00	\$448.60	\$15.08
2007/08 Levy per Unit	\$279.98	\$244.60	\$0.00	\$435.44	\$14.64
2006/07 Levy per Unit	\$279.98	\$244.60	\$0.00	\$421.12	\$14.16
2005/06 Levy per Unit	\$287.66	\$0.00	\$0.00	\$406.22	\$13.66
2004/05 Levy per Unit	\$299.94	\$0.00	\$0.00	\$391.90	\$13.18
2003/04 Levy per Unit	\$311.86	\$294.30	\$0.00	\$377.78	\$12.70
2002/03 Levy per Unit	\$300.86	\$332.15	\$0.00	\$365.00	\$12.28
2001/02 Levy per Unit	\$288.06	\$389.32	\$0.00	\$330.00	\$11.74

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 11 Parkwood	ZONE 12 Reidy Creek	ZONE 13 Ctr City Prkwy	ZONE 14 Tract 747	ZONE 15 Tract 805
Projected Beginning Balance (07/01/17)	\$54,712.01	\$61,910.27	\$13,623.35	\$12,574.83	\$17,596.91
<u>Expenditures</u>					
<i>Direct Costs</i>					
Maintenance	20,640.00	3,600.00	3,870.00	969.00	2,580.00
Miscellaneous Repairs	12,000.00	13,000.00	4,000.00	3,000.00	2,600.00
Service/Utilities	60,200.00	0.00	4,495.00	1,920.00	3,280.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	92,840.00	16,600.00	12,365.00	5,889.00	8,460.00
<i>Administrative Costs</i>					
Administration/Inspection	6,200.00	17,500.00	6,100.00	270.00	1,090.00
Liability Fund	140.90	140.90	140.90	0.00	140.90
Consultant	1,595.00	1,500.00	525.00	340.00	525.00
County Fee	33.00	1.80	2.00	0.80	1.80
Subtotal Administrative Costs:	7,968.90	19,142.70	6,767.90	610.80	1,757.70
Subtotal Direct and Administrative:	\$100,808.90	\$35,742.70	\$19,132.90	\$6,499.80	\$10,217.70
Reserve	38,404.55	61,047.35	6,724.87	10,473.78	15,676.93
Total Expenditures:	\$139,213.45	\$96,790.05	\$25,857.77	\$16,973.58	\$25,894.63
Projected Ending Balance (June 30, 2018)	(\$84,501.44)	(\$34,879.78)	(\$12,234.42)	(\$4,398.75)	(\$8,297.72)
Calculated Required Net Levy	\$84,501.44	\$34,879.78	\$12,234.42	\$4,398.75	\$8,297.72
<u>City Contribution</u>	\$0.00	\$0.00	\$3,809.80	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	Per Parcel	Per Acre	Front Footage	Per Parcel	Per Parcel
Number of Benefit Units	330	86.19	1,515	8	18
Authorized Maximum Levy 2017/18	\$256.06	\$688.38	\$5.57	\$658.55	\$460.98
Levy per Unit 2017/18	\$256.06	\$404.68	\$5.56	\$549.84	\$460.98
Actual Total Levy	\$84,499.80	\$34,879.28	\$8,424.56	\$4,398.72	\$8,297.64
<u>Historical Information</u>					
2017/18 Levy per Unit	\$256.06	\$404.68	\$5.56	\$549.84	\$460.98
2016/17 Levy per Unit	\$251.12	\$388.20	\$5.46	\$459.52	\$452.08
2015/16 Levy per Unit	\$247.12	\$342.41	\$5.37	\$459.52	\$444.88
2014/15 Levy per Unit	\$242.66	\$405.52	\$5.28	\$459.52	\$436.88
2013/14 Levy per Unit	\$239.50	\$393.92	\$5.21	\$459.52	\$431.16
2012/13 Levy per Unit	\$207.50	\$383.72	\$4.74	\$459.52	\$424.36
2011/12 Levy per Unit	\$207.50	\$383.72	\$4.74	\$459.52	\$411.86
2010/11 Levy per Unit	\$207.50	\$383.72	\$4.74	\$459.52	\$385.42
2009/10 Levy per Unit	\$175.08	\$398.64	\$3.56	\$399.00	\$385.40
2008/09 Levy per Unit	\$175.08	\$199.00	\$2.67	\$399.00	\$299.00
2007/08 Levy per Unit	\$175.08	\$238.00	\$4.62	\$399.00	\$341.34
2006/07 Levy per Unit	\$175.08	\$238.00	\$4.46	\$399.00	\$325.00
2005/06 Levy per Unit	\$175.08	\$299.00	\$4.30	\$399.00	\$325.00
2004/05 Levy per Unit	\$175.08	\$335.42	\$3.98	\$399.00	\$295.00
2003/04 Levy per Unit	\$175.08	\$439.84	\$3.98	\$398.30	\$290.40
2002/03 Levy per Unit	\$175.08	\$439.84	\$3.26	\$285.20	\$244.46
2001/02 Levy per Unit	\$175.08	\$439.84	\$2.68	\$209.92	\$244.74

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 16 Tract 741	ZONE 17 Tract 800	ZONE 18 Tract 818	ZONE 19 Tract 819 & 844	ZONE 20 Tract 817
Projected Beginning Balance (07/01/17)	\$9,287.77	\$10,082.56	\$4,108.15	\$280,456.04	\$13,304.31
<u>Expenditures</u>					
<i>Direct Costs</i>					
Maintenance	969.00	1,935.00	1,290.00	41,280.00	3,870.00
Miscellaneous Repairs	2,200.00	3,000.00	2,000.00	60,000.00	5,000.00
Service/Utilities	1,345.00	2,747.50	1,670.00	96,610.00	4,745.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	4,514.00	7,682.50	4,960.00	197,890.00	13,615.00
<i>Administrative Costs</i>					
Administration/Inspection	530.00	1,100.00	250.00	41,310.00	600.00
Liability Fund	0.00	0.00	0.00	140.90	140.90
Consultant	340.00	500.00	585.00	2,600.00	340.00
County Fee	1.00	4.70	5.00	26.20	0.90
Subtotal Administrative Costs:	871.00	1,604.70	840.00	44,077.10	1,081.80
Subtotal Direct and Administrative:	\$5,385.00	\$9,287.20	\$5,800.00	\$241,967.10	\$14,696.80
Reserve	7,195.41	6,985.49	2,959.39	219,223.08	8,009.85
Total Expenditures:	\$12,580.41	\$16,272.69	\$8,759.39	\$461,190.18	\$22,706.65
Projected Ending Balance (June 30, 2018)	(\$3,292.64)	(\$6,190.13)	(\$4,651.24)	(\$180,734.14)	(\$9,402.34)
Calculated Required Net Levy	\$3,292.64	\$6,190.13	\$4,651.24	\$180,734.14	\$9,402.34
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	Per Parcel	Per Parcel	Per Parcel	Per Parcel	Per Parcel
Number of Benefit Units	10	47	50	262	9
Authorized Maximum Levy 2017/18	\$329.27	\$131.71	\$93.02	\$1,037.19	\$1,044.70
Levy per Unit 2017/18	\$329.26	\$131.70	\$93.02	\$689.82	\$1,044.70
Actual Total Levy	\$3,292.60	\$6,189.90	\$4,651.00	\$180,732.84	\$9,402.30
<u>Historical Information</u>					
2017/18 Levy per Unit	\$329.26	\$131.70	\$93.02	\$689.82	\$1,044.70
2016/17 Levy per Unit	\$320.96	\$129.16	\$91.22	\$689.82	\$1,024.56
2015/16 Levy per Unit	\$317.78	\$127.10	\$89.76	\$689.82	\$1,008.24
2014/15 Levy per Unit	\$298.44	\$124.82	\$88.16	\$659.32	\$990.08
2013/14 Levy per Unit	\$288.20	\$123.18	\$87.00	\$698.36	\$783.26
2012/13 Levy per Unit	\$303.12	\$121.24	\$85.62	\$688.36	\$783.26
2011/12 Levy per Unit	\$294.18	\$117.66	\$83.10	\$698.14	\$783.26
2010/11 Levy per Unit	\$290.36	\$116.14	\$82.02	\$579.22	\$696.42
2009/10 Levy per Unit	\$255.00	\$116.14	\$82.02	\$579.22	\$696.42
2008/09 Levy per Unit	\$255.00	\$108.12	\$54.98	\$579.22	\$591.78
2007/08 Levy per Unit	\$255.00	\$64.90	\$54.98	\$623.50	\$591.78
2006/07 Levy per Unit	\$255.00	\$64.90	\$54.98	\$623.50	\$591.78
2005/06 Levy per Unit	\$255.00	\$59.00	\$49.64	\$699.46	\$591.78
2004/05 Levy per Unit	\$237.40	\$49.96	\$32.00	\$699.46	\$591.78
2003/04 Levy per Unit	\$198.00	\$49.96	\$29.00	\$746.98	\$591.78
2002/03 Levy per Unit	\$185.36	\$42.96	\$27.34	\$363.74	\$591.78
2001/02 Levy per Unit	\$185.36	\$62.80	\$61.88	\$690.00	\$353.93

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 21 Tract 823	ZONE 22 Tract 808	ZONE 23 Tract 837	ZONE 24 Tract 824 & 845	ZONE 25 Tr. 847,821,787
Projected Beginning Balance (07/01/17)	\$20,259.09	\$21,483.14	\$12,814.06	\$10,604.47	\$25,676.93
<u>Expenditures</u>					
<i>Direct Costs</i>					
Maintenance	1,935.00	2,580.00	969.00	10,320.00	2,580.00
Miscellaneous Repairs	3,000.00	3,000.00	2,500.00	2,000.00	3,000.00
Service/Utilities	3,510.00	4,205.00	2,615.00	17,495.00	2,980.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	8,445.00	9,785.00	6,084.00	29,815.00	8,560.00
<i>Administrative Costs</i>					
Administration/Inspection	1,090.00	1,200.00	1,200.00	2,100.00	2,250.00
Liability Fund	0.00	140.90	0.00	140.90	140.90
Consultant	525.00	700.00	780.00	1,310.00	1,055.00
County Fee	1.60	2.30	1.60	5.80	5.20
Subtotal Administrative Costs:	1,616.60	2,043.20	1,981.60	3,556.70	3,451.10
Subtotal Direct and Administrative:	\$10,061.60	\$11,828.20	\$8,065.60	\$33,371.70	\$12,011.10
Reserve	19,697.33	19,246.97	9,895.73	4,738.97	30,271.76
Total Expenditures:	\$29,758.93	\$31,075.17	\$17,961.33	\$38,110.67	\$42,282.86
Projected Ending Balance (June 30, 2018)	(\$9,499.84)	(\$9,592.03)	(\$5,147.27)	(\$27,506.20)	(\$16,605.93)
Calculated Required Net Levy	\$9,499.84	\$9,592.03	\$5,147.27	\$27,506.20	\$16,605.93
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	Per Parcel	Per Parcel	Per Parcel	Per Parcel	Per Parcel
Number of Benefit Units	16	23	16	58	52
Authorized Maximum Levy 2017/18	\$593.75	\$1,004.55	\$481.44	\$474.25	\$319.35
Levy per Unit 2017/18	\$593.74	\$417.04	\$321.70	\$474.24	\$319.34
Actual Total Levy	\$9,499.84	\$9,591.92	\$5,147.20	\$27,505.92	\$16,605.68
<u>Historical Information</u>					
2017/18 Levy per Unit	\$593.74	\$417.04	\$321.70	\$474.24	\$319.34
2016/17 Levy per Unit	\$538.72	\$348.54	\$268.86	\$465.10	\$234.62
2015/16 Levy per Unit	\$533.40	\$345.10	\$266.20	\$457.70	\$232.30
2014/15 Levy per Unit	\$562.70	\$263.20	\$311.48	\$449.46	\$231.76
2013/14 Levy per Unit	\$555.34	\$398.48	\$367.48	\$443.56	\$168.10
2012/13 Levy per Unit	\$546.58	\$398.48	\$407.24	\$436.58	\$140.34
2011/12 Levy per Unit	\$530.50	\$392.12	\$430.14	\$423.72	\$175.94
2010/11 Levy per Unit	\$473.50	\$424.74	\$424.54	\$418.20	\$158.20
2009/10 Levy per Unit	\$473.50	\$584.02	\$396.26	\$418.20	\$83.10
2008/09 Levy per Unit	\$299.00	\$0.00	\$250.00	\$299.00	\$123.30
2007/08 Levy per Unit	\$299.00	\$0.00	\$199.00	\$299.00	\$123.30
2006/07 Levy per Unit	\$299.00	\$199.00	\$199.00	\$299.00	\$123.30
2005/06 Levy per Unit	\$299.00	\$44.02	\$199.00	\$250.68	\$123.30
2004/05 Levy per Unit	\$384.04	\$239.44	\$249.00	\$341.56	\$199.00
2003/04 Levy per Unit	\$384.04	\$278.46	\$293.72	\$341.56	\$229.04
2002/03 Levy per Unit	\$384.04	\$697.93	\$231.98	\$173.77	N/A
2001/02 Levy per Unit	\$212.09	N/A	N/A	N/A	N/A

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 26 Tracts 856	ZONE 27 Tract 850	ZONE 28 Tract 839	ZONE 29 Tract 861	ZONE 30 Tract 880
Projected Beginning Balance (07/01/17)	\$14,550.30	\$74,087.73	\$160,858.58	\$16,610.03	\$5.43
<u>Expenditures</u>					
<i>Direct Costs</i>					
Maintenance	1,938.00	7,740.00	19,800.00	1,290.00	0.00
Miscellaneous Repairs	2,500.00	10,000.00	15,000.00	3,000.00	0.00
Service/Utilities	2,995.00	11,095.00	64,425.00	3,415.00	0.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	7,433.00	28,835.00	99,225.00	7,705.00	0.00
<i>Administrative Costs</i>					
Administration/Inspection	550.00	10,019.10	21,500.00	1,150.00	5.40
Liability Fund	0.00	140.90	140.90	0.00	0.00
Consultant	840.00	2,500.00	1,875.00	595.00	0.00
County Fee	1.30	12.70	34.00	1.20	0.00
Subtotal Administrative Costs:	1,391.30	12,672.70	23,549.90	1,746.20	5.40
Subtotal Direct and Administrative:	\$8,824.30	\$41,507.70	\$122,774.90	\$9,451.20	\$5.40
Reserve	12,442.90	62,261.55	138,834.17	13,845.28	0.00
Total Expenditures:	\$21,267.20	\$103,769.25	\$261,609.07	\$23,296.48	\$5.40
Projected Ending Balance (June 30, 2018)	(\$6,716.90)	(\$29,681.52)	(\$100,750.49)	(\$6,686.45)	\$0.03
Calculated Required Net Levy	\$6,716.90	\$29,681.52	\$100,750.49	\$6,686.45	\$0.00
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	Per Parcel	Per Parcel	Per Parcel	Per Parcel	Per Parcel
Number of Benefit Units	13	127	340	12	4
Authorized Maximum Levy 2017/18	\$535.37	\$479.05	\$530.69	\$568.15	\$774.75
Levy per Unit 2017/18	\$516.68	\$233.70	\$296.32	\$557.20	\$0.00
Actual Total Levy	\$6,716.84	\$29,679.90	\$100,748.80	\$6,686.40	\$0.00
<u>Historical Information</u>					
2017/18 Levy per Unit	\$516.68	\$233.70	\$296.32	\$557.20	\$0.00
2016/17 Levy per Unit	\$443.52	\$302.42	\$331.76	\$476.56	\$0.00
2015/16 Levy per Unit	\$439.14	\$299.44	\$331.76	\$476.56	\$0.00
2014/15 Levy per Unit	\$459.48	\$273.68	\$296.32	\$434.22	\$0.00
2013/14 Levy per Unit	\$455.36	\$214.48	\$274.58	\$374.04	\$0.00
2012/13 Levy per Unit	\$455.36	\$214.48	\$274.58	\$374.04	\$0.00
2011/12 Levy per Unit	\$478.32	\$195.88	\$265.76	\$497.86	\$0.00
2010/11 Levy per Unit	\$406.10	\$186.62	\$216.72	\$0.00	\$0.00
2009/10 Levy per Unit	\$406.10	\$62.86	\$195.64	\$262.90	\$0.00
2008/09 Levy per Unit	\$295.00	\$40.36	\$193.40	\$0.00	\$0.00
2007/08 Levy per Unit	\$395.48	\$86.62	\$440.54	\$394.60	\$499.00
2006/07 Levy per Unit	\$395.48	\$259.70	\$43.48	\$394.60	\$499.00
2005/06 Levy per Unit	\$395.48	\$370.06	\$0.00	\$439.68	\$587.60
2004/05 Levy per Unit	\$395.48	N/A	N/A	N/A	N/A
2003/04 Levy per Unit	N/A	N/A	N/A	N/A	N/A
2002/03 Levy per Unit	N/A	N/A	N/A	N/A	N/A
2001/02 Levy per Unit	N/A	N/A	N/A	N/A	N/A

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 31 Tract 834	ZONE 32 Tract 881	ZONE 33 Tract 883	ZONE 34 Tract 901	ZONE 35 Tract 947
Projected Beginning Balance (07/01/17)	\$0.51	\$10,917.79	\$16,435.47	\$12,969.28	\$13,808.28
<u>Expenditures</u>					
<i>Direct Costs</i>					
Maintenance	0.00	1,290.00	3,870.00	2,580.00	1,290.00
Miscellaneous Repairs	0.00	2,000.00	3,000.00	3,000.00	2,200.00
Service/Utilities	0.00	2,085.00	5,265.00	2,827.00	2,980.00
Annual Installment	0.00	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	0.00	5,375.00	12,135.00	8,407.00	6,470.00
<i>Administrative Costs</i>					
Administration/Inspection	0.50	1,050.00	1,050.00	530.00	550.00
Liability Fund	0.00	0.00	140.90	140.90	0.00
Consultant	0.00	525.00	525.00	505.00	705.00
County Fee	0.00	2.20	1.10	0.50	0.60
Subtotal Administrative Costs:	0.50	1,577.20	1,717.00	1,176.40	1,255.60
Subtotal Direct and Administrative:	\$0.50	\$6,952.20	\$13,852.00	\$9,583.40	\$7,725.60
Reserve	0.00	10,377.81	12,873.36	9,613.90	10,526.19
Total Expenditures:	\$0.50	\$17,330.01	\$26,725.36	\$19,197.30	\$18,251.79
Projected Ending Balance (June 30, 2018)	\$0.01	(\$6,412.22)	(\$10,289.89)	(\$6,228.02)	(\$4,443.51)
Calculated Required Net Levy	\$0.00	\$6,412.22	\$10,289.89	\$6,228.02	\$4,443.51
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<u>Apportionment</u>					
Unit of Benefit	\$0.00	Per Parcel	Per Parcel	Per Parcel	Per Parcel
Number of Benefit Units	-	22	11	5	6
Authorized Maximum Levy 2017/18	\$0.00	\$291.47	\$935.44	\$1,245.60	\$1,035.99
Levy per Unit 2017/18	\$0.00	\$291.46	\$935.44	\$1,245.60	\$740.58
Actual Total Levy	\$0.00	\$6,412.12	\$10,289.84	\$6,228.00	\$4,443.48
<u>Historical Information</u>					
2017/18 Levy per Unit	\$0.00	\$291.46	\$935.44	\$1,245.60	\$740.58
2016/17 Levy per Unit	\$0.00	\$206.16	\$917.40	\$1,221.58	\$624.64
2015/16 Levy per Unit	\$0.00	\$204.12	\$902.80	\$1,202.12	\$618.46
2014/15 Levy per Unit	\$0.00	\$276.22	\$886.54	\$1,180.48	\$644.40
2013/14 Levy per Unit	\$0.00	\$179.98	\$874.94	\$999.30	\$968.98
2012/13 Levy per Unit	\$0.00	\$198.44	\$861.14	\$990.98	\$953.70
2011/12 Levy per Unit	\$0.00	\$195.44	\$835.78	\$990.98	\$925.62
2010/11 Levy per Unit	\$0.00	\$195.44	\$824.90	\$990.98	\$62.72
2009/10 Levy per Unit	\$0.00	\$197.44	\$673.98	\$899.72	\$0.00
2008/09 Levy per Unit	\$0.00	\$145.82	\$499.94	\$816.76	\$788.78
2007/08 Levy per Unit	\$0.00	\$241.96	\$776.53	\$886.54	\$856.76
2006/07 Levy per Unit	\$0.00	\$233.50	\$750.54	\$998.10	\$998.10
2005/06 Levy per Unit	\$0.00	N/A	N/A	N/A	N/A
2004/05 Levy per Unit	\$0.00	N/A	N/A	N/A	N/A
2003/04 Levy per Unit	\$0.00	N/A	N/A	N/A	N/A
2002/03 Levy per Unit	\$0.00	N/A	N/A	N/A	N/A
2001/02 Levy per Unit	\$0.00	N/A	N/A	N/A	N/A

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

Appendix I
 Estimate of Cost and Assessment

ZONE DESCRIPTION	ZONE 36 Tract 889	ZONE 37 Tract 934	ZONE 38 Tract 888	TOTAL ZONES
Projected Beginning Balance (07/01/17)	\$20,411.73	\$11,211.65	\$7,657.98	\$1,129,890.75
<u>Expenditures</u>				
<u>Direct Costs</u>				
Maintenance	0.00	0.00	2,400.00	195,444.00
Miscellaneous Repairs	0.00	4,800.40	1,500.00	243,300.40
Service/Utilities	0.00	0.00	2,290.00	403,999.50
Annual Installment	0.00	0.00	0.00	0.00
Subtotal Direct Costs:	0.00	4,800.40	6,190.00	842,743.90
<u>Administrative Costs</u>				
Administration/Inspection	600.00	150.00	450.00	154,580.00
Liability Fund	0.00	0.00	140.90	3,099.80
Consultant	2,600.00	340.00	1,200.00	37,275.00
County Fee	0.00	0.50	0.70	368.70
Subtotal Administrative Costs:	3,200.00	490.50	1,791.60	195,323.50
Subtotal Direct and Administrative:	\$3,200.00	\$5,290.90	\$7,981.60	\$1,038,067.40
Reserve	17,211.73	5,920.76	6,883.89	892,699.14
Total Expenditures:	\$20,411.73	\$11,211.66	\$14,865.49	\$1,930,766.54
Projected Ending Balance (June 30, 2018)	\$0.00	(\$0.00)	(\$7,207.51)	
Calculated Required Net Levy	\$0.00	\$0.00	\$7,207.51	\$800,875.83
<u>City Contribution</u>	\$0.00	\$0.00	\$0.00	\$3,809.80
<u>Apportionment</u>				
Unit of Benefit	Per Parcel	Per Parcel	Per Parcel	
Number of Benefit Units	16	5	7	5,317.44
Authorized Maximum Levy 2017/18	\$795.10	\$0.00	\$1,049.88	
Levy per Unit 2017/18	\$0.00	\$0.00	\$1,029.64	
Actual Total Levy	\$0.00	\$0.00	\$7,207.48	\$797,046.26
<u>Historical Information</u>				
2017/18 Levy per Unit	\$0.00	\$0.00	\$1,029.64	
2016/17 Levy per Unit	\$0.00	\$1,084.32	\$913.76	
2015/16 Levy per Unit	\$0.00	\$1,067.07	\$913.76	
2014/15 Levy per Unit	\$26.64	\$0.00	\$995.00	
2013/14 Levy per Unit	\$147.12	\$0.00	NA	
2012/13 Levy per Unit	\$256.22	\$0.00	NA	
2011/12 Levy per Unit	\$390.35	\$0.00	NA	
2010/11 Levy per Unit	\$301.60	N/A	NA	
2009/10 Levy per Unit	\$330.41	N/A	NA	
2008/09 Levy per Unit	\$136.04	N/A	N/A	
2007/08 Levy per Unit	N/A	N/A	N/A	
2006/07 Levy per Unit	N/A	N/A	N/A	
2005/06 Levy per Unit	N/A	N/A	N/A	
2004/05 Levy per Unit	N/A	N/A	N/A	
2003/04 Levy per Unit	N/A	N/A	N/A	
2002/03 Levy per Unit	N/A	N/A	N/A	
2001/02 Levy per Unit	N/A	N/A	N/A	

Note (General): The difference between Calculated Required Net Levy and Actual Total Levy is due to rounding.

**CITY OF ESCONDIDO
LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT**

APPENDIX II

ASSESSMENT ROLL

The assessment roll shows, for every Zone, each assessor parcel number and the proposed assessment amount.

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 1

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-481-01-00	Gausepohl Family Trust	2245 Eucalyptus Ave	2245 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-02-00	Conwell Family 2008 Trust	2257 Eucalyptus Ave	2257 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-03-00	Haines Family Trust	2301 Eucalyptus Ave	2301 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-04-00	Healey George M & Susan	2313 Eucalyptus Ave	2313 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-05-00	Reinhart Carl W & Carol J	2325 Eucalyptus Ave	2325 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-06-00	Adams William V	2337 Eucalyptus Ave	2337 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-07-00	Pedote Family Trust	2415 Eucalyptus Ave	2415 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-08-00	Engelman Martin H Living	2427 Eucalyptus Ave	2427 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-09-00	Hamilton Theodore C &	2439 Eucalyptus Ave	2439 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-481-10-00	Fitzpatrick Family Trust	2451 Eucalyptus Ave	2451 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-482-01-00	Holly Family Trust 09-22-99	1629 Buckskin Dr	1629 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-02-00	Winkler Revocable Living	1619 Buckskin Dr	1619 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-03-00	Borecky Family Trust	1609 Buckskin Dr	1609 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-04-00	Isola Family Trust 01-06-14	1543 Buckskin Dr	1160 Redberry Pl	Nipomo CA 93444	1	\$90.18
238-482-05-00	Robles Michelle L Trust	1535 Buckskin Dr	1535 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-06-00	Weber Family Trust	1527 Buckskin Dr	1527 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-07-00	Strumpf Jack & Leslee B	1519 Buckskin Dr	1519 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-08-00	Anderson Family Trust	1511 Buckskin Dr	1511 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-09-00	Reymond Family Trust	1439 Buckskin Dr	1439 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-10-00	Graf Donald F	1433 Buckskin Dr	10965 Villa Monte Ct	Mukilteo WA 98275	1	\$90.18
238-482-11-00	Sterling Family Trust	1427 Buckskin Dr	1427 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-12-00	Gruel Trust 04-27-99	1421 Buckskin Dr	1421 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-482-13-00	Zaugh Anthony N & Sherry	1415 Buckskin Dr	1415 Buckskin Dr	Escondido CA 92029	1	\$90.18
238-483-01-00	King Family Trust 06-04-12	1627 Winsome Dr	1627 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-02-00	Barden James & Patricia	1617 Winsome Dr	1617 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-03-00	Bohle Family Trust	1607 Winsome Dr	1607 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-04-00	Ehrke Family 2004 Trust	1545 Winsome Dr	1545 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-05-00	Haman Family Trust	1537 Winsome Dr	1537 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-06-00	Jones Cherie M Trust	1529 Winsome Dr	1529 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-07-00	Hermes Family Trust	1521 Winsome Dr	1521 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-08-00	Gazzaneo David A &	1513 Winsome Dr	1513 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-09-00	Woolley Family Trust	1449 Winsome Dr	1449 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-10-00	Osuna Lesvia M	1441 Winsome Dr	1441 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-11-00	Weis Family Living Trust	1435 Winsome Dr	1435 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-12-00	Jordan Mark S	1429 Winsome Dr	1429 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-13-00	Ortuno Victor Jr & Sharon	1423 Winsome Dr	1423 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-14-00	Huff Family Trust 06-01-99	1417 Winsome Dr	1417 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-15-00	Johnson Family Trust	1411 Winsome Dr	1411 Winsome Dr	Escondido CA 92029	1	\$90.18
238-483-16-00	Zuccone Trust A 03-06-84	1409 Mandeville Dr	1409 Mandeville Dr	Escondido CA 92029	1	\$90.18
238-483-17-00	Hiddleston Family Trust	1405 Mandeville Dr	1405 Mandeville Dr	Escondido CA 92029	1	\$90.18
238-483-18-00	Sadri Family Trust	2320 Cortina Cir	2320 Cortina Cir	Escondido CA 92029	1	\$90.18
238-483-19-00	Wilke Stephen D & Rebecca	2328 Cortina Cir	2328 Cortina Cir	Escondido CA 92029	1	\$90.18
238-483-20-00	Tatum Derek N & Anne M	2336 Cortina Cir	2336 Cortina Cir	Escondido CA 92029	1	\$90.18
238-483-21-00	Jump Michael L & Sue A	2342 Cortina Cir	2342 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-01-00	Hill Michael & Sherri	1631 Cortina Cir	1631 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-02-00	Karp Lawrence & Rebecca	1621 Cortina Cir	1621 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-03-00	Chase Daniel R & Katherine	1611 Cortina Cir	1611 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-04-00	Rhoads Roderic A & Kim M	1539 Cortina Cir	1539 Cortina Cir	Escondido CA 92029	1	\$90.18

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 1

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-484-05-00	Falls Cynthia	1529 Cortina Cir	1529 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-06-00	Madison John & Nicole	1519 Cortina Cir	1519 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-07-00	Parsons Family Trust	1509 Cortina Cir	1509 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-08-00	Stone Edward Separate	1441 Cortina Cir	1441 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-09-00	Kreitzer Harvey C &	1433 Cortina Cir	1433 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-10-00	Puca Living Trust 09-24-05	1425 Cortina Cir	1425 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-11-00	Rishel Family Trust	1417 Cortina Cir	1417 Cortina Cir	Escondido CA 92029	1	\$90.18
238-484-12-00	Stern Family Trust	1412 Ventana Dr	1412 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-13-00	Klopfert Rudolf G & Sharon	1420 Ventana Dr	1420 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-14-00	Nugent William A &	1428 Ventana Dr	1428 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-15-00	Bradsher Family Trust	1436 Ventana Dr	1436 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-16-00	Allison John & Michelle	1444 Ventana Dr	1444 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-17-00	Roberts Pace J & Patricia A	1452 Ventana Dr	1515 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-484-18-00	Stewart Robert O &	1510 Ventana Dr	1510 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-19-00	Adimari Robert W &	1520 Ventana Dr	1520 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-20-00	Neiger Family Trust	1530 Ventana Dr	1530 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-21-00	Finkel Scott J & Michele T	1540 Ventana Dr	1540 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-22-00	Hannes Charles A & Linda	1550 Ventana Dr	1550 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-23-00	Wells Family Trust	1610 Ventana Dr	1610 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-24-00	Koser Trust 09-18-97	1620 Ventana Dr	1620 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-25-00	Naves Ronald E Jr Trust	1630 Ventana Dr	1630 Ventana Dr	Escondido CA 92029	1	\$90.18
238-484-26-00	Thomson Richard O Trust	1640 Ventana Dr	1640 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-01-00	Henry Annette Trust	2470 Eucalyptus Ave	2470 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-485-02-00	Zappoli Ernest E	2460 Eucalyptus Ave	2460 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-485-03-00	Auresto Family Survivors	1639 Ventana Dr	1639 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-04-00	Yehezkel Family Trust	1629 Ventana Dr	1629 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-05-00	Alexander Michael & Leslie	1619 Ventana Dr	1619 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-06-00	Ness Family Trust 05-03-95	1609 Ventana Dr	1609 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-07-00	Bloom Family Trust	1549 Ventana Dr	1549 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-08-00	Frisch William L & Bridgett	1539 Ventana Dr	1539 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-09-00	Wester Family Trust	1529 Ventana Dr	1529 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-10-00	Smith Family Trust	1519 Ventana Dr	1519 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-11-00	Martinezgarcia David &	1509 Ventana Dr	1509 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-12-00	Smith Mary E Trust	1451 Ventana Dr	1451 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-13-00	Cagle Billie J Tr	1445 Ventana Dr	1445 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-14-00	Casey Arthur J & Sharon M	1437 Ventana Dr	1437 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-15-00	Frey Family Trust 04-24-03	1431 Ventana Dr	1431 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-16-00	Anderson Douglas B &	1425 Ventana Dr	1425 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-17-00	Sammuli Arvid G & Caryn G	1417 Ventana Dr	1417 Ventana Dr	Escondido CA 92029	1	\$90.18
238-485-18-00	Williams Martin J & Sara A	2463 Monterey Dr	2463 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-19-00	Brear Family 2011 Trust	2475 Monterey Dr	2475 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-20-00	Winter Family Trust	2488 Monterey Dr	2488 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-21-00	Smith Family Trust	2484 Monterey Dr	2484 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-22-00	Pubentz Living Trust	2480 Monterey Dr	2480 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-23-00	Brunolli Michael J & Leslie	2470 Monterey Dr	2470 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-24-00	Cook Family Trust 12-16-87	2460 Monterey Dr	2460 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-25-00	Nelson Jeremy M & Lesley	2450 Monterey Dr	2450 Monterey Dr	Escondido CA 92029	1	\$90.18
238-485-26-00	Taylor Family Trust	2440 Monterey Dr	2440 Monterey Dr	Escondido CA 92029	1	\$90.18

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 1

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-485-27-00	Zickgraf John H & Joanne C	2335 Cortina Cir	2335 Cortina Cir	Escondido CA 92029	1	\$90.18
238-485-28-00	Schauer Family Trust	2329 Cortina Cir	2329 Cortina Cir	Escondido CA 92029	1	\$90.18
238-485-29-00	Lewis Trust 01-13-00	2321 Cortina Cir	2321 Cortina Cir	Escondido CA 92029	1	\$90.18
238-491-67-00	Tucker Richard F Trust	2225 Cortina Cir	2225 Cortina Cir	Escondido CA 92029	1	\$90.18
238-491-68-00	Mcguire J T	2223 Cortina Cir	2223 Cortina Cir	Escondido CA 92029	1	\$90.18
238-491-69-00	Donaldson Charles &	2221 Cortina Cir	2221 Cortina Cir	Escondido CA 92029	1	\$90.18
238-491-70-00	Breed Family Revocable	2220 Eucalyptus Ave	2220 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-491-71-00	Taranto Michael D &	2218 Eucalyptus Ave	2218 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-491-72-00	Passalacqua Joseph Iii	1465 Hamilton Ln	1465 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-491-73-00	Labarbera John F & Gina M	1455 Hamilton Ln	14468 Trailwind Rd	Poway CA 92064	1	\$90.18
238-491-74-00	Hamaguchi Trust 07-12-01	1445 Hamilton Ln	1445 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-491-75-00	Slack Greg W & Anita D	1435 Hamilton Ln	1435 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-491-76-00	Wade Daren R & Susan L	1425 Hamilton Ln	1425 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-493-01-00	Trautner Family Trust	2319 Cortina Cir	2319 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-02-00	Godfrey John J & Eleanor L	2317 Cortina Cir	2317 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-03-00	Collins Gary A & Rebecca L	2315 Cortina Cir	2315 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-04-00	C C C 1 Living Trust	2313 Cortina Cir	2313 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-05-00	Wahlgren Wayne L	2301 Cortina Cir	2301 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-06-00	Hylar James A & Lizabeth S	2243 Cortina Cir	2243 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-07-00	Aguirre Armand D & Rose	1375 Orinda Pl	1375 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-08-00	Liggett Robert D & Janet M	2307 Cortina Cir	2307 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-09-00	Ginder Eric R	1365 Orinda Pl	1365 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-11-00	Garcia William & Teresa	1353 Orinda Pl	1353 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-12-00	Lucena Family Trust	1354 Orinda Pl	1354 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-13-00	Brandlin Michael E & Ann	1366 Orinda Pl	1366 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-14-00	Martin Frank A &	1386 Orinda Pl	1386 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-15-00	Green John F & Patricia M	1396 Orinda Pl	1396 Orinda Pl	Escondido CA 92029	1	\$90.18
238-493-16-00	Liles Family Trust 12-31-01	2241 Cortina Cir	2241 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-17-00	Booth Family Trust	2239 Cortina Cir	2239 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-18-00	Babb Paul J & Okada-babb	2237 Cortina Cir	2237 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-19-00	Webb Edwin D & Phyllis M	2235 Cortina Cir	2235 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-20-00	Minihane Family Trust	2233 Cortina Cir	2233 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-21-00	Bunton Frank M	2227 Cortina Cir	2227 Cortina Cir	Escondido CA 92029	1	\$90.18
238-493-22-00	Bryant David R & Michele R	1355 Orinda Pl	1355 Orinda Pl	Escondido CA 92029	1	\$90.18
238-494-01-00	Everhart Richard A & Aida	2220 Cortina Cir	2220 Cortina Cir	Escondido CA 92029	1	\$90.18
238-494-02-00	Sanchez Jesse & Claudia P	2222 Cortina Cir	2222 Cortina Cir	Escondido CA 92029	1	\$90.18
238-494-03-00	Mcnamara Family Trust	2224 Cortina Cir	2224 Cortina Cir	Escondido CA 92029	1	\$90.18
238-494-04-00	Watts Robert C Jr & Susan	2226 Cortina Cir	2226 Cortina Cir	Escondido CA 92029	1	\$90.18
238-494-05-00	Schlegel Family Living	2234 Cortina Cir	12204 Osprey Dr Nw	Gig Harbor WA 98332	1	\$90.18
238-494-06-00	Hsiung Chien Hong	2237 Winsome Pl	2237 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-07-00	Vanorum Charles A	2238 Winsome Pl	1910 Broadway #c	Oceanside CA 92054	1	\$90.18
238-494-08-00	Hsieh Charles C	2240 Winsome Pl	77 Fairview Ave	Stamford CT 06902	1	\$90.18
238-494-09-00	Bird Family Trust	2242 Winsome Pl	2242 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-10-00	Kiviharju Leanne M Living	2244 Winsome Pl	2244 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-11-00	Doll Family Trust 04-14-11	2246 Winsome Pl	2246 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-12-00	Romijn Walter M & Lucile E	1406 Mandeville Dr	1406 Mandeville Dr	Escondido CA 92029	1	\$90.18
238-494-13-00	Taylor John T Iii & Julia A	2248 Winsome Pl	2248 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-14-00	Lopez Raul & Rosemary	1410 Mandeville Dr	1410 Mandeville Dr	Escondido CA 92029	1	\$90.18

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 1
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-494-15-00	Burns Todd A & Denise L	1412 Mandeville Dr	1412 Mandeville Dr	Escondido CA 92029	1	\$90.18
238-494-16-00	Balsley Joseph W & Janet D	2239 Winsome Pl	2239 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-17-00	Pappas John C & Depew	2243 Winsome Pl	2243 Winsome Pl	Escondido CA 92029	1	\$90.18
238-494-18-00	Clark Mary L Revocable	1403 Stoneridge Cir	1403 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-19-00	Angangco Ofelia R	1395 Stoneridge Cir	1395 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-20-00	Laplaca Frank T & Brenda	1387 Stoneridge Cir	1387 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-21-00	Ginsberg Richard & Janet	1385 Stoneridge Cir	1385 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-22-00	Munn Harry & Roslyn	1383 Stoneridge Cir	1383 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-23-00	Richardson Family 2006	1381 Stoneridge Cir	4582 Gatetree Cir	Pleasanton CA 94566	1	\$90.18
238-494-24-00	Thibodeau Family Trust	1379 Stoneridge Cir	1379 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-25-00	Fairshter Family Trust	1377 Stoneridge Cir	1377 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-26-00	Fenton Family Trust	1375 Stoneridge Cir	1375 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-27-00	Carson Trust 09-14-95	1373 Stoneridge Cir	1373 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-28-00	Stout William H & Andrea Z	1371 Stoneridge Cir	1371 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-29-00	Eddington Family Trust	2224 Eucalyptus Ave	2224 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-494-30-00	Engelbert John J	1366 Stoneridge Cir	1366 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-31-00	Pewther Betty E	1368 Stoneridge Cir	1368 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-32-00	Isakovic Dimitrije	1370 Stoneridge Cir	1370 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-33-00	Mcmanus Scott & Elizabeth	1372 Stoneridge Cir	1372 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-34-00	Dawson David M & Molly A	1376 Stoneridge Cir	1376 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-35-00	Licosati David A &	1378 Stoneridge Cir	1378 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-36-00	Berry Diane O Revocable	1380 Stoneridge Cir	1380 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-37-00	Clem William & Kathryn	1382 Stoneridge Cir	1382 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-38-00	St Hilaire Revocable Living	1422 Mandeville Pl	1422 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-39-00	Ginder Harold R	1432 Mandeville Pl	1432 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-40-00	Denton Dennis A & Carolyn	1512 Mandeville Pl	1512 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-41-00	Swanson Paul C & Pamela	1528 Mandeville Pl	1528 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-42-00	Lavery Robert R	1540 Mandeville Pl	1540 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-43-00	Lara Family Trust 10-09-98	1560 Mandeville Pl	1560 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-44-00	Murdoch T A & Jean E	1610 Mandeville Pl	1610 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-45-00	Schlx Thomas P &	1616 Mandeville Pl	1616 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-46-00	Fuselier Patricia A	1618 Shalimar Pl	1618 Shalimar Pl	Escondido CA 92029	1	\$90.18
238-494-47-00	Nguyen Richard & Chi Kim	1612 Shalimar Pl	1612 Shalimar Pl	Escondido CA 92029	1	\$90.18
238-494-48-00	Mizianty Mark & Rowena	1566 Shalimar Pl	1566 Shalimar Pl	Escondido CA 92029	1	\$90.18
238-494-49-00	Caldito Teofila & Caldito	1544 Shalimar Pl	1544 Shalimar Pl	Escondido CA 92029	1	\$90.18
238-494-50-00	Nichols Family 2003 Trust	1530 Shalimar Pl	1530 Shalimar Pl	Escondido CA 92029	1	\$90.18
238-494-51-00	Contratto Kelly J & Eugenia	1615 Mandeville Pl	1615 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-52-00	Poling William F & June A	1609 Mandeville Pl	1609 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-53-00	Cox Jeff M & Carmen A	1557 Mandeville Pl	1557 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-54-00	Coble Roberta D Tr	1539 Mandeville Pl	1539 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-55-00	Frazier David W	1527 Mandeville Pl	1527 Mandeville Pl	Escondido CA 92029	1	\$90.18
238-494-56-00	Bramble Family Survivors	1524 Stoneridge Cir	1524 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-57-00	Fontana Mark J & Debra E	1422 Stoneridge Cir	1422 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-58-00	Shea Revocable Family	1419 Stoneridge Cir	1419 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-59-00	Mahaffey Mark T & Floyd A	1425 Stoneridge Cir	1425 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-60-00	Gold Steven K &	1437 Stoneridge Cir	1437 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-61-00	Rydeen Lawrence A &	1521 Stoneridge Cir	1521 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-62-00	Homer Family Trust	1529 Stoneridge Cir	4234 Adams Ave	San Diego CA 92116	1	\$90.18

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 1

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-494-63-00	Frazier Living Trust	1535 Stoneridge Cir	1535 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-64-00	Watkins Richard F &	1555 Stoneridge Cir	1835a S Centre City Pky #407	Escondido CA 92025	1	\$90.18
238-494-65-00	Diehl Thomas W & Eleanor	1611 Stoneridge Cir	1611 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-494-66-00	Pettit Family Bypass Trust	1617 Stoneridge Cir	1617 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-500-01-00	Prettyman Keith O & Diane	1695 Hamilton Ln	1695 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-02-00	Yoneda John K & Carole A	1677 Hamilton Ln	1677 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-03-00	Tobin Family Martial Trust	1659 Hamilton Ln	1659 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-04-00	Sutherland Donald M &	1641 Hamilton Ln	1641 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-05-00	Miller Family Trust	1623 Hamilton Ln	1623 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-06-00	Waasdorp Cynthia D	1605 Hamilton Ln	1605 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-07-00	Nesbet Christopher &	1593 Hamilton Ln	1593 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-08-00	Mills Stephen M & Amber L	1573 Hamilton Ln	1573 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-09-00	Ruka Vance L & Anita L	1553 Hamilton Ln	1553 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-10-00	Bjerling Survivors Trust	1533 Hamilton Ln	1533 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-500-11-00	Urban Miki I & Michelle H	2217 Eucalyptus Ave	10755 Scripps Poway Pky	San Diego CA 92131	1	\$90.18
238-500-12-00	Harris Milo & Christine	2219 Eucalyptus Ave	2219 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-13-00	Schmuttermair Family	2221 Eucalyptus Ave	2221 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-14-00	Paggiarino Dario A &	2223 Eucalyptus Ave	2223 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-15-00	Styler Richard G & Mary L	1600 Glade Pl	1600 Glade Pl	Escondido CA 92029	1	\$90.18
238-500-16-00	Mcmanus James M &	1610 Glade Pl	1610 Glade Pl	Escondido CA 92029	1	\$90.18
238-500-17-00	Mierop Rodney N V & Betty	1620 Glade Pl	1620 Glade Pl	Escondido CA 92029	1	\$90.18
238-500-18-00	Dekker David & Lori	1631 Glade Pl	2002 Miramonte Dr	Prescott AZ 86301	1	\$90.18
238-500-19-00	Mitchell Pamela A	1621 Glade Pl	10320 Challenge Blvd	La Mesa CA 91941	1	\$90.18
238-500-20-00	Erwin-gallagher Trust	1611 Glade Pl	1611 Glade Pl	Escondido CA 92029	1	\$90.18
238-500-21-00	Delamontaigne Vincent D &	2225 Eucalyptus Ave	2225 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-22-00	Turrentine Lloyd E & Donna	2227 Eucalyptus Ave	2227 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-23-00	Apple Stephen F & Floy R	1640 Cambria Pl	1640 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-24-00	Willis Family Trust	1644 Cambria Pl	1644 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-25-00	Hamilton Family Trust	1654 Cambria Pl	1654 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-26-00	Baker Terrance & Janet	1664 Cambria Pl	1664 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-27-00	Schaefer Donald & Sandra	1674 Cambria Pl	1674 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-28-00	Clark Timothy S & Cheryl A	1684 Cambria Pl	1684 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-29-00	Braden Family Trust	1683 Cambria Pl	1683 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-30-00	Warren Roby L	1673 Cambria Pl	1673 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-31-00	Mcguire Family Trust	1663 Cambria Pl	1663 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-32-00	Gerboga Mehmet T	1653 Cambria Pl	1653 Cambria Pl	Escondido CA 92029	1	\$90.18
238-500-33-00	Ryan Diana D Trust	1643 Cambria Pl	6432 Highlands In The Woods	Lakeland FL 33813	1	\$90.18
238-500-34-00	Haney Lisa J	2229 Eucalyptus Ave	2229 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-35-00	Reith Steven & Jie Chen	2231 Eucalyptus Ave	P O Box 332	Hanapepe HI 96716	1	\$90.18
238-500-36-00	Rossman Trust 03-07-00	2233 Eucalyptus Ave	2233 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-37-00	Butler Robert G &	2235 Eucalyptus Ave	2235 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-38-00	Capuozzo Eugene & Lucy	2237 Eucalyptus Ave	18655 W Bernardo Dr #443	San Diego CA 92127	1	\$90.18
238-500-39-00	Farcas Nicolae & Alina	2239 Eucalyptus Ave	2239 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-40-00	Shepard Allan C & Marilyn	2241 Eucalyptus Ave	2241 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-41-00	Johnston Family Trust	2243 Eucalyptus Ave	2243 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-42-00	Flowers Melvyn C	1625 Stoneridge Cir	1625 Stoneridge Cir	Escondido CA 92029	1	\$90.18
238-500-43-00	Dayani Family Trust	2244 Eucalyptus Ave	No. 14-112	Dana Point CA 92629	1	\$90.18
238-500-44-00	Cannariato Family Trust	2242 Eucalyptus Ave	P O Box 1085	Escondido CA 92033	1	\$90.18

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 1

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-500-45-00	Mabie Van R	2240 Eucalyptus Ave	2240 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-46-00	Sanchez Daniel & Adriana	2238 Eucalyptus Ave	2238 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-47-00	Hodge Christopher N &	2234 Eucalyptus Ave	2234 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-48-00	Margallo Jairus T & Molly	2232 Eucalyptus Ave	2232 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-500-49-00	Solomon David S & Nancy	2230 Eucalyptus Ave	2230 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-01-00	Magee Family Trust	2201 Eucalyptus Ave	2201 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-02-00	Kohl Rockwell Trust	2203 Eucalyptus Ave	2203 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-03-00	Donehue Ethel M Trust	2205 Eucalyptus Ave	2205 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-04-00	Robbins David N & Joyce A	2207 Eucalyptus Ave	2207 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-05-00	Bissoon-dath Nicholas &	2209 Eucalyptus Ave	2209 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-06-00	Williams Family Trust	2211 Eucalyptus Ave	2211 Eucalyptus Ave	Escondido CA 92029	1	\$90.18
238-540-07-00	Greenstein Richard &	1512 Hillstone Ave	1512 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-08-00	Davis Melvin & Margaret	1534 Hillstone Ave	1534 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-09-00	Willis Ronald & Wendy	1556 Hillstone Ave	1556 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-10-00	Casey Vicki	2220 Blossom Hill Ln	2220 Blossom Hill Ln	Escondido CA 92029	1	\$90.18
238-540-11-00	Mendoza Family Trust	2216 Blossom Hill Ln	2216 Blossom Hill Ln	Escondido CA 92029	1	\$90.18
238-540-12-00	Chambers Family Trust	2212 Blossom Hill Ln	2212 Blossom Hill Ln	Escondido CA 92029	1	\$90.18
238-540-13-00	Archer James E & Loren R	2208 Blossom Hill Ln	2208 Blossom Hill Ln	Escondido CA 92029	1	\$90.18
238-540-14-00	Nack Laurie Separate	2204 Blossom Hill Ln	2204 Blossom Hill Ln	Escondido CA 92029	1	\$90.18
238-540-15-00	Koon Terry W & Leah E Trs	2200 Blossom Hill Ln	2200 Blossom Hill Ln	Escondido CA 92029	1	\$90.18
238-540-16-00	Lazcano Genero & Tina E	2202 Sonrisa Gln	2202 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-17-00	Boese Bobby R & Jamie M	2206 Sonrisa Gln	2206 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-18-00	Neilson Bruce A & Sheridyn	2210 Sonrisa Gln	2210 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-19-00	Damerow Milton F Jr &	2214 Sonrisa Gln	2214 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-20-00	Smart Karol	2218 Sonrisa Gln	P O Box 461975	Escondido CA 92046	1	\$90.18
238-540-21-00	Matson Family Trust	2222 Sonrisa Gln	2222 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-22-00	Robbins Family Trust	2226 Sonrisa Gln	2226 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-23-00	Ness Tim S & Patricia M	2230 Sonrisa Gln	2230 Sonrisa Gln	Escondido CA 92029	1	\$90.18
238-540-24-00	Swanger Family Survivors	1608 Hillstone Ave	1608 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-25-00	Dewoody Carl A & Sandra L	1620 Hillstone Ave	1620 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-26-00	Joyce Sandra A	1632 Hillstone Ave	1632 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-27-00	Hays James P & Sherry R	1654 Hillstone Ave	1654 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-28-00	Nielsen Family Trust	1676 Hillstone Ave	1676 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-29-00	Nasery Ziaullah & Angela	1698 Hillstone Ave	1698 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-30-00	Nunally Patrick O & Ann	2227 Villa Verde Rd	2227 Villa Verde Rd	Escondido CA 92029	1	\$90.18
238-540-31-00	Mahoney Renee	2239 Villa Verde Rd	2239 Villa Verde Rd	Escondido CA 92029	1	\$90.18
238-540-32-00	Parsa Masood S &	2261 Villa Verde Rd	2261 Villa Verde Rd	Escondido CA 92029	1	\$90.18
238-540-33-00	Branton David & Marcia	2283 Villa Verde Rd	2283 Villa Verde Rd	Escondido CA 92029	1	\$90.18
238-540-34-00	Hofstetter Revocable Living	2286 Villa Verde Rd	2286 Villa Verde Rd	Escondido CA 92029	1	\$90.18
238-540-35-00	Kaspar Family 1998 Trust	2264 Villa Verde Rd	2264 Villa Verde Rd	Escondido CA 92029	1	\$90.18
238-540-36-00	Brabant Family Trust	1671 Hillstone Ave	1671 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-37-00	Guiles Sally Separate	1639 Hillstone Ave	1639 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-38-00	Sorahan Dennis B Living	1627 Hillstone Ave	1627 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-41-00	Iwamura Brenda M	1571 Hillstone Ave	1571 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-42-00	Pedrotti Dennis & Kathleen	1559 Hillstone Ave	1559 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-43-00	Teshima Stuart H & Shizue	1537 Hillstone Ave	1537 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-44-00	Roberts Pace J & Patricia A	1515 Hillstone Ave	1515 Hillstone Ave	Escondido CA 92029	1	\$90.18
238-540-45-00	Okey Karen	1504 Hamilton Ln	1504 Hamilton Ln	Escondido CA 92029	1	\$90.18

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 1

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
238-540-46-00	Traaen Family Trust	1528 Hamilton Ln	1528 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-540-47-00	Levy Tawnya M Trust	1546 Hamilton Ln	1546 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-540-48-00	Jaffa Family Trust 01-22-82	1560 Hamilton Ln	1560 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-540-51-00	Mulvihill Nancy Irrevocable	1626 Hamilton Ln	1626 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-540-52-00	Tobin Thomas & Stephanie	1644 Hamilton Ln	1644 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-540-53-00	Murphy Michael T &	1608 Hamilton Ln	1608 Hamilton Ln	Escondido CA 92029	1	\$90.18
238-540-55-00	Grubbs Charles L & Dolly A	1582 Hamilton Ln	P O Box 8883	Rancho Santa Fe CA	1	\$90.18
238-540-57-00	Duffy Patrick G Trust	1605 Hillstone Ave	3146 Quiet Hills Dr	Escondido CA 92029	1	\$90.18
238-540-58-00	Pace Family Trust 11-06-98	1593 Hillstone Ave	1593 Hillstone Ave	Escondido CA 92029	1	\$90.18
Totals:		Parcels:	297			\$26,783.46

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 2

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
226-820-01-00	Chavez Daniel J & Evelia	1862 Lookout Point Pl	1862 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-02-00	Broyles Revocable Living	1858 Lookout Point Pl	1858 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-03-00	Massie Norman M &	1854 Lookout Point Pl	1854 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-04-00	Nguyen Kevin J	1850 Lookout Point Pl	1850 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-05-00	Sawi Teresita T	1851 Lookout Point Pl	1851 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-06-00	D W B H Trust	1855 Lookout Point Pl	1855 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-07-00	Juan Oscar A & Lenita P	1859 Lookout Point Pl	1859 Lookout Point Pl	Escondido CA 92026	1	\$294.82
226-820-08-00	Navarro Manuel J & Eloisa	1049 Sunset Heights Rd	1049 Sunset Heights Rd	Escondido CA 92026	1	\$294.82
226-820-09-00	Fisk Family Trust	1057 Sunset Heights Rd	1057 Sunset Heights Rd	Escondido CA 92026	1	\$294.82
226-820-10-00	Saidy Haroon S	1063 Sunset Heights Rd	1230 Windsong Ln	Escondido CA 92026	1	\$294.82
226-820-11-00	Vaughn Robert & Laura	1864 Eagle Summit Pl	1864 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-12-00	Milanovich Jennifer L	1860 Eagle Summit Pl	1860 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-13-00	Woods Family Trust	1852 Eagle Summit Pl	1852 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-14-00	Spellman Scot M &	1850 Eagle Summit Pl	1850 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-15-00	Canturia Ronaldo &	1851 Eagle Summit Pl	1851 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-16-00	Garcia Mirna	1853 Eagle Summit Pl	1853 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-17-00	Hall Family Trust 02-07-03	1855 Eagle Summit Pl	1855 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-18-00	Burnett Grant H & Brenda	1857 Eagle Summit Pl	1857 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-19-00	Watterson Theodore &	1859 Eagle Summit Pl	1859 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-20-00	Servis Ronald & Victoria Z	1861 Eagle Summit Pl	1861 Eagle Summit Pl	Escondido CA 92026	1	\$294.82
226-820-21-00	Kouma Mitsuko Family	1071 Sunset Heights Rd	1071 Sunset Heights Rd	Escondido CA 92026	1	\$294.82
226-820-22-00	Dufresne Family Trust	1862 Skyhill Pl	1862 Skyhill Pl	Escondido CA 92026	1	\$294.82
226-820-23-00	Frey Gregory D Jr &	1856 Skyhill Pl	1856 Skyhill Pl	Escondido CA 92026	1	\$294.82
226-820-24-00	Mcfeeters Gary	1852 Skyhill Pl	12004 Oakview Way	San Diego CA 92128	1	\$294.82
226-820-25-00	Graff David P & Kendall	1850 Skyhill Pl	1850 Skyhill Pl	Escondido CA 92026	1	\$294.82
226-820-26-00	King Donald & Kathleen	1851 Skyhill Pl	1851 Skyhill Pl	Escondido CA 92026	1	\$294.82
226-820-27-00	Oneil Chris W & Sharon L	1853 Skyhill Pl	1853 Skyhill Pl	Escondido CA 92026	1	\$294.82
226-820-28-00	Gamboa Frank G &	1857 Skyhill Pl	1857 Skyhill Pl	Escondido CA 92026	1	\$294.82
226-820-29-00	Levin Family Revocable	1861 Skyhill Pl	1861 Skyhill Pl	Escondido CA 92026	1	\$294.82
Totals:		Parcels:	29			\$8,549.78

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 3

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
235-083-01-00	Nguyen Thang & Tran Ha	1669 Lisbon Pl	822 Pico Pl	Escondido CA 92026	1	\$427.50
235-083-02-00	Andrews Paul	1659 Lisbon Pl	1659 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-03-00	Everage George J	1653 Lisbon Pl	1653 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-04-00	Elabbadi Hazem	1649 Lisbon Pl	1649 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-05-00	Holt Jennifer C	1647 Lisbon Pl	1647 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-06-00	Magpusao Allan S &	1645 Lisbon Pl	1645 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-07-00	Horton Gloria Tr	1641 Lisbon Pl	1641 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-08-00	Ness David	1639 Lisbon Pl	1609 Ventana Dr	Escondido CA 92029	1	\$427.50
235-083-09-00	Verdugo Family Trust	1636 Lisbon Pl	1636 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-10-00	Nare Donielle L	1638 Lisbon Pl	1638 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-11-00	Santalo Joaquin	1642 Lisbon Pl	1642 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-12-00	Wong Wildon Chen- Wen &	1646 Lisbon Pl	13669 Etude Rd	San Diego CA 92128	1	\$427.50
235-083-13-00	Peter & Wilma Hall	1650 Lisbon Pl	950 Boardwalk #201	San Marcos CA	1	\$427.50
235-083-14-00	Taylor Suzanne F Trust	1654 Lisbon Pl	1654 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-15-00	Arihilam Chibuzor V	1658 Lisbon Pl	1658 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-16-00	Esguerra Family Trust	1662 Lisbon Pl	1662 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-17-00	Hermann Brenda S	1664 Lisbon Pl	1664 Lisbon Pl	Escondido CA 92029	1	\$427.50
235-083-18-00	Stromberg 2004 Trust	1920 Chambers St	1920 Chambers St	Escondido CA 92029	1	\$427.50
235-083-19-00	Ngo Family Trust 11-07-13	1916 Chambers St	5761 Avenida Sanchez	San Diego CA 92124	1	\$427.50
235-083-20-00	Reynoso Gerald J & Maria I	1643 11th Ave West	1643 W 11th Ave	Escondido CA 92029	1	\$427.50
Totals:		Parcels:	20			\$8,550.00

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 4

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
226-831-01-00	Delacruz Samuel &	1444 Los Cedros Ln	1444 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-831-02-00	Medel Jonathan A &	1440 Los Cedros Ln	1440 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-831-03-00	Barlow Benjamin & Amber	1738 Las Palmas Ln	1738 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-831-04-00	Bottger Roy K & Monique S	1734 Las Palmas Ln	1734 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-831-05-00	Cota Alex & Kathleen	1730 Las Palmas Ln	1730 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-831-06-00	Busch Denise J	1726 Las Palmas Ln	1084 Devonshire Dr	Encinitas CA 92024	1	\$168.94
226-831-07-00	Kissinger Matthew & Cathy	1722 Las Palmas Ln	1722 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-831-08-00	Freitas Sharon K	1725 El Aire PI	1725 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-09-00	Abad Family Trust 08-26-04	1729 El Aire PI	16514 Cimarron Crest Dr	San Diego CA 92127	1	\$168.94
226-831-10-00	Pierce Gary & Constance	1733 El Aire PI	1733 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-11-00	Zentai Paul M Family Trust	1737 El Aire PI	P O Box 28053	San Diego CA 92198	1	\$168.94
226-831-12-00	Wiesner Dieter H Jr &	1741 El Aire PI	1741 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-13-00	Nance Mark B & Kristine L	1745 El Aire PI	1745 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-14-00	Sanabria Family Trust 3	1749 El Aire PI	1749 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-15-00	Johnson Patricia L	1755 El Aire PI	1755 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-16-00	Wohl Blake R & Christine	1750 El Aire PI	1750 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-17-00	Mullany James A & Aurora	1746 El Aire PI	1746 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-18-00	Raher Richard R & Robbi L	1742 El Aire PI	1742 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-19-00	Dhiman Jaipal	1738 El Aire PI	8502 Garden Grove Ave	Northridge CA 91325	1	\$168.94
226-831-20-00	Wing David A & Victoria E	1734 El Aire PI	1734 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-21-00	Bengtson Roger A Tr &	1730 El Aire PI	36144 Avenida De Las	Cathedral City CA	1	\$168.94
226-831-22-00	Bruce Deborah	1726 El Aire PI	1726 El Aire PI	Escondido CA 92026	1	\$168.94
226-831-23-00	Wink Dennis D & Patrizia E	1723 La Manzana Ln	1723 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-24-00	Reyes Kai & Teresa A	1727 La Manzana Ln	1727 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-25-00	C A H 2015-1 Borrower Llc	1731 La Manzana Ln	8665 E Hartford Dr #200	Scottsdale AZ 85255	1	\$168.94
226-831-26-00	Johnson Paul G	1735 La Manzana Ln	1735 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-27-00	Zuniga Miguel R & Ramona	1739 La Manzana Ln	2316 San Ysidro St	Camarillo CA 93010	1	\$168.94
226-831-28-00	Seneres Family Trust	1743 La Manzana Ln	1743 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-29-00	May Susan Trust 07-11-01	1747 La Manzana Ln	1747 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-30-00	Starost Scott P & Jennifer J	1753 La Manzana Ln	1753 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-31-00	Huerta Carlos G & Mary R	1748 La Manzana Ln	1748 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-32-00	Kim Paul	1742 La Manzana Ln	1742 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-33-00	Wilson Marilyn J Living	1738 La Manzana Ln	1738 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-34-00	Dwyer Lavon & Paulina	1736 La Manzana Ln	1736 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-35-00	Simson Ruth A Family	1728 La Manzana Ln	13227 Aubrey St	Poway CA 92064	1	\$168.94
226-831-36-00	Carroll Anne R Separate	1724 La Manzana Ln	17247 La Manzana Ln	Escondido CA 92026	1	\$168.94
226-831-37-00	Mendoza Joseph J & Naomi	1401 El Cielo Ln	1401 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-38-00	Endozo Antonio S & Nora	1405 El Cielo Ln	1802 Almagro Ln	Escondido CA 92026	1	\$168.94
226-831-39-00	Pulido Justo	1409 El Cielo Ln	1409 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-40-00	Padilla Carlos & Angeles	1413 El Cielo Ln	1413 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-41-00	Rerolle Andre K &	1417 El Cielo Ln	1417 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-42-00	Marquez Mamerto M &	1421 El Cielo Ln	1429 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-43-00	Andersen Family Trust	1425 El Cielo Ln	1425 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-44-00	Marquez Mamerto M &	1429 El Cielo Ln	1429 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-45-00	Morris Kenneth G & Anna L	1433 El Cielo Ln	1433 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-831-46-00	Camp Thomas D Jr & Linda	1437 El Cielo Ln	1437 El Cielo Ln	Escondido CA 92026	1	\$168.94
226-832-01-00	Villanueva Oscar R	1711 Las Palmas Ln	1711 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-832-02-00	Fallon Shanon J	1715 Las Palmas Ln	1715 Las Palmas Ln	Escondido CA 92026	1	\$168.94

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 4

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
226-832-03-00	Jones Brian Keith & Emilee	1719 Las Palmas Ln	1719 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-832-04-00	Mcgranahan Richard G &	1723 Las Palmas Ln	1723 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-832-05-00	Terrazas Martin C & Rosa	1727 Las Palmas Ln	1727 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-832-06-00	Moreno Miguel & Karin M	1731 Las Palmas Ln	1731 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-832-07-00	Aparicio Fredy & Blanca	1735 Las Palmas Ln	1735 Las Palmas Ln	Escondido CA 92026	1	\$168.94
226-832-08-00	Nordstrom Eric W & Doris	1736 El Rosal Pl	1736 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-09-00	Penunuri Isela	1732 El Rosal Pl	1732 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-10-00	Miller Alfred C & Chrystal E	1728 El Rosal Pl	1728 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-11-00	Schmidt Wayne H Family	1724 El Rosal Pl	1724 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-12-00	Young Janette A	1718 El Rosal Pl	1718 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-13-00	Ogrady Family Trust	1714 El Rosal Pl	4884 Park Dr	Carlsbad CA 92008	1	\$168.94
226-832-14-00	Peneda Mario N & Benitez	1710 El Rosal Pl	1710 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-15-00	Riego Reynaldo T	1706 El Rosal Pl	1706 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-16-00	Tran Dalavan & Asphone C	1702 El Rosal Pl	1702 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-17-00	Smith Gary A & Yvonne	1707 El Rosal Pl	1707 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-18-00	Chemnitz Charles W &	1717 El Rosal Pl	1717 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-19-00	Shell Timothy M & Kim I	1721 El Rosal Pl	1721 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-20-00	Soltani Ramin	1725 El Rosal Pl	1229 Sunset Heights Rd	Escondido CA 92026	1	\$168.94
226-832-21-00	Lopez Sherry E	1731 El Rosal Pl	1731 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-22-00	Ranola Ray I & Luz D	1737 El Rosal Pl	1737 El Rosal Pl	Escondido CA 92026	1	\$168.94
226-832-23-00	Wasem Brenda	1471 Los Cedros Ln	1471 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-24-00	Phi Hi Trong & Pham Bach	1475 Los Cedros Ln	1475 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-25-00	Fluke Daniel I Tr	1481 Los Cedros Ln	1481 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-26-00	Fisher Living Trust	1485 Los Cedros Ln	1485 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-27-00	Lindquist Wayne F &	1488 Los Cedros Ln	1488 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-28-00	Contreras Ruben F &	1480 Los Cedros Ln	1993 Sorrentino Dr	Escondido CA 92025	1	\$168.94
226-832-29-00	Rock Wayne W & Gayle A	1476 Los Cedros Ln	1476 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-30-00	Kunz George	1472 Los Cedros Ln	1472 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-31-00	Oliva Andrew E & Melissa	1468 Los Cedros Ln	1468 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-32-00	Agnew Richard L Jr &	1464 Los Cedros Ln	1464 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-33-00	Gaspar Jose G & Maria S	1460 Los Cedros Ln	1460 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-34-00	Martinez Alejandrino H &	1456 Los Cedros Ln	1456 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-35-00	Garcia Jaime	1452 Los Cedros Ln	1452 Los Cedros Ln	Escondido CA 92026	1	\$168.94
226-832-36-00	Beck Russell W	1448 Los Cedros Ln	1448 Los Cedros Ln	Escondido CA 92026	1	\$168.94
Totals:		Parcels:	82			\$13,853.08

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 5

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
225-700-01-00	Banks Josh E & Brook N	1537 Glasgow Ln	1537 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-02-00	Humphrey Family Trust	1541 Glasgow Ln	60 Sycamore Ter #202	Goleta CA 93117	1	\$489.76
225-700-03-00	Rickard-madrid Family	1545 Glasgow Ln	1545 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-04-00	Brown Aliu Griffith &	1549 Glasgow Ln	1549 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-05-00	Stalians Family Trust	1553 Glasgow Ln	1553 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-06-00	Hagan Trust 12-16-98	1558 Dublin Ln	1558 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-07-00	Mace Family Trust	1554 Dublin Ln	1554 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-08-00	Orourke John J & Janis	1550 Dublin Ln	1550 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-09-00	Velasquez Jaime C &	1546 Dublin Ln	1546 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-10-00	Kowalke Family Trust	1542 Dublin Ln	1542 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-11-00	Brackman William & Joyce	1538 Dublin Ln	1538 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-12-00	Aiona Jeffrey &	1543 Dublin Ln	1543 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-13-00	Tashjian Jerry H Trust	1547 Dublin Ln	1547 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-14-00	Lewis Scott D & Tishmari L	1551 Dublin Ln	1551 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-15-00	Johnson Family Trust	1555 Dublin Ln	1555 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-16-00	Wicka David G & Sookie L	1559 Dublin Ln	1559 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-17-00	Taylor-zander Trust	1563 Dublin Ln	1563 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-18-00	Steeve Family 2012 Trust	1567 Dublin Ln	1567 Dublin Ln	Escondido CA 92027	1	\$489.76
225-700-19-00	Schlotterbeck Family Trust	1619 Glasgow Ln	1619 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-22-00	Devlin Daniel P & Kathleen	1614 Glasgow Ln	1614 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-23-00	Gray David & Sharon	1608 Glasgow Ln	1608 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-24-00	Fettig Frank A & Rosanne C	1554 Glasgow Ln	1554 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-25-00	Zink Michael	1552 Glasgow Ln	1552 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-26-00	Herold Susen	1548 Glasgow Ln	1548 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-27-00	Brewer Lynn S Living Trust	1546 Glasgow Ln	P O Box 1716	Escondido CA 92033	1	\$489.76
225-700-28-00	Casey David A & Sokhouy U	1544 Glasgow Ln	1544 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-29-00	Meister Robert L	1542 Glasgow Ln	1542 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-30-00	Reutter Herbert & Louise	1538 Glasgow Ln	1538 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-31-00	Walavalkar Dilip O &	1626 Glasgow Ln	1626 Glasgow Ln	Escondido CA 92027	1	\$489.76
225-700-33-00	Benson Larry K & Kiyomi	1620 Glasgow Ln	1950 Hacienda Dr		1	\$489.76
Totals:		Parcels:	30			\$14,692.80

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 6
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
227-680-02-00	Senti Bryan L & Lori A	122 Brava PI	122 Brava PI	Escondido CA 92026	1	\$433.00
227-680-03-00	Torrie Living Trust	134 Brava PI	134 Brava PI	Escondido CA 92026	1	\$433.00
227-680-04-00	Nguyen Nga Kieu Thi Trust	146 Brava PI	146 Brava PI	Escondido CA 92026	1	\$433.00
227-680-05-00	Le Quy Van & Vo Phung	158 Brava PI	158 Brava PI	Escondido CA 92026	1	\$433.00
227-680-06-00	Denboer Paul & Cynthia D	160 Brava PI	160 Brava PI	Escondido CA 92026	1	\$433.00
227-680-07-00	Dean Kevin W & Jacqueline	172 Brava PI	172 Brava PI	Escondido CA 92026	1	\$433.00
227-680-08-00	Bonilla Carlos S & Odily M	165 Brava PI	165 Brava PI	Escondido CA 92026	1	\$433.00
227-680-09-00	Newman Cody L	153 Brava PI	153 Brava PI	Escondido CA 92026	1	\$433.00
227-680-10-00	Wong Billy B & Olga A	141 Brava PI	141 Brava PI	Escondido CA 92026	1	\$433.00
227-680-11-00	Johnson Jeffrey A & Cathy	129 Brava PI	129 Brava PI	Escondido CA 92026	1	\$433.00
227-680-12-00	Schwarz Todd R & Jane K	117 Brava PI	117 Brava PI	Escondido CA 92026	1	\$433.00
227-680-13-00	Chacon Carlos & Arvizu	105 Brava PI	105 Brava PI	Escondido CA 92026	1	\$433.00
227-680-35-00	Markwell Family 2015 Trust	110 Brava PI	110 Brava PI	Escondido CA 92026	1	\$433.00
Totals:		Parcels:	13			\$5,629.00

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 7
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
225-710-01-00	Defranco Busalacchi Family	1533 Glasgow Ln	1533 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-02-00	Dominguez Arcelia	1529 Glasgow Ln	1529 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-03-00	Menard Family Trust	1525 Glasgow Ln	1525 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-04-00	Waller Lorianne M	1521 Glasgow Ln	1521 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-05-00	Sargenti Family Trust	1517 Glasgow Ln	1517 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-06-00	Bundy Don R & Betty R	1513 Glasgow Ln	1513 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-07-00	Winter Kenneth & Donielle	1509 Glasgow Ln	1509 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-08-00	Lamug Rudy M & Shelley T	1505 Glasgow Ln	1505 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-09-00	Lester Larry K & Mary A	1502 Glasgow Ln	1502 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-10-00	Walters Stephen & Veenstra	1506 Glasgow Ln	1506 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-11-00	Fisher Steven A &	1510 Glasgow Ln	1510 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-12-00	Bonds Family Trust	1514 Glasgow Ln	1514 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-13-00	Tran Huey Living Trust	1518 Glasgow Ln	1518 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-14-00	Baldwin John M & Donna J	1526 Glasgow Ln	1526 Glasgow Ln	Escondido CA 92027	1	\$695.24
225-710-15-00	Strickert Jamie C & Susan	2415 Stevens Pl	2415 Stevens Pl	Escondido CA 92027	1	\$695.24
225-710-16-00	Rhodes Derek M &	2427 Stevens Pl	2427 Stevens Pl	Escondido CA 92027	1	\$695.24
225-710-17-00	Zamora German L & Amy A	2431 Stevens Pl	2431 Stevens Pl	Escondido CA 92027	1	\$695.24
225-710-18-00	Alperson Jay R & Sunny Y	2447 Stevens Pl	943 Bolling Ave	Norfolk VA 23508	1	\$695.24
225-710-19-00	Mahr Hans R & Yura	2434 Stevens Pl	15009 Cross Stone Dr	San Diego CA 92127	1	\$695.24
225-710-20-00	Kelterer Frederick Trust	2426 Stevens Pl	2426 Stevens Pl	Escondido CA 92027	1	\$695.24
225-710-21-00	Hatley Lorene I	2418 Stevens Pl	2418 Stevens Pl	Escondido CA 92027	1	\$695.24
225-710-22-00	Kuninobu Leonard S & H	2416 Stevens Pl	2416 Stevens Pl	Escondido CA 92027	1	\$695.24
Totals:		Parcels:	22			\$15,295.28

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 8

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
231-790-54-00	Marion Ramon R & Ella M	561 Iona Ct	2462 Timbercrest Cir W	Clearwater FL 33763	1	\$90.20
231-790-55-00	Robinson Kyle T & Tiffanie	565 Iona Ct	565 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-56-00	Khounborine Khamla &	569 Iona Ct	569 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-57-00	Lapid Kurt V	573 Iona Ct	573 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-58-00	Jordan Dolan & Rayna	577 Iona Ct	577 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-59-00	Belzman Darrin B & Lori S	581 Iona Ct	581 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-60-00	Tyler Maizie	585 Iona Ct	585 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-61-00	Ashdown Christina J	589 Iona Ct	589 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-62-00	Childers Danny R & Monica	593 Iona Ct	593 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-63-00	Martinez Sergio H	597 Iona Ct	597 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-64-00	Gueco Jose & Johanna	601 Iona Ct	16902 Silver Crest Dr	San Diego CA 92127	1	\$90.20
231-790-65-00	Reyes Leopoldo & Cuarenta	605 Iona Ct	605 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-66-00	Lapeyrouse Christopher &	609 Iona Ct	609 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-67-00	Roman David R	613 Iona Ct	613 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-68-00	Wong U Leon Trust	617 Iona Ct	531 W El Norte Ave	Monrovia CA 91016	1	\$90.20
231-790-69-00	Nieto Ignacio & Myrna	621 Iona Ct	621 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-70-00	Flores Michael & Elvira	625 Iona Ct	625 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-71-00	R E West Inc	2795 Geise Ct	470 N Midway Dr	Escondido CA 92027	1	\$90.20
231-790-72-00	Gonzalez Ramon & Hilda G	2789 Geise Ct	2624 Emerald Oaks Gln	Escondido CA 92027	1	\$90.20
231-790-73-00	Resendiz Moises & Teresa	2783 Geise Ct	2783 Geise Ct	Escondido CA 92027	1	\$90.20
231-790-74-00	Guest James L & Cheryl A	2777 Geise Ct	2777 Geise Ct	Escondido CA 92027	1	\$90.20
231-790-75-00	Enriquez Edgar & Alvarez	628 Iona Ct	628 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-76-00	Saliba Walid A & Akiki	624 Iona Ct	624 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-77-00	Elizondo Avel	Iona Ct	620 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-78-00	Wright Elisa	578 Iona Ct	578 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-79-00	Hernandez Candido &	574 Iona Ct	574 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-80-00	Krein Arthur J Revocable	570 Iona Ct	570 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-81-00	Barton Sandra L	566 Iona Ct	566 Iona Ct	Escondido CA 92027	1	\$90.20
231-790-82-00	Melendrez Ricardo I &	562 Iona Ct	562 Iona Ct	Escondido CA 92027	1	\$90.20
Totals:		Parcels:	29			\$2,615.80

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 -Zone 9

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-991-02-00	Ewing Family 2012 Trust	2253 Parktree Ln	2149 Amanda Ln	Escondido CA 92029	1	\$524.54
224-991-03-00	Perea Eduardo & Zenaida	2243 Parktree Ln	2113 Laura Dr	Escondido CA 92027	1	\$524.54
224-991-04-00	Lewis Jacqueline	2231 Parktree Ln	2231 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-05-00	Sanshey Family Trust	2223 Parktree Ln	26160 Wyndemere Ct	Escondido CA 92026	1	\$524.54
224-991-06-00	Wilke Ngan Ngoc Revocable	2211 Parktree Ln	2211 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-07-00	Summers Family Trust	2203 Parktree Ln	2203 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-08-00	Kayvanshokouhi Lisa M	2195 Parktree Ln	2195 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-09-00	Dai Phi Hung & Nguyen	2187 Parktree Ln	2187 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-10-00	Moen Family Trust	2165 Parktree Ln	2165 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-11-00	Clark Family Trust 05-03-12	2164 Parktree Ln	2164 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-12-00	Mccowen Kevin & Santos	2170 Parktree Ln	2170 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-13-00	Dawson Ian & Whitney	2176 Parktree Ln	2176 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-14-00	Calvillo Richard & Liberty	2184 Parktree Ln	2184 Parktree Ln	Escondido CA 92026	1	\$524.54
224-991-15-00	Hui Family Trust 02-20-10	315 Valleytree Pl	315 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-16-00	Pagach Charles W & Joanne	323 Valleytree Pl	323 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-17-00	Bennett Jonathon P	329 Valleytree Pl	329 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-18-00	Diep Huy T & Le Han	334 Valleytree Pl	334 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-19-00	Frazier Alex	328 Valleytree Pl	328 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-20-00	Mapanao Jay & Danielle C	322 Valleytree Pl	322 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-21-00	Beauchamp Stephen G &	314 Valleytree Pl	314 Valleytree Pl	Escondido CA 92026	1	\$524.54
224-991-22-00	Rockey William C &	317 Springtree Pl	317 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-23-00	Burson John E & Tamara K	325 Springtree Pl	325 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-24-00	Reyes Roberto C & Gomez	329 Springtree Pl	P O Box 270164	San Diego CA 92198	1	\$524.54
224-991-25-00	Rustad Craig A & Garian D	335 Springtree Pl	P O Box 1074	Del Mar CA 92014	1	\$524.54
224-991-26-00	Jose Edward L Trust	345 Springtree Pl	345 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-27-00	Allen Terry & Anne	346 Springtree Pl	346 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-28-00	Roner Family Trust	342 Springtree Pl	342 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-29-00	Frias Lucio P &	338 Springtree Pl	338 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-30-00	Villalpando Phillip R &	334 Springtree Pl	334 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-31-00	Nguyen Maitram T	330 Springtree Pl	330 Springtree Pl	Escondido CA 92026	1	\$524.54
224-991-32-00	Mills Wayne M & Celia C	324 Springtree Pl	9875 Rocky Ridge Rd	Escondido CA 92026	1	\$524.54
224-991-33-00	Barca Girard M & Etelka P	316 Springtree Pl	2596 Dundee Gln	Escondido CA 92026	1	\$524.54
224-991-35-00	Ghosh Ardhendu & Shelly	2257 Brookwood Ct	1180 Via Vera Cruz	San Marcos CA	1	\$524.54
224-991-37-00	Gill Brandon & Kroon-gill	2256 Brookwood Ct	2256 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-38-00	Crisci Family Trust	2248 Brookwood Ct	3032 Rue Montreux	Escondido CA 92026	1	\$524.54
224-991-39-00	Koch Frederick W	2242 Brookwood Ct	2242 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-40-00	Wetzel Raymond J & Julie A	2236 Brookwood Ct	2236 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-41-00	Lenhof Lori A	2211 Brookwood Ct	2211 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-42-00	Ortega Francisco M &	2219 Brookwood Ct	2219 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-43-00	Flores James & Neire M	2223 Brookwood Ct	2223 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-44-00	Haydock Donald	2229 Brookwood Ct	2229 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-991-45-00	Gecewicz Michael B &	2207 Pleasantwood Ln	2207 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-46-00	Chavez Armando &	2203 Pleasantwood Ln	2203 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-47-00	Hoadley Family Trust	2199 Pleasantwood Ln	2531 Peet Ln	Escondido CA 92025	1	\$524.54
224-991-48-00	Scofield Laura A	2195 Pleasantwood Ln	2195 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-49-00	Rolls Karl R Jr & Anne W	2191 Pleasantwood Ln	2191 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-50-00	Gonzalez Marcelo & Martha	2187 Pleasantwood Ln	2187 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-51-00	Garcia Edreuel B & Angelee	2183 Pleasantwood Ln	2183 Pleasantwood Ln	Escondido CA 92026	1	\$524.54

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 -Zone 9

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-991-52-00	Carter Charles Edward &	2179 Pleasantwood Ln	2179 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-53-00	Rose James & Laura Family	2175 Pleasantwood Ln	2175 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-54-00	Cinco Agustin L & Ligaya R	2171 Pleasantwood Ln	8661 Octans St	San Diego CA 92126	1	\$524.54
224-991-55-00	Burgos Jorge	2167 Pleasantwood Ln	2167 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-56-00	Aguirre Pablo O &	2163 Pleasantwood Ln	2163 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-57-00	Clarkson Trust 12-02-94	2159 Pleasantwood Ln	2159 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-58-00	Lin Bill F	2153 Pleasantwood Ln	P O Box 820871	Houston TX 77282	1	\$524.54
224-991-59-00	Wilson Larry D & Kyle	2145 Pleasantwood Ln	2145 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-60-00	Garay Efren G & Garcia	2141 Pleasantwood Ln	2141 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-61-00	Weidenfeller Neil A	2137 Pleasantwood Ln	2137 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-62-00	Sikora Chris	2138 Pleasantwood Ln	2138 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-63-00	Roles Charles & Renata	2146 Pleasantwood Ln	2146 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-64-00	Zeng Guang Hui & Rong	2156 Pleasantwood Ln	2156 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-65-00	Montoya Family Trust	2162 Pleasantwood Ln	558 Echo Ln	San Marcos CA	1	\$524.54
224-991-66-00	Khanthacha Souriya Paul &	2168 Pleasantwood Ln	2168 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-67-00	Hardacker Bryan & Kelli	2179 Splendorwood Pl	2179 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-68-00	Morales Merari	2177 Splendorwood Pl	2177 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-69-00	Sullivan Shane & Barreras	2167 Splendorwood Pl	2167 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-70-00	Martinez Trust 10-13-06	2161 Splendorwood Pl	2161 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-71-00	Nguyen Bruce	2151 Splendorwood Pl	2151 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-72-00	Caguioa Larry N & Estrella	2145 Splendorwood Pl	2145 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-73-00	Gazda Gregory M & Ruth E	2137 Splendorwood Pl	13666 Orchard Gate Rd	Poway CA 92064	1	\$524.54
224-991-75-00	Khan Family Trust 09-05-15	2136 Splendorwood Pl	8326 Yolo Ct	San Diego CA 92129	1	\$524.54
224-991-76-00	Bandoy Charles & Jeroyln	2144 Splendorwood Pl	2144 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-77-00	Aquino Edmond D &	2152 Splendorwood Pl	2152 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-78-00	Peterson David E & Rosa M	2158 Splendorwood Pl	2158 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-79-00	Dumbauld Brian & Stacey	2164 Splendorwood Pl	2164 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-80-00	Jannuzzi Glen & Donna C O	2170 Splendorwood Pl	2170 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-81-00	Lowe James & Dianne	2176 Splendorwood Pl	2176 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-82-00	Larkin Christopher M &	2180 Splendorwood Pl	2180 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-83-00	Nielsen Charles F &	2184 Splendorwood Pl	2184 Splendorwood Pl	Escondido CA 92026	1	\$524.54
224-991-84-00	Ngo Thanh & To Han Ngoc	2188 Pleasantwood Ln	2188 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-85-00	Klee Lawrence S	2196 Pleasantwood Ln	2196 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-86-00	Tierce Michael & Andrea	2204 Pleasantwood Ln	2204 Pleasantwood Ln	Escondido CA 92026	1	\$524.54
224-991-88-00	Tang Tong K & Quach Uyen	2260 Brookwood Ct	2260 Brookwood Ct	Escondido CA 92026	1	\$524.54
224-992-01-00	Figlioli Petrina A	520 Shadywood Dr	520 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-02-00	Hall Diane C	528 Shadywood Dr	528 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-03-00	Guevara Gary G	536 Shadywood Dr	536 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-04-00	Sauls Andree L & Verena Y	542 Shadywood Dr	542 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-05-00	Mitzelfelt Matthew S &	548 Shadywood Dr	548 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-06-00	Rodriguez Esequiel &	556 Shadywood Dr	556 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-07-00	Danesh Family Trust	564 Shadywood Dr	564 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-08-00	Prasad Keshava B &	570 Shadywood Dr	570 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-09-00	Nelson Aaron T & Julie A	576 Shadywood Dr	576 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-10-00	Leclerc Stephen A &	582 Shadywood Dr	582 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-11-00	Eftekhari Farshad &	588 Shadywood Dr	588 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-12-00	Ngolab Family Trust	596 Shadywood Dr	596 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-13-00	Fariba Family Trust	604 Shadywood Dr	604 Shadywood Dr	Escondido CA 92026	1	\$524.54

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-992-15-00	Lopez Silvia & Miguel	614 Shadywood Dr	614 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-16-00	Beck Nanette L	620 Shadywood Dr	620 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-17-00	Friedrichs Family Trust	626 Shadywood Dr	3346 Holly Oak Ln	Escondido CA 92027	1	\$524.54
224-992-18-00	Farnow Daniel & Margaret	632 Shadywood Dr	632 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-19-00	IacuanIELlo Family Trust	638 Shadywood Dr	638 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-20-00	Mitchell James L & Cecilia	646 Shadywood Dr	646 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-21-00	Hickox Jeffrey C & Marlys F	654 Shadywood Dr	654 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-22-00	Soltren Robert D & Krista L	660 Shadywood Dr	660 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-23-00	Medina Genelito V &	666 Shadywood Dr	666 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-24-00	Reyes Danilo S & Teresita	674 Shadywood Dr	674 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-25-00	Donato Family Trust	678 Shadywood Dr	678 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-27-00	Moyer Family Revocable	677 Shadywood Dr	10457 Hunters Ridge Pl	San Diego CA 92127	1	\$524.54
224-992-28-00	Bandoy Linda D	673 Shadywood Dr	673 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-29-00	Maffei Dominick J &	665 Shadywood Dr	665 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-30-00	Batac Demetrio M &	661 Shadywood Dr	13725 Sage Meadow Ln	Valley Center CA	1	\$524.54
224-992-31-00	Langford Geoffrey S	653 Shadywood Dr	653 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-32-00	Dukat Raymond H &	648 Crestwood Pl	648 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-33-00	Mitchell Patricia K	650 Crestwood Pl	1046 Nolan Ct	Pleasanton CA	1	\$524.54
224-992-34-00	Bartolay Taurino A &	654 Crestwood Pl	654 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-35-00	Maiorano Silvio S &	658 Crestwood Pl	658 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-36-00	Feinstein Alexander &	660 Crestwood Pl	660 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-37-00	Driscoll Monika	668 Crestwood Pl	668 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-38-00	Mcguire Peter & Susan	672 Crestwood Pl	672 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-39-00	Whitten Oscar D &	676 Crestwood Pl	17040 Arnold Dr #43	March Air Force	1	\$524.54
224-992-40-00	Cuccurullo Family Trust	680 Crestwood Pl	680 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-41-00	Gray Mary	684 Crestwood Pl	684 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-42-00	Navarra John K & Darcee N	687 Crestwood Pl	687 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-43-00	Roberts David S & Jennifer	683 Crestwood Pl	683 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-44-00	Jones Nathan & Kathryn A	679 Crestwood Pl	679 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-45-00	Lievanos Robert C & Cortez	653 Crestwood Pl	653 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-46-00	Baumbach Lilya	649 Crestwood Pl	2370 Pine Valley Gln	Escondido CA 92026	1	\$524.54
224-992-47-00	Jakl Michael A & Maritza E	645 Crestwood Pl	645 Crestwood Pl	Escondido CA 92026	1	\$524.54
224-992-48-00	Hoadley Family Trust	2216 Terracewood Ln	2531 Peet Ln	Escondido CA 92025	1	\$524.54
224-992-49-00	Bychak Richard J &	2210 Terracewood Ln	2210 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-50-00	Lockvis James B & Vickey	2208 Terracewood Ln	2208 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-51-00	Cortez Richard M & Stacy A	2197 Terracewood Ln	2197 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-52-00	Windham Olivia Trust	2201 Terracewood Ln	2201 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-53-00	Gamble Family Trust	2205 Terracewood Ln	2205 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-54-00	Higgs John H & Hallie M	2209 Terracewood Ln	2209 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-55-00	Turner Ronald G	2211 Terracewood Ln	2211 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-56-00	Griffith Patricia G Family	2215 Terracewood Ln	2215 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-57-00	Matsuo Craig M & Tracy C	2219 Terracewood Ln	2219 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-58-00	Dodge Charles W & Jane H	2225 Terracewood Ln	2225 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-59-00	Berenjian Kavan	2231 Terracewood Ln	2231 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-60-00	Garritson Bracken	2239 Terracewood Ln	2239 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-61-00	Simon Todd H & Beth A	2241 Terracewood Ln	2241 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-62-00	Samalea Family Trust	2249 Terracewood Ln	2249 Terracewood Ln	Escondido CA 92026	1	\$524.54
224-992-63-00	Sonn Family Trust 09-28-05	607 Shadywood Dr	607 Shadywood Dr	Escondido CA 92026	1	\$524.54

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-992-64-00	Gonzalez Tristan &	597 Shadywood Dr	597 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-65-00	Holliday Kim S	589 Shadywood Dr	589 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-66-00	Arcinue Christian M	585 Shadywood Dr	585 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-67-00	Cozens John W & Kathryn A	581 Shadywood Dr	581 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-68-00	Morrow Ted J & Monica	577 Shadywood Dr	538 Sugarpine Dr	Merlin OR 97532	1	\$524.54
224-992-69-00	Ivelich Jason	571 Shadywood Dr	571 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-70-00	Utterberg-gurlin Gwen E	565 Shadywood Dr	565 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-71-00	Collier Harold R Family	561 Shadywood Dr	561 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-72-00	Piga Cezar & Nanette	555 Shadywood Dr	555 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-73-00	Woodard Family Trust	545 Shadywood Dr	545 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-74-00	Fischer Sheen E & Editha D	539 Shadywood Dr	539 Shadywood Dr	Escondido CA 92026	1	\$524.54
224-992-76-00	Logan Scott	610 Shadywood Dr	610 Shadywood Dr	Escondido CA 92026	1	\$524.54
Totals:		Parcels:	156			\$81,828.24

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-051-38-00	Afshar Tony & Leah	1860- El Norte Pkwy West	930 Rainbow Crest Rd	Fallbrook CA 92028	25.000	\$441.00
224-163-01-00	Chandler Guy W Family	1735 Larkhaven Gln	1735 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-02-00	Schmidt Scott D & Carmen	1731 Larkhaven Gln	1731 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-03-00	Rahnamaie Akram	1723 Larkhaven Gln	13309 Caminito Ciera #116	San Diego CA 92129	1.000	\$17.64
224-163-04-00	Adams Robert L	1717 Larkhaven Gln	1717 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-05-00	Argabright Steven L &	1713 Larkhaven Gln	1713 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-06-00	Fidelus Bartlomiej P	1709 Larkhaven Gln	1709 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-07-00	Stariell Tarra J	1705 Larkhaven Gln	1705 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-08-00	Johnson Donald A & Donna	1702 Larkhaven Gln	1702 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-09-00	Chernish George & Mabel	1706 Larkhaven Gln	1706 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-10-00	Hall Eric A	1710 Larkhaven Gln	1710 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-11-00	Hoffner Judith E Tr	1714 Larkhaven Gln	1714 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-12-00	Andrews Franklin C Iii	1718 Larkhaven Gln	1718 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-13-00	Maughan Donald A &	1722 Larkhaven Gln	1722 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-14-00	Campbell Herrell Living	1726 Larkhaven Gln	1726 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-15-00	Blaha Family Trust	1741 Still Water Gln	114 10th St	Ramona CA 92065	1.000	\$17.64
224-163-16-00	Mosemak Revocable Living	1737 Still Water Gln	1737 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-18-00	Sigalov Anatoly & Lamara	1732 Still Water Gln	1732 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-19-00	Mcdowell Mary F	1736 Still Water Gln	1736 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-20-00	Verneti Mary J	1740 Still Water Gln	1740 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-21-00	Gomes Manuel J Iii	1744 Still Water Gln	1744 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-22-00	Wiles David & Rae	1748 Stillwater Gln	4895 Avion Way	San Diego CA 92115	1.000	\$17.64
224-163-23-00	Parento Charles J &	1752 Still Water Gln	1752 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-24-00	Szuberla Casimir S &	1756 Still Water Gln	1756 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-25-00	Salter Helen	1761 Still Water Gln	1761 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-26-00	Orlando Family Trust	1757 Still Water Gln	1757 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-27-00	Barton Family Trust	1753 Still Water Gln	1753 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-163-28-00	Guerrero Eleazar	1749 Still Water Gln	31931 Palos Verdes Dr	Escondido CA 92026	1.000	\$17.64
224-163-29-00	Camacho Sigfredo	1734 Larkhaven Gln	1734 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-30-00	Soard Thomas L & Scottie	1738 Larkhaven Gln	4843 W Avenue K6	Lancaster CA 93536	1.000	\$17.64
224-163-31-00	Cunningham Tamara J 2013	1742 Larkhaven Gln	1742 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-32-00	Prodan Steven	1746 Larkhaven Gln	1746 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-33-00	Martinez Rosa L	1750 Larkhaven Gln	2280 E Valley Pkwy #52	Escondido CA 92027	1.000	\$17.64
224-163-34-00	Roman Luis A & Lori N	1754 Larkhaven Gln	1754 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-35-00	Scott Colleen T C	1755 Larkhaven Gln	1755 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-36-00	Thallas Anthony S	1751 Larkhaven Gln	1751 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-37-00	Ngo David Charles & Leung	1747 Larkhaven Gln	1747 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-38-00	Schneider George H &	1743 Larkhaven Gln	1743 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-39-00	Storey Harold L & Doris M	1739 Larkhaven Gln	1739 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-163-41-00	Fernandez Gonzalo A &	1721 Still Water Gln	1721 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-164-01-00	Cowles Cecelia I S 1992	1759 Larkhaven Gln	515 Las Veras Pl	Escondido CA 92026	1.000	\$17.64
224-164-02-00	Lutz Albert W Trust	1761 Larkhaven Gln	1761 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-03-00	Cheung-quon Jerraldeane M	1765 Larkhaven Gln	1765 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-04-00	Glen Kathleen A Revocable	1769 Larkhaven Gln	1769 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-05-00	Brill Stephen G & Linda J	1773 Larkhaven Gln	1773 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-06-00	Colford Steven A & Trudy L	1777 Larkhaven Gln	1358 Hinrichs Way	Escondido CA 92027	1.000	\$17.64
224-164-07-00	Scharton Denise E	1781 Larkhaven Gln	1781 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-08-00	Espinoza Longino C &	1785 Larkhaven Gln	1785 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-164-09-00	Lebowitz Steven & Janina P	1789 Larkhaven Gln	1789 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-10-00	Jabbari Mohammad Y &	1793 Larkhaven Gln	4877 N Arboretum Dr		1.000	\$17.64
224-164-11-00	Dorobati Soheila N	1797 Larkhaven Gln	1797 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-12-00	Raibert Robert	1801 Larkhaven Gln	13457 Shoal Summit Dr	San Diego CA 92128	1.000	\$17.64
224-164-13-00	Swiderski Piotr M &	1798 Larkhaven Gln	162 Hollyglen Ln	San Dimas CA	1.000	\$17.64
224-164-14-00	Lund Benjamin R &	1768 Still Water Gln	27790 Granite Ridge Rd	Escondido CA 92026	1.000	\$17.64
224-164-15-00	Tung Wai Tung	1764 Still Water Gln	4620 Terraza Mar Marvelosa	San Diego CA 92130	1.000	\$17.64
224-164-16-00	Parker Fely-jo & D Brian	1762 Stillwater Gln	7826 Pipit Pl	San Diego CA 92129	1.000	\$17.64
224-164-17-00	Rodgers Raymond E Jr &	1765 Still Water Gln	1765 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-164-18-00	Tucker Charles T &	1769 Still Water Gln	1769 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-164-19-00	Magana Tony L & Ramona	1771 Still Water Gln	1771 Still Water Gln	Escondido CA 92026	1.000	\$17.64
224-164-20-00	Smith Betty A Revocable	1766 Larkhaven Gln	1766 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-21-00	Shaw Timothy G & Veronica	1762 Larkhaven Gln	1762 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-164-22-00	Mech Deborah R Trust	1758 Larkhaven Gln	1758 Larkhaven Gln	Escondido CA 92026	1.000	\$17.64
224-210-52-00	Aly Hussein & Jamal	1951 La Brea St	1951 La Brea St	Escondido CA 92026	0.088	\$1.54
224-210-53-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	7.025	\$123.92
224-211-05-00	Stuck In The Rough L L C	1560 Country Club Dr West	P O Box 11480	Beverly Hills CA	2.230	\$39.34
224-211-11-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.035	\$0.62
224-211-12-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.995	\$17.54
224-211-15-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	3.688	\$65.06
224-211-16-00	Brown Trust 09-13-95	1436 Country Club Ln West	1436 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-211-17-00	Nystrom Terry L & Florine	1428 Country Club Ln West	1428 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-211-18-00	Andrade Properties Llc	1422 Country Club Ln West	P O Box 790	Farmington Ar 72730	1.000	\$17.64
224-211-19-00	Rifkind Leo & Shirley Trust	1416 Country Club Ln West	1416 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-211-20-00	Freyne Francis & Patricia	1408 Country Club Ln West	1625 Ransom Rd	Riverside CA 92506	1.000	\$17.64
224-211-21-00	Mckee Family Trust	1404 Country Club Ln West	1404 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-220-43-00	Country Club Lane	1001 Country Club Ln	1001 Country Club Ln	Escondido CA 92026	6.563	\$115.76
224-220-53-00	Ruiz Eduardo M	2027 Cherokee Ln	2027 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-220-54-00	Wicks Warren R	2020 Cherokee Ln	2020 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-230-05-00	Church Sean E	2124 Mudge Ln	2124 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-10-00	Church John J & Philomena	2122 Mudge Ln	2122 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-11-00	Johnson Jason & Michelle	1758 Mudge Ln	1758 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-26-00	Engelbrecht Family 2001	1732 Mudge Ln	1732 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-27-00	Engelbrecht Jason &	1742 Mudge Ln	1742 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-33-00	Lorenzo Yousef & Stela N	1050 Country Club Ln	1050 Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-230-36-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.583	\$10.28
224-230-37-00	Brown Jan Trust 12-28-02	1704 Mudge Ln	1704 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-38-00	Bost Walter E Jr & Linda M	1722 Mudge Ln	1722 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-230-43-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.893	\$15.74
224-231-01-00	Scheer Dorothy L Trust	1050 Hawaii Pl	1050 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-02-00	Ahles Manny C & Andrea L	1040 Hawaii Pl	1040 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-03-00	Odaffer Douglas G & Susan	1030 Hawaii Pl	1030 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-04-00	Lienhard Paul & Susan	1020 Hawaii Pl	1020 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-05-00	Self S Keith & Patti L Trust	1010 Hawaii Pl	1010 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-06-00	Strauss Jerald A Trust	950 Hawaii Pl	950 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-07-00	Dujakovich Momo Trust	Hawaii Pl	920 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-08-00	Dujakovich Milos Trust	Hawaii Pl	935 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-09-00	Dujakovich Momo Trust	920 Hawaii Pl	920 Hawaii Pl	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-231-10-00	Deubig Family Trust	915 Hawaii Pl	915 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-11-00	Vanthyne Family Trust	925 Hawaii Pl	925 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-12-00	Dujakovich Milos Trust	935 Hawaii Pl	935 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-13-00	Deaton Family Revocable	945 Hawaii Pl	945 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-14-00	Leonardo Rodolfo T & Mary	1005 Hawaii Pl	1005 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-15-00	Mcvey Family Trust	1015 Hawaii Pl	1015 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-16-00	Brouwer Garret J & Kristen	1025 Hawaii Pl	1643 Rincon Ave	Escondido CA 92026	1.000	\$17.64
224-231-17-00	Bunn Family 2008 Trust	1035 Hawaii Pl	1035 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-18-00	Dujakovich Momo Trust	Hawaii Pl	920 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-231-19-00	Dujakovich Nick & Smilja	2150 Nutmeg St	2150 Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-231-20-00	Falconieri Matthew G &	1055 Hawaii Pl	1055 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-251-01-00	Hill Living Credit Shelter	2102 Amorosa Gln	P O Box 952	Bonita CA 91908	1.000	\$17.64
224-251-02-00	Ancho Romulo T &	2106 Amorosa Gln	2106 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-03-00	James Family 2004 Trust	2112 Domingo Gln	2112 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-04-00	Wheeldon George N Jr &	2108 Domingo Gln	2108 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-05-00	Thomson Paul	2104 Domingo Gln	2104 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-06-00	Jassar Amandeep S &	2103 Domingo Gln	2103 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-07-00	Aguilar Leopoldo &	2107 Domingo Gln	13530 Spruce Ln	Poway CA 92064	1.000	\$17.64
224-251-08-00	Verhulst Carol L	2111 Domingo Gln	2111 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-09-00	Hendricks John & Aline G	2115 Domingo Gln	2115 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-12-00	Taylor William R & Lorette	2125 Domingo Gln	2125 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-13-00	Fitzgerald John	2129 Domingo Gln	2129 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-14-00	Wilhelm Joseph Iii &	2133 Domingo Gln	2133 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-15-00	Tran Thanh	888 Cadencia Gln	888 Cadencia Gln	Escondido CA 92026	1.000	\$17.64
224-251-16-00	Kraus John & Jessica	882 Cadencia Gln	882 Cadencia Gln	Escondido CA 92026	1.000	\$17.64
224-251-17-00	Douglas Stephen R	2135 Amorosa Gln	2135 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-18-00	Stephens Daniel E &	2139 Amorosa Gln	2139 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-19-00	Camarena Veronica A	2143 Amorosa Gln	905 Briarcliff Dr	Santa Maria CA	1.000	\$17.64
224-251-20-00	Mancini Danielle	2147 Amorosa Gln	2147 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-21-00	Callahan Randy A & Cheryl	899 Alta Loma Gln	899 Alta Loma Gln	Escondido CA 92026	1.000	\$17.64
224-251-22-00	Turner Jake N Iii	2155 Amorosa Gln	2155 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-23-00	Martines Paul & Gamez	2159 Amorosa Gln	2159 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-24-00	Parker Nathaniel & Shareen	2163 Amorosa Gln	2163 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-25-00	Salgueiro Brandon W &	2167 Amorosa Gln	2167 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-26-00	Shay Gale J	2171 Amorosa Gln	2171 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-27-00	Debuysere Keith R & Amy	2175 Amorosa Gln	1131 Landavo Dr	Escondido CA 92027	1.000	\$17.64
224-251-28-00	Baires Family Trust	2179 Amorosa Gln	640 Canopy Dr	San Marcos CA	1.000	\$17.64
224-251-29-00	Romero Luis A & Mercedes	2183 Amorosa Gln	2183 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-30-00	Carver Graham	2187 Amorosa Gln	30802 Coast Hwy #m7	Laguna Beach CA	1.000	\$17.64
224-251-31-00	Paschal William T &	2191 Amorosa Gln	2191 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-32-00	Hawkinson Marcus &	2195 Amorosa Gln	2195 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-33-00	Frustaglio Antonio &	2197 Amorosa Gln	2197 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-34-00	Carrillo Raul J	2199 Amorosa Gln	2199 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-35-00	Williamson Jay & Veronica	2190 Amorosa Gln	2190 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-36-00	Progress Residential 2014-1	2178 Amorosa Gln	P O Box 4090	Scottsdale AZ 85261	1.000	\$17.64
224-251-37-00	Willow Roxanne M	2174 Amorosa Gln	2174 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-38-00	Richards Barbara I Trust	2170 Amorosa Gln	2170 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-39-00	Mccomiskey Philip J &	2164 Amorosa Gln	32025 Corte Algete	Temecula CA 92592	1.000	\$17.64

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224-251-40-00	Ramirez Rubi	2160 Amorosa Gln	2160 Amorosa Gln	Escondido CA 92026	1.000	\$17.64
224-251-43-00	Landau Anton & Victoria	2119 Domingo Gln	2119 Domingo Gln	Escondido CA 92026	1.000	\$17.64
224-251-44-00	Knowles Richard & Julie	2121 Domingo Gln	11934 Stoney Peak Dr #1322	San Diego CA 92128	1.000	\$17.64
224-280-64-00	Ciuffo Lawrence G &	2215 Nutmeg St North	474 Se Highway 101	Depoe Bay OR	1.000	\$17.64
224-280-65-00	M & P Developments Inc	Gary Ln	100 E San Marcos Blvd #400	San Marcos CA	1.000	\$17.64
224-280-66-00	Montemuro Mickey	Gary Ln	P O Box 1385	Vista CA 92085	1.000	\$17.64
224-430-04-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.188	\$3.32
224-430-05-00	Grindell Robert & Doree M	1758 Lorraine Pl	1758 Lorraine Pl	Escondido CA 92026	1.000	\$17.64
224-430-06-00	Bowman Maria T	1756 Lorraine Pl	1756 Lorraine Pl	Escondido CA 92026	1.000	\$17.64
224-430-07-00	Raedeker Frances D	1754 Lorraine Pl	1754 Lorraine Pl	Escondido CA 92026	1.000	\$17.64
224-430-08-00	Aballi Jonathan A &	1752 Lorraine Pl	2557 Cimmaron Ter	Escondido CA 92029	1.000	\$17.64
224-430-09-00	Mougier John & Lisa	1750 Lorraine Pl	1750 Lorraine Pl	Escondido CA 92026	1.000	\$17.64
224-430-10-00	Wonacott Drew	1744 Country Club Ln West	1744 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-430-11-00	Creager Family Trust	1734# Country Club Dr	11580 Wannacut Pl	San Diego CA 92131	1.000	\$17.64
224-431-01-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.125	\$2.20
224-431-02-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	0.113	\$1.98
224-431-03-00	Stuck In The Rough L L C	1800 Country Club Ln	P O Box 11480	Beverly Hills CA	1.188	\$20.96
224-470-01-00	Werline Mark & Justine	1925 Pamela Ln	1925 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-02-00	Prewitt Michael	1904 Louis Dr	1904 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-03-00	Bonfiglio Antonio S &	1908 Louis Dr	1908 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-04-00	Vandevogte 1986 Trust	1912 Louis Dr	2585 Reed Rd	Escondido CA 92027	1.000	\$17.64
224-470-05-00	Thurman Debbie A Trust	1916 Louis Dr	1916 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-06-00	Lamb Joseph Jr & Susan A	1920 Louis Dr	1920 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-07-00	Ronnebeck Judith K	1924 Louis Dr	1924 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-08-00	Kreutzberg Julie	1928 Louis Dr	1928 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-09-00	Whitney Carol A Trust	1932 Louis Dr	1762 David Dr	Escondido CA 92026	1.000	\$17.64
224-470-10-00	Schwabenland Henry A &	1936 Louis Dr	1936 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-11-00	Barrios Lori	1938 Louis Dr	1938 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-12-00	Landau Christine	1935 Edith Dr	3635 Cabernet Vineyards Cir	San Jose CA 95117	1.000	\$17.64
224-470-13-00	Cook Lizette	1931 Edith Dr	1931 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-14-00	Hester Christopher W &	1927 Edith Dr	1927 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-15-00	Henderson B & Chambers	1923 Edith Dr	1923 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-16-00	Greig Catherine S	1919 Edith Dr	1919 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-17-00	Issa Leenos	1915 Edith Dr	1915 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-18-00	Mccaskill Lawrence J	1911 Edith Dr	1911 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-19-00	Borns Michael C	1907 Edith Dr	1907 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-20-00	Heller Donald R 1981 Trust	1903 Edith Dr	1322 Park Hill Ln	Escondido CA 92025	1.000	\$17.64
224-470-21-00	Korbecki Robert G &	1901 Edith Dr	1901 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-22-00	Heiliger Family 1997 Trust	1902 Felice Dr	1200 Tuscany Ct	Encinitas CA 92024	1.000	\$17.64
224-470-23-00	Utterback Rodney D & Mary	1904 Felice Dr	1904 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-24-00	Ames Family Trust	1925 Louis Dr	1925 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-25-00	Carrillo Margarito	1921 Louis Dr	1143 Gale St	Escondido CA 92027	1.000	\$17.64
224-470-26-00	Pascual Antonio A M	1917 Louis Dr	1917 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-27-00	Faber Deanna M Family	1913 Louis Dr	1913 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-28-00	Engleman Donna L Tr	1909 Louis Dr	1320 Hillview Ct	Carlsbad CA 92008	1.000	\$17.64
224-470-29-00	Tubis Family Trust	1905 Louis Dr	1905 Louis Dr	Escondido CA 92026	1.000	\$17.64
224-470-30-00	Ohnersorgen Andrew M	1917 Pamela Ln	1917 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-31-00	Vittek Vanessa	1913 Pamela Ln	1913 Pamela Ln	Escondido CA 92026	1.000	\$17.64

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224-470-32-00	Noel Mossicina J Trust	1909 Pamela Ln	1909 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-33-00	Chavda Tarunkumar &	1905 Pamela Ln	1905 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-34-00	Meza Gonzalo	1901 Pamela Ln	1901 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-35-00	Gill Robert D & Evangelina	1904 Edith Dr	1904 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-36-00	Khodor Samir K & Zana M	1906 Edith Dr	1906 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-37-00	Click Keith E	1908 Edith Dr	1908 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-38-00	Mates Bradford A & Emily	1912 Edith Dr	30646 Saddleback Rd	Valley Center CA	1.000	\$17.64
224-470-41-00	Beardshear Don H & Gwen	1926 Pamela Ln	1926 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-42-00	Sanderson G L & Jule	1922 Pamela Ln	1922 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-43-00	Keith Ginger K	1918 Pamela Ln	1918 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-44-00	Ramon Catholic Bishop Of	1914 Pamela Ln	2110 Broadway	Sacramento CA	1.000	\$17.64
224-470-45-00	Delaney John C & Susan L	1910 Pamela Ln	1910 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-46-00	Donlad & Ellajean Family	1906 Pamela Ln	1876 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-47-00	Rufenahct Brent 2001 Trust	1902 Pamela Ln	36 Via Larga Vista	Bonsall CA 92003	1.000	\$17.64
224-470-48-00	Bruns S J 2013 Trust	1884 Pamela Ln	1884 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-49-00	Duly Peggy E	1880 Pamela Ln	1200 Church St	Benicia CA 94510	1.000	\$17.64
224-470-50-00	Gelish Justin	1876 Pamela Ln	1876 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-51-00	Clark Joseph M & Dorothy	1872 Pamela Ln	1872 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-470-52-00	Heck Alan R & Sara	1908 Felice Dr	1908 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-53-00	Evans Lewis M & Nancy C	1912 Felice Dr	1912 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-54-00	Shapiro Jared L	1916 Felice Dr	1916 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-55-00	Giles Cherrie B	1920 Felice Dr	1920 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-56-00	Vergeer Alida G Tr	1924 Felice Dr	525 W El Norte Pkwy #53	Escondido CA 92026	1.000	\$17.64
224-470-57-00	Mcdonald Living Trust	1928 Felice Dr	4883 Motif St	Oceanside CA 92057	1.000	\$17.64
224-470-58-00	Ho Johnny & Nguyen Chau	1932 Felice Dr	1223 Avenida Amistad	San Marcos CA	1.000	\$17.64
224-470-59-00	Neuharth Family Trust	1936 Felice Dr	P O Box 460777	Escondido CA 92046	1.000	\$17.64
224-470-60-00	Orta Teresa	1942 Felice Dr	1942 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-61-00	Rivas Family Trust	1982 Golden Circle Dr	1982 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-62-00	Augestad Family Trust	1986 Golden Circle Dr	1986 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-63-00	Ward John O Revocable	1990 Golden Circle Dr	1990 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-64-00	Deaver Family 2000 Trust	1994 Golden Circle Dr	1505 Avocado Way	Escondido CA 92026	1.000	\$17.64
224-470-65-00	Berggren Dana & Mary	2027 Golden Circle Dr	3913 Sierra Linda Dr	Escondido CA 92025	1.000	\$17.64
224-470-66-00	Berry Ivan D & Barbara A	2023 Golden Circle Dr	785 Alamo Ln	Escondido CA 92025	1.000	\$17.64
224-470-67-00	Miller John Trust 02-21-08	1999 Golden Circle Dr	1999 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-68-00	Stephens Delene Tr (dcsd)	1995 Golden Circle Dr	1995 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-69-00	Lloyd Arleen M Living Trust	1991 Golden Circle Dr	1991 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-70-00	Williams Justin B	1985 Golden Circle Dr	1985 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-71-00	Ragaisis John A & Janice M	1981 Golden Circle Dr	1981 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-72-00	Adams Bruce & Mary L	1977 Golden Circle Dr	1977 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-73-00	Kruger Family Trust	1975 Golden Circle Dr	11814 Arborlake Way	San Diego CA 92131	1.000	\$17.64
224-470-74-00	Larivey Grace Yun	1973 Golden Circle Dr	1973 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-75-00	Rogers Joni D Family Trust	1970 Golden Circle Dr	3209 Cherokee Dr	Marion IL 62959	1.000	\$17.64
224-470-76-00	Gardetto Jamie & Megan	1974 Golden Circle Dr	1974 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-470-77-00	Ly Family Trust 12-29-15	1937 Felice Dr	412 Hanford Gln	Escondido CA 92027	1.000	\$17.64
224-470-78-00	Swartzwelder Living Trust	1933 Felice Dr	1530 W Pine Tree Ct	Show Low AZ 85901	1.000	\$17.64
224-470-79-00	Dorsey Family Trust	1929 Felice Dr	1929 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-80-00	Palmer Family Trust	1925 Felice Dr	682 E Olive St	San Marcos CA	1.000	\$17.64
224-470-81-00	Marion Jeanne	1921 Felice Dr	1921 Felice Dr	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-470-82-00	Bozzay Miklos & Yael	1917 Felice Dr	10334 Burned Oak Ln	Escondido CA 92026	1.000	\$17.64
224-470-83-00	Jensky Mary I Living Trust	1913 Felice Dr	3094 Rikkard Dr	Thousand Oaks CA	1.000	\$17.64
224-470-84-00	Miller Crystal A Trust	1909 Felice Dr	1909 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-470-85-00	Valleroy William J & Melody	1907 Felice Dr	15418 Sky High Rd	Escondido CA 92025	1.000	\$17.64
224-470-86-00	Pitstick Marcella L Trust	1920 Edith Dr	1920 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-470-87-00	Donahue Carmen	1916 Edith Dr	1916 Edith Dr	Escondido CA 92026	1.000	\$17.64
224-480-24-00	Kronshage Lou	1839 Pamela Ln	1839 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-480-29-00	Ward Pamela S	1931 Lorri Way	1931 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-480-30-00	Perez Celestino & Estela	1937 Lorri Way	1937 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-480-31-00	Avila Carlos M	1932 Clover Way	1932 Clover Way	Escondido CA 92026	1.000	\$17.64
224-480-32-00	Yerka Edwin C & Wyatt	1920 Clover Way	506 W Thomas Ave	Marshall MN 56258	1.000	\$17.64
224-480-33-00	Holmes Walter D & Linda J	1914 Clover Way	1914 Clover Way	Escondido CA 92026	1.000	\$17.64
224-480-34-00	Clark-jijon John R &	1908 Clover Way	1908 Clover Way	Escondido CA 92026	1.000	\$17.64
224-480-35-00	Merboth Heather D	1902 Clover Way	1902 Clover Way	Escondido CA 92026	1.000	\$17.64
224-480-36-00	Ganino Michael Sr &	1831 Pamela Ln	1831 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-480-37-00	Tu David & Chen Theresa	1835 Pamela Ln	1835 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-480-43-00	James Kelly L	1919 Lorri Way	1919 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-480-45-00	Smith Mollie R Trust	1925 Lorri Way	1925 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-480-47-00	Grasso Family Trust	1907 Lorri Way	1907 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-480-48-00	Grasso Family Trust	Lorri Way	1907 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-481-01-00	Herrera Moises & Leanna	1913 Golden Circle Dr	1913 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-02-00	Orick Family Trust	1919 Golden Circle Dr	1919 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-03-00	Fernandez Kathe K	1925 Golden Circle Dr	1925 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-04-00	Teo Susan K	1929 Golden Circle Dr	1929 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-05-00	Biondo Michael C & Jessica	1933 Golden Circle Dr	1933 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-06-00	Norcia Kimberly A	1937 Golden Circle Dr	1937 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-07-00	Labko Jonathan M &	1941 Golden Circle Dr	1941 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-08-00	Mize Joshua J & Montiel	1945 Golden Circle Dr	1945 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-09-00	Long Reginald C & Anna K	1949 Golden Circle Dr	1949 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-10-00	Dee Susan L	1953 Golden Circle Dr	1953 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-11-00	Kirchnavy 2004 Trust	1955 Golden Circle Dr	1955 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-12-00	Rodriguez Jose & Maria M	1957 Golden Circle Dr	1957 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-13-00	Chaves Norma	1961 Golden Circle Dr	1961 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-14-00	Circuit Daniel W K & Darci	1965 Golden Circle Dr	1965 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-15-00	Harvey Lorrie	1969 Golden Circle Dr	1969 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-16-00	Engelbrecht Family 2001	1893 Golden Circle Dr	1732 Mudge Ln	Escondido CA 92026	1.000	\$17.64
224-481-17-00	Calarco Dominic A & Ruth	1899 Golden Circle Dr	1899 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-18-00	Medina Christy L Trust	1901 Golden Circle Dr	1901 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-19-00	Mossuto Jaclyn R	1907 Golden Circle Dr	1907 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-20-00	Magana Jose G & Carmen	1887 Golden Circle Dr	1887 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-21-00	Morford Scott & Cindy	1881 Golden Circle Dr	1881 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-22-00	Frechette Lynda J	1875 Golden Circle Dr	9846 Sagebud Ln	Houston TX 77089	1.000	\$17.64
224-481-23-00	Kilroy Elizabeth M Trust	1869 Golden Circle Dr	1869 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-481-25-00	Beaumont Barbara E Tr	1863 Golden Circle Dr	11 W Aloha St #806	Seattle WA 98119	1.000	\$17.64
224-482-01-00	Farrar John R & Rachel K	1903 Felice Dr	1903 Felice Dr	Escondido CA 92026	1.000	\$17.64
224-482-02-00	Jauregui S & E Family	1901 Felice Dr	1401 El Norte Pkwy #216	San Marcos CA	1.000	\$17.64
224-482-03-00	Hughes Sherry L	1857 Pamela Ln	P O Box 460131	Escondido CA 92046	1.000	\$17.64
224-482-04-00	Boettcher Herbert H Tr	1853 Pamela Ln	1853 Pamela Ln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-482-05-00	Kenworthy Ji T	1904 Lorri Way	P O Box 221005	San Diego CA 92192	1.000	\$17.64
224-482-06-00	Katsenis Katherine Living	1908 Lorri Way	9453 Crystal View Dr	Tujunga CA 91042	1.000	\$17.64
224-482-07-00	Johnston Debra	1920 Lorri Way	1920 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-482-08-00	Ursic Sandra M	1926 Lorri Way	1926 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-482-09-00	Capps Judith M	1932 Lorri Way	1932 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-482-10-00	Roberts Joshua B &	1938 Lorri Way	1938 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-482-11-00	Whittington Michel W &	1944 Lorri Way	1944 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-482-12-00	Johnston Robert S &	1950 Lorri Way	1950 Lorri Way	Escondido CA 92026	1.000	\$17.64
224-482-13-00	Garcia Larry & Claydon	1957 Clover Way	1957 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-14-00	Saas Nagwa Revocable	1953 Clover Way	500 Lunailo Home Rd #12f	Honolulu HI 96825	1.000	\$17.64
224-482-15-00	Abou-sayf Family Trust	1949 Clover Way	1949 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-16-00	Thompson Mark C	1943 Clover Way	1943 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-17-00	Petty Carole J	1937 Clover Way	1937 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-18-00	Vandevogte Trust 10/23/86	1931 Clover Way	2585 Reed Rd	Escondido CA 92027	1.000	\$17.64
224-482-19-00	Guillen Family Trust	1925 Clover Way	1925 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-20-00	Fitzgerald John D & Elaine	1919 Clover Way	27717 High Vista Dr	Escondido CA 92026	1.000	\$17.64
224-482-21-00	Downey M B Trust	1913 Clover Way	1913 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-22-00	Conroy Patrick D	1907 Clover Way	1907 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-23-00	Healy Robert J	1901 Clover Way	1901 Clover Way	Escondido CA 92026	1.000	\$17.64
224-482-24-00	Lentz Charles	1926 Golden Circle Dr	1926 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-25-00	Luu Steven Vinh & Au Linh	1920 Golden Circle Dr	1920 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-26-00	Varesio Family Trust No 3	1914 Golden Circle Dr	1914 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-27-00	Thinh Jonathan N &	1908 Golden Circle Dr	1908 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-28-00	Ortiz Thomas E & Brandi R	1902 Golden Circle Dr	1811 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-482-29-00	Lorek Kirstin R	1932 Golden Circle Dr	1932 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-30-00	Doull Timothy B & Jennifer	1938 Golden Circle Dr	39494 Val Vista Ct	Murrieta CA 92563	1.000	\$17.64
224-482-31-00	Perlman Bruce & Sharon	1942 Golden Circle Dr	8409 Vintage Dr Ne	Albuquerque NM	1.000	\$17.64
224-482-32-00	Patzner Nancy B	1948 Golden Circle Dr	3639 Orders Road	Grove City OH 43123	1.000	\$17.64
224-482-33-00	Mcconnell Luke	1954 Golden Circle Dr	1954 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-34-00	Beach Earl Iii & Sherry	1958 Golden Circle Dr	1958 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-35-00	Price Shirley T Trust	1962 Golden Circle Dr	1962 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-482-36-00	Angulo Josefina Trust	1966 Golden Circle Dr	9724 Doreen Dr	Cypress CA 90630	1.000	\$17.64
224-483-01-00	Rubio Baldomero B &	1848 Pamela Ln	1401 El Norte Pkwy #178	San Marcos CA	1.000	\$17.64
224-483-02-00	Red Arrow Investments L L	1844 Pamela Ln	1993 Pizarro Ln	Escondido CA 92026	1.000	\$17.64
224-483-03-00	Merrill Lynch Mortgage	1838 Pamela Ln	1661 Worthington Rd	West Palm Beach	1.000	\$17.64
224-483-04-00	Vitello James A	1832 Pamela Ln	1832 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-483-05-00	Whitener Steven D	1826 Pamela Ln	1826 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-483-06-00	Horn John R	1820 Pamela Ln	1820 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-483-07-00	Stein Ruth M Trust	1814 Pamela Ln	P O Box 1705	San Juan Capistrano	1.000	\$17.64
224-483-08-00	Laymon David M	1808 Pamela Ln	1808 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-483-09-00	Kinney Brandon K &	1802 Pamela Ln	2436 N Summit Circle Gln	Escondido CA 92026	1.000	\$17.64
224-483-10-00	Tippett Robert S &	1852 Pamela Ln	1852 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-483-11-00	Yee Chew Fung & Gwen L	1856 Pamela Ln	922 Junipero Way	Salinas CA 93901	1.000	\$17.64
224-483-12-00	Keohane Ramona R	1860 Pamela Ln	344 E Grand Ave	Escondido CA 92025	1.000	\$17.64
224-483-13-00	Aslinia Soheil S	1864 Pamela Ln	1864 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-483-14-00	Fieldman Brian R	1868 Pamela Ln	1865 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-484-01-00	Crosby June O Tr	1731 Emogene Pl	1731 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-02-00	Johnson Michael J & Angele	1741 Emogene Pl	1741 Emogene Pl	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-484-03-00	Torreblanca Theodore &	1751 Emogene Pl	1751 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-04-00	Montes Jose & Juana P	1761 Emogene Pl	1761 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-05-00	Pedrazzi Edward & Brenda	1771 Emogene Pl	1771 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-06-00	Costantino Barbara	1770 Emogene Pl	27464 Vista Del Toro Pl	Salinas CA 93908	1.000	\$17.64
224-484-07-00	Gierke Family Trust	1760 Emogene Pl	1760 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-08-00	Cucinotta Frank & Blanca	1750 Emogene Pl	1750 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-09-00	Bowe Lucille P Tr	1740 Emogene Pl	1740 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-10-00	Wingo Nancy L Living Trust	1730 Emogene Pl	1730 Emogene Pl	Escondido CA 92026	1.000	\$17.64
224-484-11-00	Wood James & Diane	1731 Judith Pl	1731 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-12-00	Starlin John W	1741 Judith Pl	1741 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-13-00	Armitage Living Trust	1751 Judith Pl	11445 Alps Way	Escondido CA 92026	1.000	\$17.64
224-484-14-00	Oftedal Cory Est Of	1761 Judith Pl	32203 Goldeneye Dr	Winchester CA	1.000	\$17.64
224-484-15-00	Morgan Tony & Martin	1771 Judith Pl	1771 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-16-00	Lotzgeselle Richard W &	1770 Judith Pl	1770 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-17-00	Whalen Marsha Revocable	1760 Judith Pl	1760 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-18-00	Herr Kathleen V Trust	1750 Judith Pl	1750 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-19-00	Vorachack May	1740 Judith Pl	1740 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-20-00	Jamilkowski Stephen &	1730 Judith Pl	1730 Judith Pl	Escondido CA 92026	1.000	\$17.64
224-484-21-00	Henthorn Robert P Jr &	1731 Sally Pl	P O Box 24665	West Palm Beach	1.000	\$17.64
224-484-22-00	Place Elizabeth M Trust	1741 Sally Pl	1741 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-23-00	Woodbury Lupe	1751 Sally Pl	1751 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-24-00	Chap Darin & Jennifer	1761 Sally Pl	1042 N El Camino Real #b206	Encinitas CA 92024	1.000	\$17.64
224-484-25-00	Hernandez Linda L	1771 Sally Pl	1771 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-26-00	Thin Peter N & Lisa C	1770 Sally Pl	1770 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-27-00	Coffman Stephen &	1760 Sally Pl	1760 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-28-00	Caustin Family Trust	1750 Sally Pl	1722 Daybreak Pl	Escondido CA 92027	1.000	\$17.64
224-484-29-00	Sanchez-franco Jaime &	1740 Sally Pl	1740 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-30-00	Cordero W Faye	1730 Sally Pl	1730 Sally Pl	Escondido CA 92026	1.000	\$17.64
224-484-31-00	Strakon Albert D & Helene	1842 Country Club Ln West	1842 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-484-32-00	Panis Jesse L & Christy D	1834 Country Club Ln West	1834 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-484-33-00	Foster Erdeane M Living	1826 Country Club Ln West	1826 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-484-34-00	Bowman Vincent A	1818 Country Club Ln West	1818 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-484-36-00	Fife Phillip D	1810 Country Club Ln West	1810 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-485-01-00	Diaz Daniel L	1858 Country Club Ln West	1858 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-485-02-00	Riggs Family 2001 Trust	1850 Country Club Ln West	147 W 7th Ave	Escondido CA 92025	1.000	\$17.64
224-485-03-00	Drake Property Trust	1901 Ruby Rd	4569 Mission Gorge Pl #a	San Diego CA 92120	1.000	\$17.64
224-485-04-00	Weichers Larry & Judy	1911 Ruby Rd	1911 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-485-05-00	Hernandez Aquilino &	1921 Ruby Rd	1921 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-485-06-00	Boniver Timothy R	1931 Ruby Rd	1931 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-485-07-00	Canning Richard & Sandra	1941 Ruby Rd	1941 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-485-08-00	Noland Bret	1951 Ruby Rd	1951 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-485-09-00	Drowns David A & Shiree L	1961 Ruby Rd	1961 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-485-10-00	Burke Martin P & Maria J	1971 Ruby Rd	1971 Ruby Rd	Escondido CA 92026	1.000	\$17.64
224-490-05-00	Stuck In The Rough L L C	Gary Ln	P O Box 11480	Beverly Hills CA	6.355	\$112.10
224-490-06-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	1.000	\$17.64
224-491-01-00	Stuck In The Rough L L C	Country Club Dr	P O Box 11480	Beverly Hills CA	3.558	\$62.76
224-510-02-00	Vargas Azucena G D	1862# Fairway Park	1862 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-03-00	Wood Ivan E & Patricia R	1862# Fairway Park	1862 Fairway Park #a	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-510-04-00	Drake Carolyn Trust	1866# Fairway Park	1866 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-05-00	Lagrange Luis E &	1866# Fairway Park	1866 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-06-00	Hodgson-giddings Michelle	1870# Fairway Park	1870 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-07-00	Woolery Charles S & Mie	1870# Fairway Park	1870 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-08-00	Leuthe Alvin W & Kinuyo	1874# Fairway Park	1874 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-09-00	Wann Ryan D	1874# Fairway Park	7843 Hummingbird Ln	San Diego CA 92123	1.000	\$17.64
224-510-10-00	Boyd Hannah B	1876# Fairway Park	1876 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-11-00	Schwarz Andrew J &	1876# Fairway Park	2618 Whitworth Ct S	Renton WA 98055	1.000	\$17.64
224-510-12-00	Jackson Robert A Revocable	1880# Fairway Park	1880 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-13-00	Foulke Revocable Living	1880# Fairway Park	1880 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-14-00	Young Linda B	1884# Fairway Park	1884 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-15-00	Bailey Joshua	1884# Fairway Park	1884 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-16-00	Zinna Clarissa M	1886# Fairway Park	1886 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-17-00	Nutt Family Trust 11-17-05	1886# Fairway Park	850 Sterling Dr	Choctaw OK 73020	1.000	\$17.64
224-510-18-00	Jenkins Judith A	1890# Fairway Park	1890 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-19-00	Kiihne Duane A & Diana K	1890# Fairway Park	503 Teal Trl	Greenville SC 29605	1.000	\$17.64
224-510-20-00	Hoit Maria R	1894# Fairway Park	1894 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-21-00	Tietjen Hugh M & Diane	1894# Fairway Park	P O Box 578	Rancho Santa Fe CA	1.000	\$17.64
224-510-22-00	Miller Teresa L Living	1898# Fairway Park	1898 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-23-00	Souders Adam B & Heather	1898# Fairway Park	951 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-510-24-00	Burke Susan E	1896# Fairway Park	23851 Formello	Laguna Hills CA	1.000	\$17.64
224-510-25-00	Glenn Carolyn M Revocable	1896# Fairway Park	1896 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-26-00	Curry Rosemary Revocable	1892# Fairway Park	1892 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-27-00	Rau Joshua & Shauna	1892# Fairway Park	31812 Oak Glen Rd	Valley Center CA	1.000	\$17.64
224-510-28-00	Sannella Family Trust	1888# Fairway Park	1888 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-29-00	Witt Kory B	1888# Fairway Park	1888 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-30-00	Brinkerhoff Howard	1878# Fairway Park	1878 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-31-00	Bennett Christopher R	1878# Fairway Park	1878 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-510-32-00	Davis Helen K Est Of	1872# Fairway Park	1872 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-33-00	Shane Holdings L L C	1872# Fairway Park	807 E Mission Rd	San Marcos CA	1.000	\$17.64
224-510-34-00	Toscano Maria Y	1868# Fairway Park	1868 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-35-00	Gronlund Family Trust	1868# Fairway Park	2058 Pleasant Heights Dr	Vista CA 92084	1.000	\$17.64
224-510-36-00	Owen Robin W	1864# Fairway Park	1864 Fairway Park #b	Escondido CA 92026	1.000	\$17.64
224-510-37-00	Hood Rosi I	1864# Fairway Park	1864 Fairway Park #a	Escondido CA 92026	1.000	\$17.64
224-520-01-00	Dao Nicole Phuong	2027 David Dr	2027 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-02-00	Munoz Daniel & Lee A	2019 David Dr	2019 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-03-00	Woodcook William G li &	2011 David Dr	3337 Tripoli Way	Oceanside CA 92056	1.000	\$17.64
224-520-04-00	Harvey Family Trust	2003 David Dr	2003 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-05-00	Mullenniex Michael D	1983 David Dr	1983 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-06-00	Schaefer Victoria L	1975 David Dr	1975 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-07-00	Rogers Mark N	1967 David Dr	1967 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-08-00	Swadley Revocable Trust	1959 David Dr	1959 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-09-00	Carter Mary L	1951 David Dr	1951 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-10-00	Nanie Llc	1943 David Dr	10251 Winecreek Ct	San Diego CA 92127	1.000	\$17.64
224-520-11-00	Johnsgard Larry S	1935 David Dr	1935 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-12-00	Warn Family Trust 12-09-91	1934 David Dr	1934 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-13-00	Olson Brian A & Joy S	1942 David Dr	1942 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-14-00	Daane Family Trust	1950 David Dr	1950 David Dr	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-520-15-00	Brownlee James E & Audra	1958 David Dr	1958 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-16-00	Nesbitt Jeffrey D & Kelly M	1966 David Dr	1966 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-17-00	Cote Timothy J	1974 David Dr	1974 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-18-00	Vegte Vande 1986 Trust	1982 David Dr	2585 Reed Rd	Escondido CA 92027	1.000	\$17.64
224-520-19-00	Jones Michael S	2002 David Dr	2002 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-20-00	King Denise K	2010 David Dr	2010 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-21-00	Duquette Family Trust	2018 David Dr	18421 Hollowtree Ln	Riverside CA 92504	1.000	\$17.64
224-520-22-00	Madok Theresa L	2026 David Dr	12468 Grainwood Way	San Diego CA 92131	1.000	\$17.64
224-520-24-00	Bareno Graywyn M	1927 David Dr	1927 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-25-00	Holm Charles B & Joan K	1919 David Dr	1919 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-26-00	Gaster Mary C Trust	1909 David Dr	1909 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-27-00	Hodges Family Trust	1905 David Dr	1905 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-28-00	Nelson Kurt E Living Trust	1901 David Dr	1463 N Rancho Santa Maria	Chino Valley AZ	1.000	\$17.64
224-520-29-00	Reynolds John D Jr	1863 David Dr	1863 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-30-00	Walker Lesley A	1853 David Dr	1853 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-31-00	Croghan Jean T Trust	1843 David Dr	2021 Nw Mountain View Rd	Silverdale WA 98383	1.000	\$17.64
224-520-32-00	Brezic 1993 Revocable	1833 David Dr	1833 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-33-00	Miller Family Trust	1823 David Dr	1823 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-34-00	Karno Dane & Natalie	1813 David Dr	1813 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-35-00	Maehler Christian L &	1803 David Dr	1803 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-36-00	Corich Family Trust	1804 David Dr	1337 Oak View Way	Escondido CA 92029	1.000	\$17.64
224-520-37-00	Nicklin Family Trust	1814 David Dr	1814 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-38-00	Reeves Tommy A & Alicia	1824 David Dr	1824 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-39-00	Bhb Revocable Survivors	1834 David Dr	1834 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-40-00	Hansen N F Trust 04-25-08	1844 David Dr	1844 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-41-00	Fuentes Ruperto O	1902 David Dr	1902 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-42-00	Shea Family Trust	1910 David Dr	8935 Hillrose St	Sunland CA 91040	1.000	\$17.64
224-520-43-00	M L Y N N M Trust	1918 David Dr	1918 David Dr	Escondido CA 92026	1.000	\$17.64
224-520-44-00	Terrell Steven J	1926 David Dr	1926 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-01-00	Smeyres Michael W &	1626 David Dr	1626 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-02-00	Alwinson Victoria M	1618 David Dr	1618 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-03-00	Daniel John J & Kristine L	1610 David Dr	1610 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-04-00	Lam Bin Wai & Shek Eva	1602 David Dr	1602 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-05-00	Coger Mark L & Paulina G	1572 David Dr	1572 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-06-00	Vest Gary D Revocable	1562 David Dr	1562 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-08-00	Banta Arnold O &	1540 David Dr	1540 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-09-00	Baker Jay B & Lee S 1986	1530 David Dr	1530 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-10-00	Halderman Samuel M &	1520 David Dr	P O Box 714	Escondido CA 92033	1.000	\$17.64
224-550-11-00	Fawley Robert W & Carol A	1521 David Dr	1521 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-12-00	Delarentis Nancy L	1531 David Dr	1531 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-13-00	Kosoff Family Trust	1541 David Dr	1541 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-14-00	Aly Hussein & Jamal	1551 David Dr	1551 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-15-00	Vanderpol Marinus & Lois	1561 David Dr	1561 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-16-00	Lopez Family Trust	1571 David Dr	1571 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-17-00	Sheeders Richard C & Irene	1601 David Dr	1601 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-18-00	Day Edwin C & Betty J	1609 David Dr	1609 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-19-00	Flood Richard	1617 David Dr	1617 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-20-00	Lindblade Family 1990	1625 David Dr	3448 S Cochran Ave	Los Angeles CA	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-550-21-00	Parker Family Trust	1633 David Dr	1633 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-22-00	Johnson Alan K	1643 David Dr	1643 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-23-00	Paine Thomas R	1962 Gary Ln	1159 E 5th Ave	Escondido CA 92025	1.000	\$17.64
224-550-24-00	Crews Kenneth B & Erlene	1952 Gary Ln	1952 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-550-25-00	Nguyen Doan & Dao Quynh	1953 Gary Ln	1953 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-550-26-00	Pauley Clyde E & Lena M	1963 Gary Ln	1963 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-550-27-00	Mainwaring Laurel T	1721 David Dr	733 W Mariposa Ave	El Segundo CA	1.000	\$17.64
224-550-28-00	Vest Gary D Revocable	1731 David Dr	1731 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-29-00	Villa Kathleen	1741 David Dr	1741 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-30-00	Berke Joseph J Jr Living	1751 David Dr	1751 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-31-00	Holmes Lawrence E Trust	1761 David Dr	605 Sweeney St	Dayton OR 97114	1.000	\$17.64
224-550-32-00	Markel Family Revocable	1771 David Dr	1771 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-33-00	Waid Stephen C & Laurie A	1772 David Dr	1772 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-34-00	Whitney Carol A Trust	1762 David Dr	1762 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-35-00	Rastle Marsha H	1752 David Dr	1752 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-36-00	Lanning Linda K	1742 David Dr	1742 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-37-00	Warila Gilbert & Joann	1732 David Dr	1732 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-38-00	Walsh Drena	1720 David Dr	1720 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-40-00	Johnston Gary F	1642 David Dr	1642 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-41-00	Foucar Family Trust	1634 David Dr	1634 David Dr	Escondido CA 92026	1.000	\$17.64
224-550-42-00	Martin James L Jr Trust	1730 Country Club Ln West	1730 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-43-00	Slaughter Carol D	1720 Country Club Ln West	1720 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-44-00	Carter Danis E & Karen S	1710 Country Club Ln West	1710 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-45-00	Irwin Bruce H & Louise H	1702 Country Club Ln West	1702 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-46-00	Guziar Philip J & Beverly J	1662 Country Club Ln West	1662 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-47-00	Ahler 1991 Family Trust	1642 Country Club Ln West	1926 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-550-54-00	Dufek David M	1562 Country Club Ln West	1562 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-55-00	Adcock Family Trust	1558 Country Club Ln West	1558 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-56-00	Maglalang Frederick &	1554 Country Club Ln West	1554 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-57-00	Becker Michael J &	1550 Country Club Ln West	1550 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-58-00	Ricketts Ronald G	1622 Country Club Ln West	1622 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-59-00	Westwood Family Trust	1602 Country Club Ln West	2258 6th Ave	San Diego CA 92101	1.000	\$17.64
224-550-60-00	Vaughn Thomas J & Gloria	1578 Country Club Ln West	1578 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-63-00	Hall Family 1997 Trust	1566 Country Club Ln West	1566 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-550-64-00	Kamali Taha Family Trust	1570 Country Club Ln West	2234 Bahia Dr	La Jolla CA 92037	1.000	\$17.64
224-550-66-00	Kasparov Ernest &	1574 Country Club Ln West	1574 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-570-01-00	Icuss Joshua	2083 Nutmeg St North	2083 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-570-02-00	Cesar William & Kuk	2079 Nutmeg St North	1861 Lendee Dr	Escondido CA 92025	1.000	\$17.64
224-570-03-00	Querencia Trust 01-03-08	2075 Nutmeg St North	2075 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-570-04-00	Hogan Nicholas L &	2071 Nutmeg St North	2071 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-570-05-00	Heiland Family Trust	2067 Nutmeg St North	10382 Vista Montanoso	Escondido CA 92026	1.000	\$17.64
224-570-06-00	Olson Roger & Lisa	2063 Nutmeg St North	2063 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-570-07-00	Stock Shirley A Family	2059 Nutmeg St North	1942 Pheasant Pl	Escondido CA 92026	1.000	\$17.64
224-570-08-00	Urvek Peri N	2055 Nutmeg St North	P O Box 8991	Rancho Santa Fe CA	1.000	\$17.64
224-570-09-00	Ryals Family Trust	2056 La Habra St	2056 La Habra St	Escondido CA 92026	1.000	\$17.64
224-570-10-00	Wood Rebecca S Trust	2060 La Habra St	2060 La Habra St	Escondido CA 92026	1.000	\$17.64
224-570-11-00	Murtagh Family Trust	2064 La Habra St	309 Camino Bailen	Escondido CA 92029	1.000	\$17.64
224-570-12-00	S F I C Inc	2070 La Habra St	P O Box 1386	Escondido CA 92033	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-570-13-00	Duarte Family Trust	2074 La Habra St	2074 La Habra St	Escondido CA 92026	1.000	\$17.64
224-570-14-00	Whitehead Family Trust	2080 La Habra St	2080 La Habra St	Escondido CA 92026	1.000	\$17.64
224-570-15-00	Patterson Charles	1110 La Mirada Ave	1110 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-16-00	Thomas David	1120 La Mirada Ave	1120 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-17-00	Sommer Charles & Frances	1130 La Mirada Ave	1130 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-18-00	Case Peter S Separate	1140 La Mirada Ave	1140 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-19-00	Roff Randal M & Crystal M	1150 La Mirada Ave	1525 Avenida La Posta	Encinitas CA 92024	1.000	\$17.64
224-570-20-00	Crowe Family Trust	1210 La Mirada Ave	1210 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-21-00	Blair Robert E & Patsy R	1220 La Mirada Ave	1220 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-22-00	Hale 2002 Family Trust	1230 La Mirada Ave	1230 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-23-00	Dunbar Jimmy A & Rhonda	1240 La Mirada Ave	1240 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-24-00	Azevedo Family Trust	1250 La Mirada Ave	1250 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-25-00	Quintanar Joe P & Poel	1261 La Mirada Ave	1261 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-26-00	Batza Family Trust	1251 La Mirada Ave	1251 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-27-00	Mayfield Family Trust	1241 La Mirada Ave	1241 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-28-00	Zippel Family Trust	1231 La Mirada Ave	1231 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-29-00	Mcfayden Denise B	1221 La Mirada Ave	1221 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-30-00	Bujosevic Dragoljub &	1211 La Mirada Ave	1211 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-31-00	Stropp Family Bypass Trust	1201 La Mirada Ave	1201 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-32-00	Tebbs Eric B & Louise D	1151 La Mirada Ave	1151 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-33-00	Jenner William H & Roberta	1141 La Mirada Ave	1141 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-34-00	Karzen Jan Trust 12-03-13	1131 La Mirada Ave	1131 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-35-00	Meredith Gordon W &	1121 La Mirada Ave	1121 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-570-36-00	Burriss Revocable Trust	1120 Portola Ave	1301 Twain Ct	San Marcos CA	1.000	\$17.64
224-570-37-00	Everitt Jay J & Dawn L	1130 Portola Ave	1130 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-38-00	Putnam Family Trust	1140 Portola Ave	1140 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-39-00	Peitzcker Patricia A Trust	1150 Portola Ave	1150 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-40-00	Page Terrence & Tamra	1210 Portola Ave	1210 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-41-00	Whiting Theodore A & Irene	1220 Portola Ave	224 Pomona Ave	El Cerrito CA 94530	1.000	\$17.64
224-570-42-00	Gibson Kay D Revocable	1230 Portola Ave	1230 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-43-00	Hunter Patricia A Trust	1240 Portola Ave	1240 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-44-00	Moore Kenneth I	1250 Portola Ave	1250 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-45-00	Sargent Alan H & Teresa M	1310 Portola Ave	P O Box 1386	Escondido CA 92033	1.000	\$17.64
224-570-46-00	Adams Bobby W & Thedra	1251 Portola Ave	1251 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-47-00	Alvarado Whitney	1241 Portola Ave	1241 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-48-00	Le Tam Thi	1151 Portola Ave	1151 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-570-49-00	Lopez Blanca T Living	1141 Portola Ave	11547 S Renee Ave	Yuma AZ 85367	1.000	\$17.64
224-570-50-00	Racciato Joseph S & Terry	1131 Portola Ave	2629 Obelisco Pl	Carlsbad CA 92009	1.000	\$17.64
224-570-51-00	Simmons Victor W Jr &	1121 Portola Ave	542 La Sombra Dr	El Cajon CA 92020	1.000	\$17.64
224-580-01-00	Millons Family Revocable	1310 La Mirada Ave	1310 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-580-02-00	Rugg 2013 Trust 02-22-13	1320 La Mirada Ave	17629 Adena Ln	San Diego CA 92128	1.000	\$17.64
224-580-03-00	Winn Family Trust 10-19-94	1330 La Mirada Ave	1330 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-580-04-00	Robertson Virginia G Family	1340 La Mirada Ave	1340 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-580-05-00	Hervert Charles E & Julie A	1350 La Mirada Way	1350 La Mirada Way	Escondido CA 92026	1.000	\$17.64
224-580-06-00	Linderman Duane L &	1360 La Mirada Way	1360 La Mirada Way	Escondido CA 92026	1.000	\$17.64
224-580-07-00	Eyres Patricia A Tr	1370 La Mirada Way	1370 La Mirada Way	Escondido CA 92026	1.000	\$17.64
224-580-08-00	Monson Brian K & Luisa D	1360 Portola Ave	1360 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-09-00	Foster Diane L Trust	1370 Portola Ave	1370 Portola Ave	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-580-10-00	Hasfurther Kimberly E	1380 Portola Ave	1380 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-11-00	Derksen Scott A & Michelle	1390 Portola Ave	1390 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-12-00	Basanes William A & Gloria	1975 La Brea St	1422 Woodhaven Dr	Oceanside CA 92056	1.000	\$17.64
224-580-13-00	Robb Allan F Trust	1381 Portola Ave	P O Box 230102	Encinitas CA 92023	1.000	\$17.64
224-580-14-00	Micclain James E Jr	1371 Portola Ave	1371 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-15-00	Kay 2015 Trust 05-12-15	1361 Portola Ave	1822 Rockhoff Rd	Escondido CA 92026	1.000	\$17.64
224-580-16-00	Phelps Living Trust	1351 Portola Ave	1351 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-17-00	Copher Family Trust	1341 Portola Ave	1341 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-18-00	Peacock Family 2002 Trust	1331 Portola Ave	8615 Mesa Oak Dr	Riverside CA 92508	1.000	\$17.64
224-580-19-00	Holladay Mary G Family	1321 Portola Ave	1321 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-22-00	Freund Family Trust	1320 Portola Ave	1320 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-23-00	Cone Bertha A Living Trust	1330 Portola Ave	1330 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-24-00	Middleton Maureen P Trust	1341 La Mirada Way	1341 La Mirada Way	Escondido CA 92026	1.000	\$17.64
224-580-25-00	Layte Family Trust	1331 La Mirada Way	1331 La Mirada Way	Escondido CA 92026	1.000	\$17.64
224-580-26-00	Hankins Christopher A	1321 La Mirada Way	810 Hydric Ct #101	Odenton MD 21113	1.000	\$17.64
224-580-27-00	Orin Adam E & Zaira B	1311 La Mirada Ave	1311 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-580-28-00	Peterson Corinne K	1301 La Mirada Ave	1301 La Mirada Ave	Escondido CA 92026	1.000	\$17.64
224-580-29-00	Lawrence Kelley & Andrew	1311 Portola Ave	1311 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-580-30-00	Moreno Carlos G & Gloria E	1301 Portola Ave	1301 Portola Ave	Escondido CA 92026	1.000	\$17.64
224-590-01-00	Cambis Bypass Trust	2060 Nutmeg St North	2110 Sleepy Hollow Rd	Escondido CA 92026	1.000	\$17.64
224-590-02-00	Brenkus Charles A & Cheryl	2050 Nutmeg St North	31120 Corte Arroyo Vista	Temecula CA 92592	1.000	\$17.64
224-590-03-00	Garcia Darryl J & Barbara L	1082 Memory Ln	1082 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-04-00	Schwend Carolyn Tr	1074 Memory Ln	2037 La Brea St	Escondido CA 92026	1.000	\$17.64
224-590-05-00	Taliaferro Edith A Est Of	1066 Memory Ln	1066 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-06-00	Rousseau Family Trust	1058 Memory Ln	1058 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-07-00	Grove Family Trust	1050 Memory Ln	1050 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-08-00	Leichtfuss Peter D &	1042 Memory Ln	1042 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-09-00	Kuster William E Trust	1034 Memory Ln	1034 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-10-00	Coleman Cristina	1026 Memory Ln	1026 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-11-00	Vogt Glen W & Joan M	1018 Memory Ln	1018 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-12-00	Coleman Zenas Y Iii &	1041 Memory Ln	P O Box 428	Escondido CA 92033	1.000	\$17.64
224-590-13-00	Giedeman Victoria	1061 Memory Ln	1061 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-14-00	Roussel Yvonne M Trust	1075 Memory Ln	1075 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-15-00	Donway	1095 Memory Ln	P O Box 2629	La Jolla CA 92038	1.000	\$17.64
224-590-21-00	Aday Ronald R & Christine	1011 Memory Ln	1011 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-590-22-00	Mckinney Roger A	1021 Memory Ln	1021 Memory Ln	Escondido CA 92026	1.000	\$17.64
224-680-01-00	Byrnes Elizabeth	2005 Gary Ln	2005 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-02-00	Clendenin Rhonda F Trust	2009 Gary Ln	2009 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-03-00	Ramos Modesto	2017 Camino Dr	2017 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-04-00	Keizer David T & Lorraine	2021 Camino Dr	2021 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-05-00	Wong Ashley S	2025 Camino Dr	2025 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-06-00	Ehlert Melvyn Trust	2029 Camino Dr	2029 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-07-00	Ess Realty Ii	2033 Camino Dr	P O Box 1386	Escondido CA 92033	1.000	\$17.64
224-680-08-00	Walker Joan K Trust	2037 Camino Dr	2037 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-09-00	Fox Michael G	2034 Camino Dr	2034 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-10-00	Delaney Trust 08-22-07	2030 Camino Dr	2030 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-11-00	Crouch James R	2026 Camino Dr	2026 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-12-00	Spear Andrew E & Cynthia	2022 Camino Dr	2022 Camino Dr	Escondido CA 92026	1.000	\$17.64

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Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-680-13-00	Oquist Samuel A & Patricia	2016 Camino Dr	2016 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-680-14-00	Duran John J Separate	2027 Fuerte Ln	3148 Ogalala Ave	San Diego CA 92117	1.000	\$17.64
224-680-15-00	Birge David H	2031 Fuerte Ln	2031 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-680-16-00	Lake Michael A & Candice	2035 Fuerte Ln	2035 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-680-17-00	Beasley A Davis & Cherylyn	2032 Fuerte Ln	P O Box 506705	San Diego CA 92150	1.000	\$17.64
224-680-18-00	Yari Bijan Trust 04-19-02	2024 Fuerte Ln	2024 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-680-19-00	Smith Sylvester John &	1640 Gary Ln	1640 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-20-00	Roscia Isabelle Tr	1630 Gary Ln	1630 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-21-00	Guerrero Daniel A &	1620 Gary Ln	1620 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-22-00	Vento George P & Mary L	1550 Gary Ln	1550 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-23-00	Thomas Jeffrey S & Amy	1540 Gary Ln	1540 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-24-00	Lucero Jason M	1541 Gary Ln	1541 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-25-00	Hannigan Marie	1551 Gary Ln	1448 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-680-26-00	Desrochers David &	1621 Gary Ln	1621 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-27-00	Shelton Duane L & Melita F	1631 Gary Ln	1631 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-28-00	Munoz Daniel & Lee A	1641 Gary Ln	1641 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-29-00	Newlin Ronald A & Mary H	2020 Gary Ln	2020 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-30-00	Frey J B & C L Family	2016 Gary Ln	2016 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-31-00	Harvey Shannon	2012 Gary Ln	2012 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-32-00	Denouden Family Trust	2008 Gary Ln	2008 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-33-00	Trumbo Trust 08-17-95	2004 Gary Ln	2004 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-680-37-00	Mullen Meredith A	2060 Vera Ln	1010 Hawaii Pl	Escondido CA 92026	1.000	\$17.64
224-680-38-00	Koefler Arlene H P Tr	2056 Vera Ln	710 Thornby Rd	Wilmington DE	1.000	\$17.64
224-680-39-00	Taylor Dewayne & Ria	2052 Vera Ln	2052 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-40-00	Sannicolas Jeremy & Kristi	2048 Vera Ln	2048 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-41-00	Barrios Michele M Family	2044 Vera Ln	2044 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-42-00	Chavez Linda A Trust	2040 Vera Ln	2040 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-43-00	Lusky Betty L Tr	2036 Vera Ln	2036 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-44-00	Hewitt Joanne L Trust	2032 Vera Ln	2032 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-49-00	Pollard D Jeff	2045 Vera Ln	2045 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-50-00	Ludwig John R & Gail A	2049 Vera Ln	2049 Vera Ln	Escondido CA 92026	1.000	\$17.64
224-680-51-00	Austin Henry G Tr & Austin	2053 Vera Ln	26439 Crescendo Dr	Escondido CA 92026	1.000	\$17.64
224-680-52-00	Marshall Muriel L Tr (dcsd)	Vera Ln	17586 Cumana Ter	San Diego CA 92128		
224-681-01-00	Rehkopf Shirley L	1531 Gary Ln	5015 Santa Cruz Ave #207	San Diego CA 92107	1.000	\$17.64
224-681-02-00	Parker Trust 02-09-87	1475 Calle Redonda Ln	1475 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-03-00	Notter Trust 03-19-01	1471 Calle Redonda Ln	1471 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-04-00	Moore James J & Daleen M	1469 Calle Redonda Ln	1469 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-05-00	Villalpando Phyllis N	1463 Calle Redonda Ln	1463 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-06-00	Sanchez Bonnie M	1457 Calle Redonda Ln	1457 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-07-00	Coye David H Jr & Tanya Y	1453 Calle Redonda Ln	1453 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-08-00	Seymour Family Trust	1449 Calle Redonda Ln	P O Box 1565	Escondido CA 92033	1.000	\$17.64
224-681-09-00	Stemler-sano-gray Trust	1443 Calle Redonda Ln	1315 Ridge Rd		1.000	\$17.64
224-681-10-00	Wild Marilyn E Trust	1437 Calle Redonda Ln	1437 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-11-00	Moyer Jonathan P &	1431 Calle Redonda Ln	1431 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-12-00	Colton Alan F & Patricia F	1425 Calle Redonda Ln	1425 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-13-00	Ausonio Matthew & Marcie	1421 Calle Redonda Ln	1421 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-14-00	Marsh Shelley	1417 Calle Redonda Ln	1417 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-15-00	Gibson Maria Trust	1413 Calle Redonda Ln	920 Santa Queta	Solana Beach CA	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-681-16-00	Filipovitch Theodora	1409 Calle Redonda Ln	3252 Celinda Dr	Carlsbad CA 92008	1.000	\$17.64
224-681-17-00	Southwell William P Tr	1405 Calle Redonda Ln	1405 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-18-00	Allen Daniel T	1401 Calle Redonda Ln	1401 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-19-00	Miglin Frank G & Marolyn A	1412 Calle Redonda Ln	1412 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-20-00	Petter Christina	1418 Calle Redonda Ln	P O Box 2486	Valley Center CA	1.000	\$17.64
224-681-21-00	Bandy 2011 Trust 08-15-11	1424 Calle Redonda Ln	1424 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-22-00	Baker Todd & Kathryn	1430 Calle Redonda Ln	1430 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-23-00	Lorenzo Yousef & Stela N	1436 Calle Redonda Ln	1050 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-681-24-00	Hunt Family Trust 01-02-02	1442 Calle Redonda Ln	P O Box 111	Escondido CA 92033	1.000	\$17.64
224-681-25-00	Shilling Deana D	1448 Calle Redonda Ln	1448 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-26-00	Alva Bernardo & Lidia M	1464 Calle Redonda Ln	1464 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-27-00	Johnston Todd W & Cynthia	1470 Calle Redonda Ln	1470 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-28-00	Herkert Rick & Mary Family	1476 Calle Redonda Ln	1476 Calle Redonda Ln	Escondido CA 92026	1.000	\$17.64
224-681-29-00	Godfrey Family Trust	1447 Gary Ln	1447 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-30-00	Berlinguette Jonathan T &	1441 Gary Ln	1441 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-31-00	Laurence Matthew M	1433 Gary Ln	1433 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-32-00	Butkis James F	1427 Gary Ln	1427 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-33-00	Nguyen-yee Theresa	1421 Gary Ln	1421 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-34-00	Tirado Francisco & Linda M	1360 Gary Ln	1360 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-35-00	Blench Christopher C	1366 Gary Ln	1366 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-36-00	Premetz David & Jalie A	1410 Gary Ln	1410 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-37-00	Kogan Hanna Irrevocable	1416 Gary Ln	1416 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-38-00	Cesar William & Kuk	1422 Gary Ln	1861 Lendee Dr	Escondido CA 92025	1.000	\$17.64
224-681-39-00	Briceno Joann M	1428 Gary Ln	1428 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-40-00	Nelson James T & Diane T	1434 Gary Ln	1434 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-41-00	Renes Nancy	1440 Gary Ln	1440 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-42-00	Parks Kimberly S	1446 Gary Ln	1446 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-43-00	Ken W Maculan Family Ltd	1452 Gary Ln	858 Huckleberry Ln	Escondido CA 92025	1.000	\$17.64
224-681-44-00	Hall Family Trust 08-27-07	1458 Gary Ln	1458 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-45-00	Lawrence Julie J	1464 Gary Ln	1464 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-681-46-00	Do Family Trust 09-01-15	1530 Gary Ln	1530 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-690-01-00	Mccooy Owen R & Patricia	1917 Cortez Ave	1727 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-690-02-00	Steinke Family Trust	1913 Cortez Ave	9757 Caminito Joven	San Diego CA 92131	1.000	\$17.64
224-690-03-00	Korenic Debra	1909 Cortez Ave	1909 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-04-00	Veigel Donna J	1905 Cortez Ave	1905 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-05-00	Kneisl Cynthia	1901 Cortez Ave	55 Pine St	Saint Paul MN	1.000	\$17.64
224-690-06-00	Kennedy Peter	1889 Cortez Ave	1889 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-07-00	Fieldman Brian	1885 Cortez Ave	1865 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-08-00	Ferrell Betty A Tr	1881 Cortez Ave	2033 Gem Lake	Escondido CA 92026	1.000	\$17.64
224-690-09-00	Clauson Jane M 2009 Trust	1877 Cortez Ave	1877 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-10-00	Dejong Daniel K & Kate M	1873 Cortez Ave	1873 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-11-00	Tattitch Elmer A Revocable	1869 Cortez Ave	1869 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-12-00	Fieldman Brian R	1865 Cortez Ave	1865 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-13-00	Wolcott Raymond O Jr	1861 Cortez Ave	1861 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-16-00	Maebert Daralyn K	1849 Cortez Ave	1849 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-17-00	Ross Patrick V & Dorothy V	1845 Cortez Ave	1845 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-18-00	Strauss Delilah M	1841 Cortez Ave	1841 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-19-00	Takagi Dwight C & Nichol	1837 Cortez Ave	1837 Cortez Ave	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-690-20-00	Fry John H & Mary T	1833 Cortez Ave	1833 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-21-00	Speck Family Trust	1829 Cortez Ave	1829 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-22-00	Harding William P & Dawn	1825 Cortez Ave	5419 Vista Trl	San Antonio TX	1.000	\$17.64
224-690-23-00	Bashore Blake W & Laura	1821 Cortez Ave	1821 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-24-00	Garcia Ruby	1817 Cortez Ave	1817 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-25-00	Drohan Paul B & Shannon	1813 Cortez Ave	1813 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-26-00	Donovan Richard C & Mary	1809 Cortez Ave	1809 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-27-00	Hoyt James V & Mary J	1805 Cortez Ave	1805 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-28-00	Mccarthy Czahara Trust	1801 Cortez Ave	1801 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-29-00	Weston-lane Kimberlee C	1806 Cortez Ave	1806 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-30-00	Mceachran Timothy &	1810 Cortez Ave	1810 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-31-00	Suchy John & Sherri	1814 Cortez Ave	1814 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-32-00	Basehore Marc S & Allison	1818 Cortez Ave	1818 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-33-00	Melton Family Trust	1822 Cortez Ave	44680 Lorraine Dr	Temecula CA 92592	1.000	\$17.64
224-690-34-00	Gribovski Mito C Revocable	1826 Cortez Ave	1826 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-35-00	Ilic Jovanka Revocable	1832 Cortez Ave	1832 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-36-00	Duffey Paige <aka Harford	1836 Cortez Ave	1836 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-37-00	Hauser Martin C Trust	1840 Cortez Ave	1840 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-38-00	Sims Ryan M	1860 Cortez Ave	1860 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-39-00	Dejong Daniel K & Kate M	1868 Cortez Ave	1873 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-40-00	Reed Maurice W & Dorothy	1872 Cortez Ave	1872 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-41-00	Sable Keith A & Susan L	1876 Cortez Ave	1876 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-42-00	Fourtap Family Trust	1880 Cortez Ave	12236 Sunset Park Way	Los Angeles CA	1.000	\$17.64
224-690-43-00	Stokely Melvin R & Mary C	1884 Cortez Ave	P O Box 460173	Escondido CA 92046	1.000	\$17.64
224-690-44-00	Haluza Jerome J & Mieko	1888 Cortez Ave	1888 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-45-00	Mills William & Willa	1447 San Carlos Pl	1447 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-46-00	Greig Russell D & Volkman	1433 San Carlos Pl	1433 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-47-00	Krone Marjorie E Tr	1425 San Carlos Pl	1425 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-48-00	Hardesty W H Iii Revocable	1417 San Carlos Pl	1417 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-49-00	Bhutto Sikander	1409 San Carlos Pl	1409 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-50-00	Gilbert Sharon L	1401 San Carlos Pl	1401 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-51-00	Stone Kevin P & Ivette	1404 San Carlos Pl	1404 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-52-00	Marineo Lucio & Bertha	1410 San Carlos Pl	5635 Bevis Ave	Van Nuys CA 91411	1.000	\$17.64
224-690-53-00	Breckenridge Property Fund	1416 San Carlos Pl	2015 Manhattan Beach Blvd	Redondo Beach CA	1.000	\$17.64
224-690-54-00	Matiash Ludmila	1422 San Carlos Pl	1422 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-55-00	Adams Joan L Trust	1428 San Carlos Pl	652 Windswept Pl	Simi Valley CA	1.000	\$17.64
224-690-56-00	Conrad Barbara C	1434 San Carlos Pl	1434 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-57-00	Bain Brian L & Nancy A	1440 San Carlos Pl	1440 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-58-00	Krulevich Luba	1446 San Carlos Pl	1446 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-59-00	Shourds Andrew J	1452 San Carlos Pl	1452 San Carlos Pl	Escondido CA 92026	1.000	\$17.64
224-690-60-00	French Robert & Shannon	1910 Cortez Ave	1910 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-61-00	Glassett Leanne	1914 Cortez Ave	1914 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-62-00	Overton Mark A	1918 Cortez Ave	1918 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-63-00	Marshall Family Trust	1922 Cortez Ave	1922 Cortez Ave	Escondido CA 92026	1.000	\$17.64
224-690-64-00	Mchose Living Trust	1940 La Brea St	1940 La Brea St	Escondido CA 92026	1.000	\$17.64
224-690-65-00	Stilson Revocable Living	1950 La Brea St	1950 La Brea St	Escondido CA 92026	1.000	\$17.64
224-690-67-00	Daugherty Kevin D &	1857 Cortez Ave	26870 St Andrews Ln	Valley Center CA	1.000	\$17.64
224-690-68-00	Collins Terence & Carol A	1853 Cortez Ave	1853 Cortez Ave	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-700-01-00	Anderson Family Trust	1382 Miraflores Gln	1382 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-02-00	Rizk Meriam M	1376 Miraflores Gln	1376 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-03-00	R & R Family Trust	1370 Miraflores Gln	1370 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-04-00	Glenning Nancy A Trust	1364 Miraflores Gln	1364 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-05-00	Detwiler John & Lisa	1358 Miraflores Gln	3980 Garfield St	Carlsbad CA 92008	1.000	\$17.64
224-700-06-00	Brekke Family 1993 Trust	1352 Miraflores Gln	1346 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-07-00	Brekke Family Trust	1346 Miraflores Gln	1346 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-08-00	Brooks Donald & Frances	1340 Miraflores Gln	1340 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-09-00	Jones-brogan 2011	1334 Miraflores Gln	P O Box 1277	La Canada Flintridge	1.000	\$17.64
224-700-10-00	Goss Deborah A	1328 Miraflores Gln	1328 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-11-00	Lieser Rita V Trust	1322 Miraflores Gln	1322 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-12-00	Henze Marilyn L Living	1316 Miraflores Gln	1316 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-13-00	Russell 2000 Family Trust	1308 Miraflores Gln	1308 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-14-00	Russell Nancy S Revocable	1302 Miraflores Gln	1308 Miraflores Gln	Escondido CA 92026	1.000	\$17.64
224-700-15-00	Porter Bernadette Trust	1244 La Paloma Gln	1244 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-16-00	Harding B Trust 10-19-88	1238 La Paloma Gln	2170 Via Mar Valle	Del Mar CA 92014	1.000	\$17.64
224-700-17-00	Crow California Lp	1232 La Paloma Gln	P O Box 460008	Escondido CA 92046	1.000	\$17.64
224-700-18-00	Schrodt Gerald E Tr	1226 La Paloma Gln	1226 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-19-00	Hartman Revocable Living	1220 La Paloma Gln	1220 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-20-00	Yerkes Family Trust	1214 La Paloma Gln	1214 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-21-00	Draper Robert L & Arlyne	1208 La Paloma Gln	17 Lost Meadow Trl	Austin TX 78738	1.000	\$17.64
224-700-22-00	Dawson Jerome W &	1202 La Paloma Gln	1202 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-23-00	Pastor Mary F Trust	1207 La Paloma Gln	1207 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-24-00	Deboer Family Trust	1213 La Paloma Gln	1213 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-25-00	Dos Gatos L L C	1221 La Paloma Gln	10215 Brian Ct	Whittier CA 90601	1.000	\$17.64
224-700-26-00	Reiter Maren M	1229 La Paloma Gln	1229 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-27-00	Sims Sandra P Family	1237 La Paloma Gln	413 Loma Vista St	El Segundo CA	1.000	\$17.64
224-700-28-00	Sims Sandra P Family	1245 La Paloma Gln	413 Loma Vista St	El Segundo CA	1.000	\$17.64
224-700-29-00	Mccaffrey 1989 Trust	1253 La Paloma Gln	1253 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-30-00	Lorenzo Yousef & Stela N	1261 La Paloma Gln	1050 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-700-31-00	Johnson Family Trust	1267 La Paloma Gln	1267 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-32-00	Mccoey Lola F Family 1990	1273 La Paloma Gln	P O Box 703	Valley Center CA	1.000	\$17.64
224-700-33-00	Weber Jeffery J	1280 La Paloma Gln	1280 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-34-00	Hollins Sidney E & Marion	1274 La Paloma Gln	1274 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-35-00	Sherriff Therese 1993 Trust	1268 La Paloma Gln	1268 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-36-00	Compton 1990 Trust	1262 La Paloma Gln	1262 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-37-00	Snelson Marianne	1256 La Paloma Gln	1256 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-38-00	Quisquis Robert A	1250 La Paloma Gln	1250 La Paloma Gln	Escondido CA 92026	1.000	\$17.64
224-700-39-00	Eichler William C & Joanne	2042 Bolsa Chica Gln	1933 Coltrane Pl	Escondido CA 92027	1.000	\$17.64
224-700-40-00	Ingram Diana R	2034 Bolsa Chica Gln	2034 Bolsa Chica Gln	Escondido CA 92026	1.000	\$17.64
224-700-41-00	Brogan & Jones Living	2026 Bolsa Chica Gln	P O Box 1277	La Canada Flintridge	1.000	\$17.64
224-700-42-00	Vansolkema Barbara A	2018 Bolsa Chica Gln	2018 Bolsa Chica Gln	Escondido CA 92026	1.000	\$17.64
224-700-43-00	Wahrman Wayne P Tr &	2010 Bolsa Chica Gln	23407 Palm Dr	Calabasas CA 91302	1.000	\$17.64
224-700-44-00	Weamer David G Family	2002 Bolsa Chica Gln	2002 Bolsa Chica Gln	Escondido CA 92026	1.000	\$17.64
224-700-45-00	Brogan & Jones Living	2005 Bolsa Chica Gln	P O Box 1277	La Canada Flintridge	1.000	\$17.64
224-700-46-00	Huett Catherine A Trust	2013 Bolsa Chica Gln	2013 Bolsa Chica Gln	Escondido CA 92026	1.000	\$17.64
224-700-47-00	Brogan & Jones Living	2021 Bolsa Chica Gln	P O Box 1277	La Canada Flintridge	1.000	\$17.64
224-700-48-00	Andrews Michael & Laura	2029 Bolsa Chica Gln	1815 Firestone Dr	Escondido CA 92026	1.000	\$17.64

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224-700-49-00	Jones-brogan 2011	2037 Bolsa Chica Gln	P O Box 1277	La Canada Flintridge	1.000	\$17.64
224-700-50-00	Falck Family Trust	2045 Bolsa Chica Gln	2045 Bolsa Chica Gln	Escondido CA 92026	1.000	\$17.64
224-700-51-00	Jones-brogan 2011	2034 Santa Ysabel Gln	P O Box 1277	La Canada Flintridge	1.000	\$17.64
224-700-52-00	York Suzanne	2026 Santa Ysabel Gln	2026 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-53-00	Sampson Richard C &	2018 Santa Ysabel Gln	2018 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-54-00	Stein Michael P &	2010 Santa Ysabel Gln	2010 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-55-00	Mccarty 1994 Family Trust	2021 Santa Ysabel Gln	2021 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-56-00	Miller Marilyn	2029 Santa Ysabel Gln	2029 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-57-00	Edgecombe Percy W	2037 Santa Ysabel Gln	4111 Buck Board Ln	Dunkirk MD 20754	1.000	\$17.64
224-700-58-00	Prado Alfredo O	2045 Santa Ysabel Gln	2045 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-59-00	Landis William H & Shirley	2050 Santa Ysabel Gln	2050 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-60-00	Wright Adam &	2042 Santa Ysabel Gln	2042 Santa Ysabel Gln	Escondido CA 92026	1.000	\$17.64
224-700-61-00	Gardner Dorothy J 1998	1157 Miramonte Gln	1157 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-62-00	Vasquez Ralph O Tr	1149 Miramonte Gln	P O Box 793	Escondido CA 92033	1.000	\$17.64
224-700-63-00	Stewart Nancy Living Trust	1141 Miramonte Gln	1141 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-64-00	Speckhahn Marcus M &	1133 Miramonte Gln	1133 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-65-00	Defino Trust 02-03-98	1125 Miramonte Gln	1125 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-66-00	Guzman Jose V & Josefina	1117 Miramonte Gln	30850 De Portola Rd	Temecula CA 92592	1.000	\$17.64
224-700-67-00	Johnston Gary F	1109 Miramonte Gln	1725 S Escondido Blvd #a	Escondido CA 92025	1.000	\$17.64
224-700-68-00	Lepere Jeffrey & Constance	1101 Miramonte Gln	1101 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-69-00	Brock Leroy K	1118 Miramonte Gln	1118 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-70-00	Carmichael Family	1126 Miramonte Gln	1126 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-71-00	Faraj Omar	1134 Miramonte Gln	1134 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-72-00	Strong James T & Lenore J	1142 Miramonte Gln	1142 Miramonte Gln	Escondido CA 92026	1.000	\$17.64
224-700-73-00	Vasquez Ralph O Revocable	1135 Hermosillo Gln	P O Box 793	Escondido CA 92033	1.000	\$17.64
224-700-74-00	Tuttle-cyr Family Trust	1127 Hermosillo Gln	1127 Hermosillo Gln	Escondido CA 92026	1.000	\$17.64
224-700-75-00	Kubli Nina J Living Trust	1119 Hermosillo Gln	1615 Mesa Verde Dr	Vista CA 92084	1.000	\$17.64
224-700-76-00	Burger Living Trust	1111 Hermosillo Gln	24 Merriewold Ln S	Monroe NY 10950	1.000	\$17.64
224-700-77-00	Polak Adam J & Mary B	1110 Hermosillo Gln	155 Neptune Pl	Escondido CA 92026	1.000	\$17.64
224-700-78-00	Williams Family Trust	1118 Hermosillo Gln	1118 Hermosillo Gln	Escondido CA 92026	1.000	\$17.64
224-700-79-00	Phelps Family Trust	1126 Hermosillo Gln	1126 Hermosillo Gln	Escondido CA 92026	1.000	\$17.64
224-700-80-00	Chatelain Steven M &	1134 Hermosillo Gln	1134 Hermosillo Gln	Escondido CA 92026	1.000	\$17.64
224-700-81-00	Provins Elizabeth S Trust	1123 San Jacinto Gln	1123 San Jacinto Gln	Escondido CA 92026	1.000	\$17.64
224-700-82-00	Finster Estelle J 1998 Living	1115 San Jacinto Gln	1115 San Jacinto Gln	Escondido CA 92026	1.000	\$17.64
224-700-83-00	Baker Adolfinia	1110 San Jacinto Gln	1110 San Jacinto Gln	Escondido CA 92026	1.000	\$17.64
224-700-84-00	Scully Jamie L	1118 San Jacinto Gln	1118 San Jacinto Gln	Escondido CA 92026	1.000	\$17.64
224-700-85-00	Boersing William C	1126 San Jacinto Gln	1126 San Jacinto Gln	Escondido CA 92026	1.000	\$17.64
224-700-86-00	Dudley James D Jr & Carol	1134 San Jacinto Gln	1134 San Jacinto Gln	Escondido CA 92026	1.000	\$17.64
224-730-01-75	Young Lisa A	2031 Golden Circle Dr	2031 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-01-76	Hussar William H	2029 Golden Circle Dr	3631 W Eagles View Pl	Tucson AZ 85745	1.000	\$17.64
224-730-01-77	Alto Christopher J	2035 Golden Circle Dr	2035 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-01-78	Foster Jeffrey	2033 Golden Circle Dr	2033 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-01	Follese Cheri R Trust	2039 Golden Circle Dr	11845 Bass Lake Rd	Minneapolis MN	1.000	\$17.64
224-730-02-02	Morgan Joseph & Catrina	2037 Golden Circle Dr	2037 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-03	Collins Jesse S & Desere M	2043 Golden Circle Dr	2043 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-04	Peterson Melissa M	2041 Golden Circle Dr	2041 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-05	Wilbanks Family Trust	2047 Golden Circle Dr	30851 Saddleback Rd	Valley Center CA	1.000	\$17.64
224-730-02-06	Fisher Gregory H & Amy	2045 Golden Circle Dr	520 Orpheus Ave	Encinitas CA 92024	1.000	\$17.64

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224-730-02-07	Entler Family Trust	2049 Earl Gln	2049 Earl Gln	Escondido CA 92026	1.000	\$17.64
224-730-02-08	Valentine Family Trust	2051 Earl Gln	12666 Brickellia St	San Diego CA 92129	1.000	\$17.64
224-730-02-09	Chalmers Mark A	2055 Earl Gln	4481 Mt Everest Blvd	San Diego CA 92117	1.000	\$17.64
224-730-02-10	West John R Jr & Joan A	2053 Earl Gln	5510 Paseo Del Lago W #1g		1.000	\$17.64
224-730-02-11	Oneil Nancy Irrevocable	2057 Earl Gln	2057 Earl Gln	Escondido CA 92026	1.000	\$17.64
224-730-02-12	Reitz Elaine A Revocable	2059 Earl Gln	2059 Earl Gln	Escondido CA 92026	1.000	\$17.64
224-730-02-13	Pratte Nicholas 2008 Trust	2061 Earl Gln	1069 Borden Rd	San Marcos CA	1.000	\$17.64
224-730-02-14	Powell Linda D	2063 Earl Gln	2063 Earl Gln	Escondido CA 92026	1.000	\$17.64
224-730-02-15	Borchers Jeffrey & Sonya R	2049 Golden Circle Dr	2049 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-16	Leventhal Nancy R	2051 Golden Circle Dr	10 Delphinium St		1.000	\$17.64
224-730-02-17	Barden Brett J & Leslie F	2053 Golden Circle Dr	2053 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-18	Harrington Timothy J &	2055 Golden Circle Dr	2055 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-19	Halstead Martha H Trust	2059 Golden Circle Dr	2059 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-20	Halstead Leslie E	2057 Golden Circle Dr	2057 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-21	Walker Scott L	2061 Golden Circle Dr	2061 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-02-22	Hebard Charles R &	2063 Golden Circle Dr	2870 S Halcyon Rd	Arroyo Grande CA	1.000	\$17.64
224-730-14-25	Amarikwa Quincy	2024 Daren Gln	2024 Daren Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-26	Hersey Revocable Living	2022 Daren Gln	308 Blue Violet Way	Durham NC 27713	1.000	\$17.64
224-730-14-27	Brandstater Neridah R	2020 Daren Gln	2020 Daren Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-28	Feringer Mary L Tr	2018 Daren Gln	301 La Colina Dr	Redlands CA 92374	1.000	\$17.64
224-730-14-29	Striebel Eugene A &	2016 Daren Gln	2016 Daren Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-30	Striebel Eugene A &	2014 Daren Gln	2016 Daren Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-31	Young Timothy R	2012 Pamela Ln	2012 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-730-14-32	Siddiqui Abdul & Farhea M	2010 Pamela Ln	2010 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-730-14-33	Pagan Joseph	2011 Pamela Ln	2011 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-730-14-34	Hart Loretta M Tr	2013 Pamela Ln	2013 Pamela Ln	Escondido CA 92026	1.000	\$17.64
224-730-14-35	Avila Sharon D	2015 Daren Gln	979 Woodland Pkwy #101	San Marcos CA	1.000	\$17.64
224-730-14-36	Ferbrache Patricia	2017 Daren Gln	2302 Saratoga St	Oceanside CA 92054	1.000	\$17.64
224-730-14-37	Martenev Brenda L	2048 Golden Circle Dr	2123 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-38	Verhoeven Jean-marie &	2046 Golden Circle Dr	3169 Vista Mar	Carlsbad CA 92009	1.000	\$17.64
224-730-14-39	Strauser Family Bypass	2044 Golden Circle Dr	2044 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-40	Semkow William	2042 Golden Circle Dr	2042 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-41	Fagatt Audrey J Trust	2028 Billy Gln	2028 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-42	Cochrane John F & Gayle A	2026 Billy Gln	50275 Doral St	La Quinta CA 92253	1.000	\$17.64
224-730-14-43	Kleider Family Revocable	2024 Billy Gln	2024 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-44	Gahagan Maureen	2022 Billy Gln	2022 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-45	Vanzeyl Family Trust	2020 Billy Gln	6020 Colfax Ave	North Hollywood CA	1.000	\$17.64
224-730-14-46	Orlando Martha	2018 Billy Gln	2018 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-47	Hayden Jeffrey D	2016 Billy Gln	2016 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-48	Kellam Raymond & Monica	2014 Billy Gln	2014 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-49	Barksdale Randy & Jennifer	2012 Billy Gln	2012 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-50	Fenske Trust 10-25-11	2010 Billy Gln	2455 Lansdowne Ct	Littleton CO 80126	1.000	\$17.64
224-730-14-51	Hunt Richard W & Diane T	2011 Billy Gln	2011 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-52	Hogan-orlova Revocable	2013 Billy Gln	225 E 3rd Ave	Escondido CA 92025	1.000	\$17.64
224-730-14-53	Gauvin David Jr	2015 Billy Gln	2015 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-54	Dexter Family Revocable	2017 Billy Gln	2017 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-55	Depue Kelli L	2019 Billy Gln	2019 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-56	Barker David M	2021 Billy Gln	2021 Billy Gln	Escondido CA 92026	1.000	\$17.64

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224-730-14-57	Breugelmanns Yvonne V	2023 Billy Gln	2023 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-58	Hanson Leslie A	2025 Billy Gln	2025 Billy Gln	Escondido CA 92026	1.000	\$17.64
224-730-14-59	Larson Jeffrey A	2040 Golden Circle Dr	2040 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-60	Taylor Robert Living Trust	2038 Golden Circle Dr	2038 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-61	Elsner Tammy M	2036 Golden Circle Dr	2036 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-62	Revilla Kimberly L	2034 Golden Circle Dr	2034 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-63	Hoffa Linda	2032 Golden Circle Dr	405 Sheridan Ave	Escondido CA 92026	1.000	\$17.64
224-730-14-64	Seargeant Vicia J Trust	2030 Golden Circle Dr	2030 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-65	Crittenden Jennifer	2028 Golden Circle Dr	2028 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-730-14-66	Hobbs Ryan M	2026 Golden Circle Dr	2026 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-67	Taylor Sidney M	2033 David Dr	2033 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-68	Wesche Cody C & Michelle	2035 David Dr	2035 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-69	Lee Bin Foon & Gloria Kong	2098 Golden Circle Dr	2098 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-70	Mullenniex Michael D	2096 Golden Circle Dr	1983 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-71	Craggs 1993 Family	2094 Golden Circle Dr	2094 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-72	Justus Sandy C	2092 Golden Circle Dr	2092 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-04-73	Davis Perry L & Stephanie	2090 Golden Circle Dr	100 3rd Ave S #3004	Minneapolis MN	1.000	\$17.64
224-731-04-74	Wright Family Survivors	2088 Golden Circle Dr	2088 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-01	Gailey Henrietta 2003 Trust	2024 Jason Gln	2051 Sleepy Hollow Rd	Escondido CA 92026	1.000	\$17.64
224-731-05-02	Stricker/ronzani Trust	2022 Jason Gln	2348 Nicklaus Dr	Oceanside CA 92056	1.000	\$17.64
224-731-05-03	Thompson Family 2015	2020 Jason Gln	2020 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-04	Ochola Tom W & Faith W	2018 Jason Gln	2018 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-05	Walker Philip A	2016 Jason Gln	2016 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-06	Lanting Chad S & Sarah E	2014 Jason Gln	2014 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-07	Olmeda Hector E Jr	2012 Jason Gln	2012 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-08	Farahanchi Reza	2010 Jason Gln	2010 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-09	Wedin Donald H Bypass	2011 Jason Gln	29012 Vista Valley Dr	Vista CA 92084	1.000	\$17.64
224-731-05-10	Lopez Gregory F	2013 Jason Gln	2013 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-11	Lodge Phillip & Ruth	2015 Jason Gln	2015 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-12	Phillips Linda L	2017 Jason Gln	2017 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-13	Condit Peter W & Martin	2019 Jason Gln	2019 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-14	Muth Family Trust 07-05-90	2021 Jason Gln	2021 Jason Gln	Escondido CA 92026	1.000	\$17.64
224-731-05-15	Price Shirley T Tr	2023 Jason Gln	1962 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-16	Wilson Robert A & Diane P	2025 Jason Gln	228 N Ivy Ave	Monrovia CA 91016	1.000	\$17.64
224-731-05-17	Bannon Trust 06-30-00	2074 Golden Circle Dr	6219 Picardie Rd	Rancho Palos Verdes	1.000	\$17.64
224-731-05-18	Allemang William K	2072 Golden Circle Dr	2072 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-19	Mcdowell Allen O & Lynn K	2070 Golden Circle Dr	2070 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-20	Stratford Mary T Revocable	2068 Golden Circle Dr	2068 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-21	Chiappino Chase	2066 Golden Circle Dr	2066 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-22	Polansky Donald F	2064 Golden Circle Dr	2064 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-23	Funk Kathryn L	2062 Golden Circle Dr	2062 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-05-24	Embry Family Trust	2060 Golden Circle Dr	2060 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-01	Mellon Gregory S	1733 Michael Gln	1733 Michael Gln	Escondido CA 92026	1.000	\$17.64
224-731-07-02	Baldwin Ronald L Trust	1731 Michael Gln	1731 Michael Gln	Escondido CA 92026	1.000	\$17.64
224-731-07-03	Gerber William O	1729 Michael Gln	1729 Michael Gln	Escondido CA 92026	1.000	\$17.64
224-731-07-04	Ferrell Betty A Tr	1727 Michael Gln	2033 Gem Ln	Escondido CA 92026	1.000	\$17.64
224-731-07-05	Tee Family Trust 06-10-94	1725 Michael Gln	911 Candlelite Dr	San Marcos CA	1.000	\$17.64
224-731-07-06	Sanchez Rogelio	1723 Michael Gln	1723 Michael Gln	Escondido CA 92026	1.000	\$17.64

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224-731-07-07	Batcheller Michael J &	1721 Michael Gln	1721 Michael Gln	Escondido CA 92026	1.000	\$17.64
224-731-07-08	Johnston Gary F	1719 Michael Gln	1725 S Escondido Blvd #a	Escondido CA 92025	1.000	\$17.64
224-731-07-09	Rheinhart Neva D	1717 Michael Gln	1717 Michael Gln	Escondido CA 92026	1.000	\$17.64
224-731-07-10	Ferrell Betty A Tr	1715 Michael Gln	2033 Gem Ln	Escondido CA 92026	1.000	\$17.64
224-731-07-11	Magsulit Josephine &	1711 Michael Gln	1711 Michael Gln	Escondido CA 92026	1.000	\$17.64
224-731-07-12	Veale Patricia L Family	1713 Michael Gln	155 Las Flores Dr #93	San Marcos CA	1.000	\$17.64
224-731-07-13	Prudentia L L C	2091 Golden Circle Dr	1046 Landavo Dr	Escondido CA 92027	1.000	\$17.64
224-731-07-14	Martensen Lloyd E Family	2089 Golden Circle Dr	2089 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-15	Lamb Kathleen D Revocable	2095 Golden Circle Dr	2095 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-16	Cunningham Michael E	2093 Golden Circle Dr	2093 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-17	Morrow Lonnie Revocable	2097 Golden Circle Dr	2097 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-18	Lawson Lawrence L &	2099 Golden Circle Dr	2099 Golden Circle Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-19	Craig Shirley M Trust	2105 David Dr	2105 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-20	Amsbary Revocable Living	2107 David Dr	8975 Lawrence Welk Dr #136	Escondido CA 92026	1.000	\$17.64
224-731-07-21	Quick Grace H Trust	2111 David Dr	2111 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-22	Kvikstad Rebecca L Trust	2113 David Dr	2113 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-23	Mcgee Kristi	2118 David Dr	14817 Winding Canyon Rd	Poway CA 92064	1.000	\$17.64
224-731-07-24	Herbert C Philip Revocable	2116 David Dr	2849 Windstone Gln	Escondido CA 92027	1.000	\$17.64
224-731-07-25	Marginson Lorraine R	2114 David Dr	2114 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-26	Danley Carol C Separate	2112 David Dr	2112 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-27	Hall Trust 09-04-08	2110 David Dr	2110 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-28	Meadowcroft Jean H	2108 David Dr	2108 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-29	Putjenter Tyler R	2106 David Dr	2106 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-30	Lackey James A Revocable	2104 David Dr	2104 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-31	Relph Family Trust	2032 David Dr	2032 David Dr	Escondido CA 92026	1.000	\$17.64
224-731-07-32	Schwarz Stanley A &	2030 David Dr	16767 Bernardo Center Dr	San Diego CA 92198	1.000	\$17.64
224-750-01-00	Hannon Michael P &	2041 Camino Dr	2041 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-02-00	Gerritsen Family Trust	2045 Camino Dr	29847 Lilac Rd	Valley Center CA	1.000	\$17.64
224-750-03-00	Tattitch Elmer A Revocable	2049 Camino Dr	2110 Sleepy Hollow Rd	Escondido CA 92026	1.000	\$17.64
224-750-04-00	Durmer Family Trust	2053 Camino Dr	2053 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-05-00	Sharp Trust 09-07-07	2057 Camino Dr	2057 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-06-00	Cappai Umberto G 2013	2061 Camino Dr	2061 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-07-00	Mechanic Family Trust	2065 Camino Dr	13059 Lamia Pt	San Diego CA 92130	1.000	\$17.64
224-750-08-00	Comstock Family Living	2069 Camino Dr	2069 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-09-00	Beatty Douglas R Revocable	2073 Camino Dr	7015 Rockrose Ter		1.000	\$17.64
224-750-10-00	Vandenoord Family Trust	2105 Camino Dr	5635 Rutgers Rd	La Jolla CA 92037	1.000	\$17.64
224-750-11-00	Godfrey Family Trust	2111 Camino Dr	1447 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-750-12-00	Labelle Family Trust	2117 Camino Dr	2117 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-13-00	Mannick Ruby F Trust	2123 Camino Dr	2123 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-14-00	Foulke Ralph Family Trust	2129 Camino Dr	2129 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-15-00	Troyer Guy & Mary	2135 Camino Dr	2135 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-16-00	Hogan Brian P & Jody C	2141 Camino Dr	2141 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-17-00	Henry Gwynne E Family	2147 Camino Dr	2147 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-18-00	Myers John S & Katherine	2130 Camino Dr	2130 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-19-00	Esparza Daniel A & Esther	2124 Camino Dr	4975 N 1st Ave #247	Tucson AZ 85718	1.000	\$17.64
224-750-20-00	Hamel Jason P & Paola M	2120 Camino Dr	2120 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-21-00	Yevstratenko Timofey	2116 Camino Dr	2116 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-22-00	George Timothy J & Razo	2110 Camino Dr	2110 Camino Dr	Escondido CA 92026	1.000	\$17.64

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224-750-23-00	Cassady Daniel B	2102 Camino Dr	2102 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-24-00	Staley Oletta Trust	2076 Fuerte Ln	2076 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-25-00	Davis Donald P Jr & C	2070 Fuerte Ln	2070 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-26-00	Gonzales Family 2004 Trust	2064 Fuerte Ln	2064 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-27-00	Stanley Family Living Trust	2058 Fuerte Ln	2058 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-28-00	Steege Brian R & Kelly L	2052 Fuerte Ln	2052 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-29-00	Coria Gustavo	2048 Fuerte Ln	205 E 11th Ave	Escondido CA 92025	1.000	\$17.64
224-750-30-00	Bailey Dennis H & Susan P	2040 Fuerte Ln	2040 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-31-00	Navarette Teresa	2039 Fuerte Ln	2039 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-32-00	Russell Jonathan W &	2043 Fuerte Ln	2043 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-33-00	Collurafici Frank W	2049 Fuerte Ln	2049 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-34-00	Slater-vermillion 2006	2053 Fuerte Ln	2053 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-35-00	Sorenson Family Trust	2057 Fuerte Ln	2057 Fuerte Ln	Escondido CA 92026	1.000	\$17.64
224-750-36-00	Terriquez Juan & Moroney	2068 Camino Dr	2068 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-37-00	Dakota North Real Estate	2064 Camino Dr	2821 Summit Dr	Escondido CA 92025	1.000	\$17.64
224-750-38-00	Rojas Jose L & Lilian P	2060 Camino Dr	2060 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-39-00	Wagner And	2054 Camino Dr	2054 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-40-00	Budiwarman Susanti G	2044 Camino Dr	2044 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-750-41-00	Bozzay Tibor & Migdalia F	2038 Camino Dr	2038 Camino Dr	Escondido CA 92026	1.000	\$17.64
224-810-01-00	B M F Trust 10-01-02	1429 Country Club Ln West	8030 La Mesa Blvd #69	La Mesa CA 91942	1.000	\$17.64
224-810-02-00	Mattison Charles F	1437 Country Club Ln West	804 Caminito Del Reposo		1.000	\$17.64
224-810-03-00	Heidarshahi Amir & Kathy	1445 Country Club Ln West	1445 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-810-04-00	Borna Ray M & Borna	1453 Country Club Ln West	31805 Temecula Pky #588	Temecula CA 92592	1.000	\$17.64
224-810-05-00	Reich Douglas L Living	1461 Country Club Ln West	555 S Rancho Santa Fe Rd	San Marcos CA	1.000	\$17.64
224-810-06-00	Crawford Gary W Trust	1958 Firestone Dr	1958 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-07-00	Fertig Trust 02-07-97	1950 Firestone Dr	129 N Marengo Ave	Pasadena CA 91101	1.000	\$17.64
224-810-08-00	Moyer Joyce M	1942 Firestone Dr	1942 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-09-00	Johansen Family Trust	1934 Firestone Dr	1934 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-10-00	Ahler Family 2007 Trust	1926 Firestone Dr	1926 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-11-00	Wiegmann Living Trust	1918 Firestone Dr	1918 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-12-00	Cambis Bypass Trust	1910 Firestone Dr	2110 Sleepy Hollow Rd	Escondido CA 92026	1.000	\$17.64
224-810-13-00	Dunlap Mary E Trust	1858 Firestone Dr	1858 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-14-00	Waite Family Trust 12-2-93	1850 Firestone Dr	1850 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-15-00	Giotta Thaddeus & Monica	1842 Firestone Dr	1842 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-16-00	Grant Carmon A & Ellen B	1834 Firestone Dr	1834 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-17-00	Mcfarland David W &	1826 Firestone Dr	1826 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-18-00	Erikson Family Trust	1831 Firestone Dr	1660 Queenston Dr	Escondido CA 92027	1.000	\$17.64
224-810-19-00	Brooker Steven	1839 Firestone Dr	1839 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-20-00	Stiedemann Mark E & Irene	1603 Pinehurst Ave	1603 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-810-21-00	Kinley Robert L & Mary L	1611 Pinehurst Ave	1611 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-810-22-00	Canatsey Joshua C &	1619 Pinehurst Ave	1619 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-810-23-00	Johanson Bruce & Beth	1636 Pinehurst Ave	1636 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-810-24-00	Koch Jeffrey L & Lisa L	1628 Pinehurst Ave	1628 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-810-25-00	Bou-ajram Hafez S & Nadia	1620 Pinehurst Ave	1620 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-810-26-00	Hudon Scott	1909 Firestone Dr	1909 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-27-00	Mitchell David S & Joni E	1917 Firestone Dr	1917 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-28-00	Curtis Angela M	1925 Firestone Dr	1925 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-29-00	Kemp David J	1933 Firestone Dr	1933 Firestone Dr	Escondido CA 92026	1.000	\$17.64

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224-810-30-00	Olson Patrick A	1941 Firestone Dr	1941 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-810-31-00	Cunningham Thomas C &	1525 Country Club Ln West	1525 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-810-32-00	Mills Kalon & Shill Mariah	1533 Country Club Ln West	2877 W Shady Hollow Ln	Lehi UT 84043	1.000	\$17.64
224-810-33-00	Bailey Mitchell & Tracee	1541 Country Club Ln West	1541 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-810-34-00	Fanter Stephen A & Kim E	1549 Country Club Ln West	1549 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-810-35-00	Finsterbusch Mike W &	1557 Country Club Ln West	1557 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-811-01-00	Fausner Craig H	1820 Cottonwood Pl	619 Long Pond Rd	Plymouth MA 02360	1.000	\$17.64
224-811-02-00	Appell Andrea L	1830 Cottonwood Pl	P O Box 649	Apo Ap 96520	1.000	\$17.64
224-811-03-00	Baker Sally A 2006 Trust	1840 Cottonwood Pl	1840 Cottonwood Pl	Escondido CA 92026	1.000	\$17.64
224-811-04-00	Dobell Russell A	1823 Firestone Dr	P O Box 2363	Temecula CA 92593	1.000	\$17.64
224-811-05-00	Andrews Michael & Laura	1815 Firestone Dr	1815 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-811-08-00	Browne Virginia C Tr	1818 Firestone Dr	1818 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-811-09-00	Siddiq Masood & Mohsini	1810 Firestone Dr	1810 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-811-28-00	Stuck In The Rough L L C	Foxfire Pl	P O Box 11480	Beverly Hills CA	0.228	\$4.02
224-840-01-00	Niederhaus Milton C &	2165 Nutmeg St North	2165 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-03-00	Auer Ryan & Yesenia	2149 Nutmeg St North	2149 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-04-00	Ferrell Betty A Tr	2141 Nutmeg St North	2033 Gem Lake	Escondido CA 92026	1.000	\$17.64
224-840-05-00	Peek Jason & Asuka	2133 Nutmeg St North	2133 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-06-00	Lemel George & Dori	2125 Nutmeg St North	2125 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-07-00	Hoolihan Joel & Sarai	2117 Nutmeg St North	2117 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-08-00	Groff John Iii & Birch Linda	2109 Nutmeg St North	2109 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-09-00	Hansen Darlene M	2101 Nutmeg St North	2101 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-840-10-00	Hoehn Claude D &	1110 Country Club Ln West	1110 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-840-11-00	Jones Leland B & Sheila	1118 Country Club Ln West	1118 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-840-12-00	Buffington Shirley E 2009	1126 Country Club Ln West	26224 N 72nd Dr		1.000	\$17.64
224-840-13-00	Ashforth Family Trust	1134 Country Club Ln West	1134 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-840-16-00	Wechsler Family Trust	2157 Nutmeg St	260 Trickling Brook Ct	Simi Valley CA	1.000	\$17.64
224-850-01-00	J W Mitchell Inc	1402 Westwood Pl	1330 Orange Ave #317	Coronado CA 92118	1.000	\$17.64
224-850-02-00	Overy Colby & Denise	1408 Westwood Pl	1408 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-03-00	Nikolovski Spasoje &	1412 Westwood Pl	1412 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-04-00	Boyce Janet	1416 Westwood Pl	1416 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-05-00	Vella Jayme (dp)	1420 Westwood Pl	1420 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-06-00	Black Irene M	1424 Westwood Pl	1424 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-07-00	Skay Jacqueline Revocable	1423 Westwood Pl	1423 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-08-00	Duan Peter Sheng	1419 Westwood Pl	1419 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-09-00	Vague Family Trust	1415 Westwood Pl	1415 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-10-00	Rose Debra Trust 12-21-06	1411 Westwood Pl	1411 Westwood Pl	Escondido CA 92026	1.000	\$17.64
224-850-11-00	Gaylor Charles O Iii	2053 La Brea St	30933 Ashley Ct	Valley Center CA	1.000	\$17.64
224-850-12-00	Zellmer Family Trust	2045 La Brea St	2045 La Brea St	Escondido CA 92026	1.000	\$17.64
224-850-13-00	Schwend Steven M &	2037 La Brea St	2037 La Brea St	Escondido CA 92026	1.000	\$17.64
224-850-14-00	Skinner Family Trust	2029 La Brea St	3415 Don Jose Dr		1.000	\$17.64
224-850-15-00	Quindo Ricardo & Evelyn	2044 La Brea St	2044 La Brea St	Escondido CA 92026	1.000	\$17.64
224-850-16-00	Bishop L Ernestine Trust	2052 La Brea St	2052 La Brea St	Escondido CA 92026	1.000	\$17.64
224-860-01-00	Denny Grace L Living Trust	1318 Gary Ln	1318 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-02-00	Fry Claude E & Katherine J	1324 Gary Ln	1324 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-03-00	Peace Joan L Trust	1312 Gary Ln	1312 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-04-00	Salce Paul M & Rana B	1306 Gary Ln	1306 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-05-00	Ulibarri Ernest Jr	1142 Gary Ln	1142 Gary Ln	Escondido CA 92026	1.000	\$17.64

CITY OF ESCONDIDO
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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-860-06-00	Hawash Ibrahim	1136 Gary Ln	1136 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-07-00	Calumpit John R	1130 Gary Ln	1130 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-08-00	Sanchez Matthew A &	1124 Gary Ln	1124 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-09-00	Rea Valerie G Trust	2114 Lark Gln	2114 Lark Gln	Escondido CA 92026	1.000	\$17.64
224-860-10-00	Mousavi Hangameh S	2110 Lark Gln	2110 Lark Gln	Escondido CA 92026	1.000	\$17.64
224-860-11-00	Ahler Family 2007 Trust	2106 Lark Gln	1926 Firestone Dr	Escondido CA 92026	1.000	\$17.64
224-860-12-00	Antoniou Peter H	2102 Lark Gln	2166 Lemon Ave	Escondido CA 92029	1.000	\$17.64
224-860-13-00	Kelly Michael P & Gloria L	1101 Wren Gln	1101 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-14-00	Manell Kenneth R & Janet L	1107 Wren Gln	2289 Rock View Gln	Escondido CA 92026	1.000	\$17.64
224-860-15-00	Blakley Rickey	1113 Wren Gln	741 E El Morado Ct	Ontario CA 91764	1.000	\$17.64
224-860-16-00	Bayles Family Trust	1119 Wren Gln	16400 Saybrook Ln #20	Huntington Beach	1.000	\$17.64
224-860-17-00	Kuhlmeier Roy	1125 Wren Gln	1125 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-18-00	Higgins-brusso Valerie	1131 Wren Gln	1131 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-19-00	Wells Garry W <dva>	1137 Wren Gln	1137 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-20-00	Anet Family Trust 02-23-06	1143 Wren Gln	P O Box 460185	Escondido CA 92046	1.000	\$17.64
224-860-21-00	Lawrence William & Karen	1203 Wren Gln	1203 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-22-00	Rindone Bradley A	1209 Wren Gln	1209 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-23-00	Hernandez Daniel P &	1215 Wren Gln	1215 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-24-00	Bader Darlene A	1221 Wren Gln	222 E 5th Ave	Escondido CA 92025	1.000	\$17.64
224-860-25-00	Kanno-holland Kazumi	1227 Wren Gln	1227 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-26-00	Wilkinson Donald J	1233 Wren Gln	1233 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-27-00	Mission Capital Properties	1239 Wren Gln	1239 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-28-00	Runchey Lola L	1245 Wren Gln	1245 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-29-00	Spon Gregory M & Scott	1242 Wren Gln	1242 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-30-00	Parker Family Trust	1236 Wren Gln	1236 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-31-00	Wilson Melinda L	1230 Wren Gln	1230 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-32-00	Lister Paul & Karen Trust	1224 Wren Gln	1224 Wren Gln	Escondido CA 92026	1.000	\$17.64
224-860-33-00	Carter Living Trust	2103 Lark Gln	2103 Lark Gln	Escondido CA 92026	1.000	\$17.64
224-860-34-00	Nally Family Trust 12-01-01	2107 Lark Gln	P O Box 2490	Escondido CA 92033	1.000	\$17.64
224-860-35-00	Potter Family 2013 Trust	2111 Lark Gln	207 Heritage Ln	Pleasanton CA	1.000	\$17.64
224-860-36-00	Hasslinger Tp 2015 Trust	2115 Lark Gln	2115 Lark Gln	Escondido CA 92026	1.000	\$17.64
224-860-37-00	Lowrey Robert & Susan	1301 Gary Ln	1301 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-38-00	Donato Emil G & Gina P	1303 Gary Ln	1303 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-39-00	Willis Matthew J	1309 Gary Ln	1309 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-40-00	Dejong Teunis & Hinke	1315 Gary Ln	1315 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-41-00	Gailey Henrietta 2003 Trust	1325 Gary Ln	2051 Sleepy Hollow Rd	Escondido CA 92026	1.000	\$17.64
224-860-42-00	Ramos Eduardo M &	1331 Gary Ln	1331 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-43-00	Mendivil Marcos A &	1337 Gary Ln	1337 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-860-44-00	Parraga Jorge	1343 Gary Ln	1343 Gary Ln	Escondido CA 92026	1.000	\$17.64
224-870-01-00	Wade Paul	1661 Vaquero Gln	1661 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-02-00	Johnston Gary F	1651 Vaquero Gln	1642 David Dr	Escondido CA 92026	1.000	\$17.64
224-870-03-00	Shuler Joel M & Kimberley	1641 Vaquero Gln	1641 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-06-00	Crobarger Richard E & Kala	1561 Vaquero Gln	1561 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-07-00	Uhl Michael J	1551 Vaquero Gln	1551 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-08-00	Lee Yi-ching & Yang	1541 Vaquero Gln	9237 Calle De Vista Oeste	San Diego CA 92129	1.000	\$17.64
224-870-09-00	Sims Gerald R & Cynthia S	1531 Vaquero Gln	2132 Vista Valle Verde Dr	Fallbrook CA 92028	1.000	\$17.64
224-870-10-00	Marturano Dominic & Deea	1475 Vaquero Gln	1475 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-11-00	Woldin Rosemarie B Family	1471 Vaquero Gln	1471 Vaquero Gln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-870-14-00	Leivas Terri L	1455 Vaquero Gln	1455 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-15-00	Dollard Jaren	1451 Vaquero Gln	1451 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-16-00	Wang Paula R	1445 Vaquero Gln	1445 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-17-00	Dauber Alfred	1441 Vaquero Gln	1441 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-18-00	Boozer Family 2004 Trust	1435 Vaquero Gln	1435 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-19-00	Clark Alan G & Janine	1431 Vaquero Gln	1431 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-20-00	Radspinner Anne M	1425 Vaquero Gln	1425 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-21-00	Steichen Christine E Trust	1421 Vaquero Gln	1421 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-22-00	Hansen Mary L Trust	1411 Vaquero Gln	1411 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-23-00	Oskoorouchi Family Trust	1401 Vaquero Gln	3223 Rancho Companero	Carlsbad CA 92009	1.000	\$17.64
224-870-26-00	Doorn Family Trust	1435 Anoche Gln	1435 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-27-00	Westlake William L &	1445 Anoche Gln	1445 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-30-00	Boggeln Family Trust	1461 Anoche Gln	1461 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-31-00	Winn John A & Ellen S	1465 Anoche Gln	1465 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-32-00	Gibbs John E & Betty L	1471 Anoche Gln	1471 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-33-00	Jamison Carl	1475 Anoche Gln	1475 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-36-00	Johnson Robert D & Donna	1551 Anoche Gln	1551 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-37-00	Blanshan Bridget K &	1561 Anoche Gln	28220 Faircrest Way	Escondido CA 92026	1.000	\$17.64
224-870-40-00	Bridges Evelyn A	1641 Anoche Gln	1641 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-43-00	Peterson Monica	2090 Avenida De Aquacate	2090 Avenida De Aquacate	Escondido CA 92026	1.000	\$17.64
224-870-44-00	Grollo John F & Jacquelyn J	2080 Avenida De Aquacate	2080 Avenida De Aquacate	Escondido CA 92026	1.000	\$17.64
224-870-45-00	Beukelman Craig E	2070 Avenida De Aquacate	2070 Avenida De Aquacate	Escondido CA 92026	1.000	\$17.64
224-870-46-00	Herrera Christina M	2060 Avenida De Aquacate	2060 Avenida De Aquacate	Escondido CA 92026	1.000	\$17.64
224-870-47-00	Lake Roger & Marcia	2050 Avenida De Aquacate	2050 Avenida De Aquacate	Escondido CA 92026	1.000	\$17.64
224-870-48-00	Mayer Frances E	1475 Mercado Gln	1475 Mercado Gln	Escondido CA 92026	1.000	\$17.64
224-870-49-00	Lord Phyllis J Tr	1471 Mercado Gln	2412 Foothill Blvd #16	Calistoga CA 94515	1.000	\$17.64
224-870-52-00	Taylor Stacy K & Judith A	1455 Mercado Gln	1455 Mercado Gln	Escondido CA 92026	1.000	\$17.64
224-870-53-00	Hill Judy Revocable Living	1451 Mercado Gln	1451 Mercado Gln	Escondido CA 92026	1.000	\$17.64
224-870-54-00	Bland Christopher D &	1445 Mercado Gln	1445 Mercado Gln	Escondido CA 92026	1.000	\$17.64
224-870-57-00	Holtz Amy D	1631 Vaquero Gln	1631 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-58-00	Scott Paul M & Yvonne M	1621 Vaquero Gln	1621 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-59-00	Nguyen Nghiem Thi	1465 Vaquero Gln	1465 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-60-00	Schneider John O Tr	1461 Vaquero Gln	1461 Vaquero Gln	Escondido CA 92026	1.000	\$17.64
224-870-65-00	Lundy Wanda Trust	1621 Anoche Gln	1621 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-66-00	Littrell Brandon E & Stacy J	1631 Anoche Gln	1631 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-67-00	Scott Jill R Revocable Trust	1465 Mercado Gln	1465 Mercado Gln	Escondido CA 92026	1.000	\$17.64
224-870-68-00	Weldon James & Lois	1451 Anoche Gln	730 W 13th Ave #f-217	Escondido CA 92025	1.000	\$17.64
224-870-69-00	Bilotti Ronald O Revocable	1455 Anoche Gln	1455 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-70-00	McClean Shauna Revocable	1651 Anoche Gln	1651 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-71-00	Burns Thomas J	1661 Anoche Gln	484 Washington St #b	Monterey CA 93940	1.000	\$17.64
224-870-72-00	Towne Diana L	1415 Anoche Gln	1415 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-73-00	Marshall Family Trust	1425 Anoche Gln	1425 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-74-00	Hassler Family Trust	1461 Mercado Gln	1461 Mercado Gln	Escondido CA 92026	1.000	\$17.64
224-870-75-00	Hill Malvin & Rita Family	1531 Anoche Gln	1531 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-870-76-00	Clark Paula J	1541 Anoche Gln	1541 Anoche Gln	Escondido CA 92026	1.000	\$17.64
224-881-01-00	Ramirez Victor	2124 Nutmeg St North	2124 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-881-02-00	Rogers Craig M	2116 Nutmeg St North	2116 N Nutmeg St	Escondido CA 92026	1.000	\$17.64
224-881-03-00	Kazemier 2015 Family	1040 Country Club Ln West	1040 W Country Club Ln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-881-04-00	Velazquez Jose L & Maria R	1030 Country Club Ln West	1030 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-881-05-00	Davis Doris A Revocable	1020 Country Club Ln West	1659 S Citrus Ave	Escondido CA 92027	1.000	\$17.64
224-881-06-00	Lorence George J Jr &	1010 Country Club Ln West	1010 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-881-07-00	Prather Clark P Iii	2101 Caraway St	2101 Caraway St	Escondido CA 92026	1.000	\$17.64
224-881-08-00	Radjenovic Milica	2109 Caraway St	411 Marcos St	San Marcos CA	1.000	\$17.64
224-881-09-00	Norman Marilyn J Trust	2117 Caraway St	2117 Caraway St	Escondido CA 92026	1.000	\$17.64
224-881-10-00	Mohn Michael A & Theresa	2125 Caraway St	2125 Caraway St	Escondido CA 92026	1.000	\$17.64
224-881-11-00	Hobbick Jerry L Jr & Kellie	2120 Caraway St	2120 Caraway St	Escondido CA 92026	1.000	\$17.64
224-881-12-00	Hodder Revocable Living	2112 Caraway St	2112 Caraway St	Escondido CA 92026	1.000	\$17.64
224-881-13-00	Reyes German & Raquel	2104 Caraway St	2104 Caraway St	Escondido CA 92026	1.000	\$17.64
224-881-14-00	Moritz James H & Diane P	996 Mariposa Pl	685 Jonathon Pl	Escondido CA 92027	1.000	\$17.64
224-881-15-00	Mnich Family Revocable	986 Mariposa Pl	986 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-16-00	Rodriguez Jose F & Vida T	992 Bittersweet St	992 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-17-00	Peters Robert L & Susan	982 Bittersweet St	982 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-18-00	Pallante Mario & Sandra L	972 Bittersweet St	972 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-19-00	Leon-eras Carlos A & Joy R	962 Bittersweet St	962 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-20-00	Thompson Terry L & Julie	952 Bittersweet St	952 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-21-00	Everhart L Keith &	942 Bittersweet St	942 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-22-00	Donalson David K	932 Bittersweet St	932 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-23-00	White Keith D &	931 Bittersweet St	931 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-24-00	Bedford Arthur L & Linda	941 Bittersweet St	941 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-25-00	Souders Adam & Heather	951 Bittersweet St	951 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-26-00	Herrera Paul V & Myra D	961 Bittersweet St	961 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-27-00	Williams Tyson J & Jones	971 Bittersweet St	971 Bittersweet St	Escondido CA 92026	1.000	\$17.64
224-881-28-00	Prendergast Thomas &	976 Mariposa Pl	976 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-29-00	Traina Charles J &	966 Mariposa Pl	966 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-30-00	Sanders Brian & Andrea	956 Mariposa Pl	956 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-31-00	Walger Eric & Victoria	946 Mariposa Pl	946 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-32-00	Wilkinson Trust 12-28-00	936 Mariposa Pl	936 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-33-00	Wybenga Henry J & Carol A	933 Mariposa Pl	933 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-34-00	Guerrero Robert & Adriana	943 Mariposa Pl	943 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-35-00	Hermosillo Aaron P	953 Mariposa Pl	953 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-36-00	Baker Jay B	963 Mariposa Pl	963 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-37-00	Dodds Louisa L	973 Mariposa Pl	973 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-38-00	Fox David J & Debra L	983 Mariposa Pl	983 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-881-39-00	Calderon Epifania	993 Mariposa Pl	993 Mariposa Pl	Escondido CA 92026	1.000	\$17.64
224-882-01-00	Wasco Michael F Jr	2081 Caraway St	2081 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-02-00	Lamere Brian & Sarah	2077 Caraway St	1520 Linthicum Dr	Escondido CA 92026	1.000	\$17.64
224-882-03-00	Rosson Family Trust	2073 Caraway St	2073 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-04-00	Brousseau Michael &	2069 Caraway St	2069 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-05-00	Lofgren Dennis G & Jean L	2065 Caraway St	2065 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-06-00	Holland Family Trust	2061 Caraway St	2061 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-07-00	Peugh Jeremy & Chelsea	2057 Caraway St	2057 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-08-00	Steagall Jack D	2053 Caraway St	2053 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-09-00	Serrano Jorge	2066 Caraway St	P O Box 208	Escondido CA 92033	1.000	\$17.64
224-882-10-00	Ruiz Eduardo M	2070 Caraway St	2027 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-882-11-00	Cunningham John E	2074 Caraway St	2074 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-12-00	Shoemaker Elizabeth A	2078 Caraway St	618 Washingtonia Dr	San Marcos CA	1.000	\$17.64

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224-882-14-00	Pierce Family Trust	1073 Fountain Pl	1073 Fountain Pl	Escondido CA 92026	1.000	\$17.64
224-882-15-00	Pringle Family Trust	1061 Fountain Pl	17911 Sencillo Dr	San Diego CA 92128	1.000	\$17.64
224-882-16-00	Pringle Revocable Family	1049 Fountain Pl	1061 Fountain Pl	Escondido CA 92026	1.000	\$17.64
224-882-17-00	Cadruvi Sandra E	1037 Fountain Pl	1037 Fountain Pl	Escondido CA 92026	1.000	\$17.64
224-882-18-00	Myers Marc	1040 Fountain Pl	1040 Fountain Pl	Escondido CA 92026	1.000	\$17.64
224-882-19-00	Obrien Colin T & Smith	1052 Fountain Pl	1052 Fountain Pl	Escondido CA 92026	1.000	\$17.64
224-882-20-00	Swadley Family Trust	1064 Fountain Pl	3320 E Morning Mist Cir	Prescott AZ 86303	1.000	\$17.64
224-882-21-00	Ramos Jose L Jr & Rosalina	1076 Fountain Pl	1076 Fountain Pl	Escondido CA 92026	1.000	\$17.64
224-882-22-00	Gloria Dei Lutheran Church	1087 Country Club Ln West	1087 W Country Club Ln	Escondido CA 92026	3.394	\$59.86
224-882-23-00	Nguyen The Quynh C & Vu	2049 Caraway St	2049 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-24-00	Tanashian Gary & Meghed	2045 Caraway St	2045 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-25-00	Weston Philip J & Laura J	2041 Caraway St	7831 Nw Lone Pine Ln	Terrebonne OR	1.000	\$17.64
224-882-26-00	Fogleman Spencer & Amy	2039 Caraway St	2039 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-27-00	George Ahleak	2035 Caraway St	2035 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-28-00	Williams Family Trust	2031 Caraway St	2031 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-29-00	Kilby Christopher G	2027 Caraway St	2027 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-30-00	Alcorn Aaron & Xochil	2026 Caraway St	6886 Psc567 Box 6886	Apo Ap 96384	1.000	\$17.64
224-882-31-00	Torres Ruben C & Maria Q	2032 Caraway St	2032 Caraway St	Escondido CA 92026	1.000	\$17.64
224-882-32-00	Caro Carlos & Linda	2038 Caraway St	2038 Caraway St	Escondido CA 92026	1.000	\$17.64
224-910-01-00	Vieng Kale & Joy	2072 Cherokee Ln	2072 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-910-02-00	Gomez Gladys E	2062 Cherokee Ln	2062 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-910-03-00	Achoumov Vaguif &	2052 Cherokee Ln	2052 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-910-04-00	Landolt Eric Est Of	2042 Cherokee Ln	2042 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-910-05-00	Shair Abdo K	2032 Cherokee Ln	Sarkis Street		1.000	\$17.64
224-910-06-00	Buras Joshua & Linda C	2022 Cherokee Ln	2022 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-910-07-00	Medina Ernest Sr &	2035 Cherokee Ln	35323 Lilac Ln	Winchester CA	1.000	\$17.64
224-910-08-00	Mcdonnell Colin D	2049 Cherokee Ln	2049 Cherokee Ln	Escondido CA 92026	1.000	\$17.64
224-910-09-00	Lissona Mario & Blanca	2065 Cherokee Ln	1246 Rancho Luiseno Rd	Escondido CA 92026	1.000	\$17.64
224-930-01-00	Palma Antonio	1775 Arroyo Gln	1775 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-02-00	Phan Family Trust 01-11-07	1773 Arroyo Gln	13217 Portofino Dr	Del Mar CA 92014	1.000	\$17.64
224-930-03-00	Potter Family 2013 Trust	1771 Arroyo Gln	207 Heritage Ln	Pleasanton CA	1.000	\$17.64
224-930-04-00	Johnson Geri Lynn	1769 Arroyo Gln	1769 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-05-00	Guinto Mark F & Henrietta	1767 Arroyo Gln	1767 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-06-00	Domenico Miucci Trust	1759 Arroyo Gln	2726 Glenview Way	Escondido CA 92025	1.000	\$17.64
224-930-07-00	Wilson Trust 10-02-81	1757 Arroyo Gln	31820 Via Ararat Dr	Bonsall CA 92003	1.000	\$17.64
224-930-08-00	Lovell David J & Larisa	1755 Arroyo Gln	1755 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-09-00	Cosper Cynthia L 2003	1753 Arroyo Gln	1753 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-10-00	Radesky Family Trust	1751 Arroyo Gln	1751 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-11-00	Leonard Family Trust	1758 Arroyo Gln	1758 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-12-00	Rhodes Robert L	1760 Arroyo Gln	1760 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-13-00	Woolcott Fred & Harvey	1762 Arroyo Gln	1762 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-14-00	Carrillo Craig A & Diane E	1764 Arroyo Gln	1764 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-15-00	Mcdonough Bruce A Sr &	1766 Arroyo Gln	1766 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-16-00	Skelton Wilbur F Jr & Taki	1768 Arroyo Gln	1768 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-17-00	Lucus Richard E & Martha	1770 Arroyo Gln	1770 Arroyo Gln	Escondido CA 92026	1.000	\$17.64
224-930-18-00	Vaughn Tommie J & Sandra	1784 Solana Gln	1784 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-19-00	Holland Jack E & Vivian	1782 Solana Gln	1782 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-20-00	Young Mary J C	1780 Solana Gln	1780 Solana Gln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-930-21-00	Phillips James R Jr & Linda	1774 Solana Gln	1774 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-22-00	Rountree Lori L	1772 Solana Gln	1772 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-23-00	Sowers James D & Dorothy	1770 Solana Gln	1770 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-24-00	Maney-oviatt Susan W	1768 Solana Gln	1768 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-25-00	Wright Barbara E 2014	1766 Solana Gln	1766 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-26-00	Mansfield Family Trust	1764 Solana Gln	1764 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-27-00	Howard Family Trust	1762 Solana Gln	1762 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-28-00	Boulware Robert W &	1771 Solana Gln	9640 Wilbur Ave	Northridge CA 91324	1.000	\$17.64
224-930-29-00	Lewis Darlene Revoable	1773 Solana Gln	1773 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-30-00	Romeo Bethuela	1775 Solana Gln	1775 Solana Gln	Escondido CA 92026	1.000	\$17.64
224-930-31-00	Rufenacht Bernice P Living	1777 Capistrano Gln	1777 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-32-00	Maguire Family Trust	1775 Capistrano Gln	1775 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-33-00	Mcfadyen Mark A &	1773 Capistrano Gln	1773 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-34-00	Kelly Dorothy M Trust	1771 Capistrano Gln	1771 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-35-00	Neyman Scott	1769 Capistrano Gln	1769 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-36-00	Mahida Parakram D &	1767 Capistrano Gln	1767 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-37-00	Cooper Betty Trust	1764 Capistrano Gln	1764 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-930-38-00	Abrams Jaclyn D	1766 Capistrano Gln	1766 Capistrano Gln	Escondido CA 92026	1.000	\$17.64
224-951-01-00	Dow Revocable Living Trust	2201 Sawgrass Gln	2201 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-951-02-00	Poling Patrick D & Doreen	2207 Sawgrass Gln	2207 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-951-03-00	Kaiser Susan L Tr	2213 Sawgrass Gln	2213 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-951-07-00	Truesdale Family Trust	2237 Sawgrass Gln	2870 N Twin Oaks Valley Rd	San Marcos CA	1.000	\$17.64
224-951-08-00	Gold David E Revocable	2202 Hilton Head Gln	1892 Summit Hill Dr	Escondido CA 92027	1.000	\$17.64
224-951-09-00	Pluth Mary E Tr	2206 Hilton Head Gln	2206 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-10-00	Mcinroe Gerald B &	2210 Hilton Head Gln	2210 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-11-00	Redding Michael & Marcia	2214 Hilton Head Gln	2214 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-12-00	Aboulhosn Ryan & Nadia	2218 Hilton Head Gln	2218 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-13-00	Crosby Family Disclaimer	2222 Hilton Head Gln	26 Greenwood Rd	Peabody MA 01960	1.000	\$17.64
224-951-14-00	Holmes Amanda M	2226 Hilton Head Gln	2226 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-15-00	Odrane Megan	2230 Hilton Head Gln	2230 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-16-00	Meier Family Trust	2234 Hilton Head Gln	564 Seahorse Ln	Redwood City CA	1.000	\$17.64
224-951-17-00	Tolvstad Family Trust	2238 Hilton Head Gln	2238 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-18-00	Wallace Michael H & Gaylyn	2242 Hilton Head Gln	2242 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-19-00	Bell Dea J Tr	1737 Congressional Gln	1737 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-20-00	Fricke Eugene A Trust	1741 Congressional Gln	1741 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-21-00	Gossage Edith Living Trust	1745 Congressional Gln	1745 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-24-00	Mcnair Bill J & Tavy N	1807 Congressional Gln	1807 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-25-00	Ortiz Thomas E & Brandi R	1811 Congressional Gln	1811 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-26-00	Ratiu Catalin & Salgado	1815 Congressional Gln	1815 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-27-00	Richards Douglas E &	1819 Congressional Gln	1819 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-28-00	Beard Thomas N &	1823 Congressional Gln	1823 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-29-00	Cappelletti Frances Trust	1827 Congressional Gln	1827 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-30-00	Butler Harry R & Joanne	2233 Hilton Head Gln	P O Box 462560	Escondido CA 92046	1.000	\$17.64
224-951-31-00	Brandt Charles H & Judith	2229 Hilton Head Gln	1943 E Campbell Ter	Tucson AZ 85718	1.000	\$17.64
224-951-32-00	Baez Beatriz Living Trust	2225 Hilton Head Gln	2225 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-33-00	Killian Frederick J & Neda	2221 Hilton Head Gln	2221 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-34-00	Contreras Vera M	2217 Hilton Head Gln	2217 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-35-00	Sturtz Alexander & Rosalie	2213 Hilton Head Gln	2213 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-951-36-00	Pursell Daniel K Revocable	2209 Hilton Head Gln	2209 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-37-00	Leopold Patricia J Tr	2205 Hilton Head Gln	2205 Hilton Head Gln	Escondido CA 92026	1.000	\$17.64
224-951-38-00	Granice House Trust	2235 Medina Gln	2235 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-39-00	Lusteg Paul J & Patricia L	2231 Medina Gln	2231 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-40-00	Rounds Michael J & Kristen	2227 Medina Gln	2227 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-41-00	Smith R & G Family Trust	2223 Medina Gln	2223 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-42-00	Harlow Joy	2219 Medina Gln	2219 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-43-00	Caster Melanie A	2215 Medina Gln	2215 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-44-00	Senior Bruce & Mary A	2211 Medina Gln	2211 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-45-00	Odonnell Family Trust	2207 Medina Gln	2207 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-46-00	Lovell Ray & Evie Trust	2203 Medina Gln	2203 Medina Gln	Escondido CA 92026	1.000	\$17.64
224-951-49-00	Winter Kathy	1753 Congressional Gln	31220 Aquaduct Rd	Bonsall CA 92003	1.000	\$17.64
224-951-50-00	Malone Paul C & Mary G	1749 Congressional Gln	1749 Congressional Gln	Escondido CA 92026	1.000	\$17.64
224-951-51-00	Parker Lisa	2219 Sawgrass Gln	2219 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-951-52-00	Nunez Alfred & Margaret M	2225 Sawgrass Gln	2225 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-951-53-00	Norland Family Revocable	2231 Sawgrass Gln	2231 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-951-54-00	Meyers Veronica N Trust	2169 Torrey Gln	2169 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-55-00	Goodman Leslie E	2175 Torrey Gln	8767 Forest Hills Blvd	Pompano Beach FL	1.000	\$17.64
224-951-56-00	Cornell Madalyn L	2191 Torrey Gln	2191 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-57-00	Geis Family Trust 09-09-13	2195 Torrey Gln	2195 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-58-00	Brajeovich Donna M Living	2209 Torrey Gln	9651 Welk View Dr	Escondido CA 92026	1.000	\$17.64
224-951-59-00	Smith Family Trust	2206 Torrey Gln	2206 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-60-00	Mccall Sheila M	2202 Torrey Gln	2202 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-61-00	Rosenkoetter Trust	2196 Torrey Gln	2196 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-62-00	Mattos Ronald D	2192 Torrey Gln	2192 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-63-00	Kunze Phaedra	2188 Torrey Gln	1935 Lejos Dr	Escondido CA 92025	1.000	\$17.64
224-951-64-00	Gerber Scott D & Christine	2184 Torrey Gln	2184 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-65-00	Niacaris Sheri	2180 Torrey Gln	2180 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-66-00	Greif Tami R	2176 Torrey Gln	2176 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-67-00	Dalba Family Trust	2172 Torrey Gln	2172 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-68-00	Tompkins Ryan L	2168 Torrey Gln	2168 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-951-69-00	Mindos Jean T	2164 Torrey Gln	2164 Torrey Gln	Escondido CA 92026	1.000	\$17.64
224-952-01-00	Banes James O & Iva E	1739 National Gln	36-144 Avenida De Las	Cathedral City CA	1.000	\$17.64
224-952-02-00	Bartzen Family Trust	1733 National Gln	1733 National Gln	Escondido CA 92026	1.000	\$17.64
224-952-03-00	Buttignoli Ming Huey	1727 National Gln	1727 National Gln	Escondido CA 92026	1.000	\$17.64
224-952-04-00	Pizzuto Mario & Maria	1721 National Gln	1721 National Gln	Escondido CA 92026	1.000	\$17.64
224-952-05-00	Wozniak George P & Gisele	1715 National Gln	1715 National Gln	Escondido CA 92026	1.000	\$17.64
224-952-06-00	Page David & Marsha	2101 Winged Foot Gln	2101 Winged Foot Gln	Escondido CA 92026	1.000	\$17.64
224-952-07-00	Mcgee Murl G & Joanne J	2107 Winged Foot Gln	2107 Winged Foot Gln	Escondido CA 92026	1.000	\$17.64
224-952-08-00	Kelly John R	2113 Winged Foot Gln	2113 Winged Foot Gln	Escondido CA 92026	1.000	\$17.64
224-952-09-00	Cordes Family Trust	2119 Winged Foot Gln	14353 Sawgrass Cir	Valley Center CA	1.000	\$17.64
224-952-10-00	Sumpter Family Trust	1713 Sawgrass Gln	1713 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-952-11-00	Avelino Adrian & Patricia	1719 Sawgrass Gln	1719 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-952-12-00	Gericke Stephen H &	1725 Sawgrass Gln	2105 Graham Ave	Oklahoma City OK	1.000	\$17.64
224-952-13-00	Bobbitt C & E Living Trust	1731 Sawgrass Gln	1731 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-952-14-00	Greenleaf Family Revocable	1737 Sawgrass Gln	1737 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-952-15-00	Davis James E Revocable	1743 Sawgrass Gln	1743 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64
224-952-16-00	Oberhauser Revocable	1749 Sawgrass Gln	1749 Sawgrass Gln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-952-17-00	Falconieri Family Trust	1759 Cypress Point Gln	1759 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-18-00	Maryem Medina Trust	1753 Cypress Point Gln	1753 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-19-00	Gustafson Gordon D &	1747 Cypress Point Gln	1747 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-20-00	Furrer Shannon L	1741 Cypress Point Gln	P O Box 502951	San Diego CA 92150	1.000	\$17.64
224-952-21-00	Cervantes Carol K	1735 Cypress Point Gln	1735 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-22-00	Freeman Family Trust	1729 Cypress Point Gln	1729 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-23-00	Hobbs Clifford C Jr &	1723 Cypress Point Gln	1723 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-24-00	Cox Family Trust 11-19-03	1717 Cypress Point Gln	1717 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-25-00	Baldino Jeanette B	1711 Cypress Point Gln	1711 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-26-00	Ryan Joan E Separate	1705 Cypress Point Gln	1705 Cypress Point Gln	Escondido CA 92026	1.000	\$17.64
224-952-27-00	Chlebowski Family Trust	1703 Doral Gln	1703 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-28-00	Waldron Patrick & Rose M	1709 Doral Gln	1709 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-29-00	Calac Revocable Living	1715 Doral Gln	1715 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-30-00	Dalton Carolyn L Trust	1721 Doral Gln	1721 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-31-00	Mccoymcdonald Trust	1727 Doral Gln	1727 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-32-00	Vanengelen Henry & Licia	1733 Doral Gln	1733 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-33-00	Snyder Margot Trust	1739 Doral Gln	1739 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-34-00	James Richard E & Mardee	1745 Doral Gln	1745 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-35-00	Bittinger John & Christina	1751 Doral Gln	1751 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-36-00	Browning Athena D	1757 Doral Gln	1757 Doral Gln	Escondido CA 92026	1.000	\$17.64
224-952-37-00	Kelly Bernard & Annabelle	1753 Muirfield Gln	1753 Muirfield Gln	Escondido CA 92026	1.000	\$17.64
224-952-38-00	Zander Margaret Family	1747 Muirfield Gln	92 Corporate Park #c	Irvine CA 92606	1.000	\$17.64
224-952-39-00	Reich Revocable Trust	1741 Muirfield Gln	1741 Muirfield Gln	Escondido CA 92026	1.000	\$17.64
224-952-40-00	Carlson Gilbert L	1735 Muirfield Gln	1735 Muirfield Gln	Escondido CA 92026	1.000	\$17.64
224-952-41-00	Groh Family Trust	1729 Muirfield Gln	1729 Muirfield Gln	Escondido CA 92026	1.000	\$17.64
224-952-42-00	Wolfe Margot	1723 Muirfield Gln	P O Box 1771	Escondido CA 92033	1.000	\$17.64
224-952-43-00	Sandvik Sarah M Trust	1717 Muirfield Gln	1717 Muirfield Gln	Escondido CA 92026	1.000	\$17.64
224-952-44-00	Storms Deborah L 2011	1711 Muirfield Gln	1711 Muirfield Gln	Escondido CA 92026	1.000	\$17.64
224-952-45-00	Dubord Jacques & Amy	1705 Muirfield Gln	25660 Rue De Lac	Escondido CA 92026	1.000	\$17.64
224-952-46-00	Wolfe Family Trust	2160 Royal Lytham Gln	P O Box 1771	Escondido CA 92033	1.000	\$17.64
224-952-47-00	Chamberlain Family Trust	2156 Royal Lytham Gln	2156 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-48-00	Gilliland Jo A 1997 Trust	2152 Royal Lytham Gln	2152 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-49-00	Kanikula Jarek	2148 Royal Lytham Gln	2148 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-50-00	Snyder Barbara S Trust	2144 Royal Lytham Gln	2144 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-51-00	Wertheimer Irwin S &	2140 Royal Lytham Gln	2140 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-52-00	Barnett Alan M & Sheila	2136 Royal Lytham Gln	2136 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-53-00	Jahn Family Trust 05-09-05	2128 Royal Lytham Gln	2128 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-54-00	Meyer Family Trust	2124 Royal Lytham Gln	2124 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-55-00	Gieck Michael C & Orozco	2120 Royal Lytham Gln	2120 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-56-00	Dunn Family Trust	2116 Royal Lytham Gln	2116 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-57-00	Draper Ken & Kathy	2112 Royal Lytham Gln	2112 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-58-00	Lockett Colette J	2108 Royal Lytham Gln	2108 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-59-00	Laperle Gary	2104 Royal Lytham Gln	2104 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-60-00	Shaffer Marlene	2103 Royal Lytham Gln	2103 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-61-00	Baker Maria	2107 Royal Lytham Gln	2107 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-62-00	Everson Carl E & Donna A	2111 Royal Lytham Gln	2111 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-63-00	Nejame Betty J	2115 Royal Lytham Gln	444 N El Camino Real #28	Encinitas CA 92024	1.000	\$17.64
224-952-64-00	Rudolph Gloria S Trust	2119 Royal Lytham Gln	P O Box 460671	Escondido CA 92046	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-952-65-00	Magnes Cindy	2123 Royal Lytham Gln	2424 Atlantic Blvd	Wantagh NY 11793	1.000	\$17.64
224-952-66-00	Hamer Lloyd L & Steiger	2127 Royal Lytham Gln	2127 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-67-00	Korody Marisa L	2131 Royal Lytham Gln	2131 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-68-00	Labarre Revocable Trust	2135 Royal Lytham Gln	1840 Altamira Pl	San Diego CA 92103	1.000	\$17.64
224-952-69-00	Swanson Frank M & Lara C	2139 Royal Lytham Gln	2139 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-70-00	Ecker Family 1998 Trust	2143 Royal Lytham Gln	2143 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-71-00	Bueta James G & Alma G	2147 Royal Lytham Gln	2147 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-72-00	Kennedy Robert N &	2151 Royal Lytham Gln	2151 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-73-00	Iller Rodney D & Janice K	2155 Royal Lytham Gln	2155 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-952-74-00	Tammara Lucille M Family	2159 Royal Lytham Gln	2159 Royal Lytham Gln	Escondido CA 92026	1.000	\$17.64
224-960-12-00	Miller Family Trust	1843 Sunbury St	1843 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-960-13-00	Corich Family Trust	1833 Sunbury St	1337 Oak View Way	Escondido CA 92029	1.000	\$17.64
224-960-14-00	Keller Daniel O Trust	1823 Sunbury St	2271 Ritter Pl	Escondido CA 92029	1.000	\$17.64
224-960-15-00	Weiss John A Living Trust	1813 Sunbury St	1813 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-960-16-00	Hilton William E &	1803 Sunbury St	1803 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-960-17-00	Winters Charles A & Louise	1773 Harold Rd	1773 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-18-00	Santos Patricia	1769 Harold Rd	1769 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-19-00	Bain D C Trust 02-14-91	1765 Harold Rd	1765 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-20-00	Mikell Elsie 2006 Trust	1761 Harold Rd	1761 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-21-00	Ahern Jeffrey	1757 Harold Rd	1757 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-22-00	Murphy Family Trust	1753 Harold Rd	1753 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-23-00	Gary Owen S & Susan L	1771 Edgebrook Pl	1771 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-24-00	Cavazos Hugo & Martha L	1761 Edgebrook Pl	1761 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-25-00	Cai Maggie	1751 Edgebrook Pl	1751 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-26-00	Souza David R & Sandra E	1741 Edgebrook Pl	1741 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-27-00	Donato Anthony & Dora	1731 Edgebrook Pl	1731 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-28-00	Soto Armando R & Laura B	1732 Edgebrook Pl	1732 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-29-00	Koralewski C Clifford &	1742 Edgebrook Pl	1742 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-30-00	Garber 1994 Family Trust	1752 Edgebrook Pl	1752 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-31-00	Kelley Margaret C	1762 Edgebrook Pl	1762 Edgebrook Pl	Escondido CA 92026	1.000	\$17.64
224-960-32-00	Creed Kenneth S & Loretta	1772 Edgebrook Pl	5900 Pasteur Ct #200	Carlsbad CA 92008	1.000	\$17.64
224-960-33-00	Corich Family Trust	1745 Harold Rd	1337 Oak View Way	Escondido CA 92029	1.000	\$17.64
224-960-34-00	Antor Family Trust	1741 Harold Rd	1741 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-35-00	Khuu-nguyen Living Trust	1742 Harold Rd	1742 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-36-00	Moore Family Trust	1744 Harold Rd	1744 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-37-00	Johnson Wesley H &	1748 Harold Rd	1748 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-38-00	Corich Family Trust	1754 Harold Rd	1337 Oak View Way	Escondido CA 92029	1.000	\$17.64
224-960-39-00	Large Mary M Revocable	1758 Harold Rd	1758 Harold Rd	Escondido CA 92026	1.000	\$17.64
224-960-40-00	Caustin Family Trust	1760 Harold Rd	1722 Daybreak Pl	Escondido CA 92027	1.000	\$17.64
224-960-41-00	Gill Virginia V	1814 Sunbury St	1814 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-960-42-00	Ertman Family Trust	1824 Sunbury St	1824 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-960-43-00	Sisk Gary & Creed James	1834 Sunbury St	1834 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-960-44-00	Ortiz Ralph	1844 Sunbury St	1844 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-01-00	Brock Martha M	1894 Sunbury St	1894 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-02-00	Sanchez Family Trust	1884 Sunbury St	1884 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-03-00	Mitchell Antonia Revocable	1874 Sunbury St	1874 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-04-00	Buehler Family Trust	1788 Pinehurst Ave	1788 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-05-00	Faretta Robert & Megan	1743 Country Club Ln West	1743 W Country Club Ln	Escondido CA 92026	1.000	\$17.64

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-961-06-00	Williams David A & Glory L	1733 Country Club Ln West	1733 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-961-07-00	M L Group L L C	1780 Pinehurst Ave	7809 Entrada De Luz E	San Diego CA 92127	1.000	\$17.64
224-961-08-00	Weseloh Family Trust	1772 Pinehurst Ave	P O Box 920	Escondido CA 92033	1.000	\$17.64
224-961-09-00	Castello Family Trust	1723 Country Club Ln	1723 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-961-10-00	Dalton Carolyn L Trust	1713 Country Club Ln West	1713 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-961-11-00	Dobrinio Thomas M &	1764 Pinehurst Ave	2104 View Crest Gln	Escondido CA 92026	1.000	\$17.64
224-961-12-00	Lohse Family Trust	1756 Pinehurst Ave	1756 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-13-00	Stringham 1990 Family	1693 Country Club Ln West	1693 W Country Club Ln	Escondido CA 92026	1.000	\$17.64
224-961-14-00	Cloney Family Trust	1748 Pinehurst Ave	1748 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-15-00	Sweeney David & Teresa	1740 Pinehurst Ave	1740 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-16-00	Roberts Stephen E & Ellen	1732 Pinehurst Ave	1732 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-17-00	Grant Patricia S Trust	1724 Pinehurst Ave	1724 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-18-00	Rhodes Bradley D & Joyce	1716 Pinehurst Ave	1716 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-19-00	Miner Donald & Denise	1708 Pinehurst Ave	1708 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-20-00	Olson Revocable Trust	1705 Pinehurst Ave	1705 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-21-00	Baldry George K & Nancy S	1715 Pinehurst Ave	1715 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-22-00	Peterson Charles K 2000	1723 Pinehurst Ave	1723 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-23-00	Rubin Joseph & Elizabeth	1729 Pinehurst Ave	1729 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-24-00	Obrien Dennis & Roberta	1858 Tawny Pl	1858 Tawny Pl	Escondido CA 92026	1.000	\$17.64
224-961-25-00	Talansky Allen M & Sheila	1848 Tawny Pl	1848 Tawny Pl	Escondido CA 92026	1.000	\$17.64
224-961-26-00	Ruiz-fekete Rosa Trust	1838 Tawny Pl	1838 Tawny Pl	Escondido CA 92026	1.000	\$17.64
224-961-27-00	Mortensen Michael S &	1827 Tawny Pl	1827 Tawny Pl	Escondido CA 92026	1.000	\$17.64
224-961-28-00	Meier Survivors 1991 Trust	1839 Tawny Pl	1839 Tawny Pl	Escondido CA 92026	1.000	\$17.64
224-961-29-00	Marland Derek & Carolyn E	1849 Tawny Pl	1849 Tawny Pl	Escondido CA 92026	1.000	\$17.64
224-961-30-00	Fletcher Family Trust	1761 Pinehurst Ave	1761 Pinehurst Ave	Escondido CA 92026	1.000	\$17.64
224-961-31-00	Lindsey Devaughn	1856 Burlington Pl	1856 Burlington Pl	Escondido CA 92026	1.000	\$17.64
224-961-32-00	Day Patricia M Trust	1846 Burlington Pl	1846 Burlington Pl	Escondido CA 92026	1.000	\$17.64
224-961-33-00	Voyager Trust 08-16-11	1836 Burlington Pl	2437 Moonlight Gln	Escondido CA 92026	1.000	\$17.64
224-961-34-00	Brenner Charles J Jr &	1826 Burlington Pl	1826 Burlington Pl	Escondido CA 92026	1.000	\$17.64
224-961-35-00	Grimes Family Trust	1835 Burlington Pl	1835 Burlington Pl	Escondido CA 92026	1.000	\$17.64
224-961-36-00	Hanly Denise E	1845 Burlington Pl	18665 Old Coach Way	Poway CA 92064	1.000	\$17.64
224-961-37-00	Coffey Mary F Trust	1855 Burlington Pl	1855 Burlington Pl	Escondido CA 92026	1.000	\$17.64
224-961-38-00	Dunn Doris E Tr	1854 Sunbury St	1854 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-39-00	Fenlason Nathanael C &	1893 Sunbury St	1893 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-40-00	Wilner Joshua & Melanie	1883 Sunbury St	1883 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-41-00	Cyr Family Trust 03-02-92	1873 Sunbury St	P O Box 461526	Escondido CA 92046	1.000	\$17.64
224-961-42-00	Spasovski Dusko & Natalie	1863 Sunbury St	1863 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-43-00	Grandon Ryan & Jessica	1853 Sunbury St	1853 Sunbury St	Escondido CA 92026	1.000	\$17.64
224-961-45-00	Moen Family Revocable	1815 Cottonwood Pl	1779 Echo Valley Ln	Escondido CA 92026	1.000	\$17.64
224-961-46-00	Moen Family Revocable	Cottonwood Pl	1779 Echo Valley Ln	Escondido CA 92026	1.000	\$17.64
Totals:		Parcels:	1,528		1,571.249	\$27,716.76

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-971-01-00	Voll Sharon	837 Lochwood Pl	2959 Rocky Ridge Loop	Canyon Lake TX	1	\$256.06
224-971-02-00	Rhoads William & Verena	833 Lochwood Pl	833 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-03-00	Dytianquin Jesse &	829 Lochwood Pl	829 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-04-00	Post Stephen & Kathleen	825 Lochwood Pl	1558 Dara St	Camarillo CA 93010	1	\$256.06
224-971-05-00	Orlof Halina Living Trust	821 Lochwood Pl	507 Peach Way	San Marcos CA	1	\$256.06
224-971-06-00	Horton Craig B & Loretta L	817 Lochwood Pl	817 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-07-00	Vienna Glen A & Houston	813 Lochwood Pl	813 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-08-00	Moskowitz Michael T	809 Lochwood Pl	809 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-09-00	Teranishi Arthur M	805 Lochwood Pl	805 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-10-00	Engelbert Donna M 2010	749 Lochwood Pl	749 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-11-00	Laws Sean	745 Lochwood Pl	745 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-12-00	Botts Janice E	741 Lochwood Pl	741 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-13-00	Clark Corey J & Michelle	737 Lochwood Pl	737 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-14-00	Andreas 2004 07-06-04	733 Lochwood Pl	733 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-15-00	Frank Michael S & Joan N	729 Lochwood Pl	729 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-16-00	Jackson Judith A	732 Lochwood Pl	732 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-17-00	Robertson Curtis D	736 Lochwood Pl	736 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-18-00	Piumelli Family Trust	740 Lochwood Pl	740 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-19-00	Chinofsky Larry	744 Lochwood Pl	744 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-20-00	Chung Cory Lon & Tammy	748 Lochwood Pl	748 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-21-00	Sepesy Allison C	804 Lochwood Pl	804 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-22-00	Adams Family Credit	808 Lochwood Pl	31989 Corte Castro	Temecula CA 92592	1	\$256.06
224-971-23-00	Chanthaphavong Thene &	812 Lochwood Pl	812 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-24-00	Mendez Israel M & Luz E	816 Lochwood Pl	816 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-25-00	Peet Aaron & Amanda	820 Lochwood Pl	820 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-26-00	Ross Paul	824 Lochwood Pl	824 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-27-00	Oliveros Hegino E M	828 Lochwood Pl	828 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-28-00	J R Schmidt Construction	832 Lochwood Pl	7824 Santaluz Inlt	San Diego CA 92127	1	\$256.06
224-971-29-00	Humphrey Marie L Trust	836 Lochwood Pl	836 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-30-00	Fox Nathaniel & Sarah M	840 Lochwood Pl	840 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-971-31-00	Wilma Family Trust	835 Cleveland Ave	2740 Crownpoint Pl	Escondido CA 92027	1	\$256.06
224-971-32-00	Vu Huan & Nguyen Lan Thi	831 Cleveland Ave	831 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-33-00	Edwards Darrell R	827 Cleveland Ave	827 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-34-00	Rincon Samuel & Sandra	823 Cleveland Ave	823 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-35-00	Mendez Reyna G	819 Cleveland Ave	819 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-36-00	Colangelo Dominic & Lynn	815 Cleveland Ave	815 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-37-00	Whitney Robert R	811 Cleveland Ave	811 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-38-00	Mcdowell Barton L &	807 Cleveland Ave	807 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-39-00	Kenitz Patricia Tr	749 Cleveland Ave	749 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-40-00	Wynn James M Special	745 Cleveland Ave	8513 Bainbridge Loop Ne	Olympia WA 98516	1	\$256.06
224-971-41-00	Ramirez Juan & Blanca	741 Cleveland Ave	741 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-42-00	Crouch Rosemarie	739 Cleveland Ave	739 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-43-00	Jones Bruce D Jr & Sherri	733 Cleveland Ave	733 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-44-00	Elkins Stephen E & Susan J	729 Cleveland Ave	729 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-971-45-00	Hillman Maya	725 Cleveland Ave	725 Cleveland Ave	Escondido CA 92026	1	\$256.06
224-972-01-00	Gonzalezsevilla Fermin O	2363 Conway Dr	2363 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-02-00	Rodriguez Rogelio H	2359 Conway Dr	2359 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-03-00	Nambo Araceli	2355 Conway Dr	2355 Conway Dr	Escondido CA 92026	1	\$256.06

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-972-04-00	Vanderlyke Gary K &	2351 Conway Dr	2351 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-05-00	Vondane Muriel M	2347 Conway Dr	2347 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-06-00	Czaykowska Lucyna J Trust	2343 Conway Dr	2343 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-07-00	Chwekun David &	2339 Conway Dr	2339 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-08-00	Adams Family Credit	2335 Conway Dr	31989 Corte Castro	Temecula CA 92592	1	\$256.06
224-972-09-00	Olivares Phillip W Trust	2331 Conway Dr	33021 Surfriider Ct	San Juan Capistrano	1	\$256.06
224-972-10-00	Camacho Hector S &	2327 Conway Dr	2327 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-11-00	Montes Guillermo & Maria	2323 Conway Dr	2323 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-12-00	Robinson Revocable Trust	2319 Conway Dr	2319 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-13-00	Danscuk Joseph & Lillian L	2315 Conway Dr	2315 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-14-00	Leffler Taylor	2311 Conway Dr	2311 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-15-00	Diaz Terry E	2307 Conway Dr	2307 Conway Dr	Escondido CA 92026	1	\$256.06
224-972-16-00	Ozuna Adela F	2302 Fair Oak Ct	2302 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-972-17-00	Garcia Jose L & Graciela	2304 Fair Oak Ct	2304 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-972-18-00	Bejarano Javier	2306 Fair Oak Ct	2306 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-972-19-00	Holtz Scott P & Laura J	2308 Fair Oak Ct	2308 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-972-20-00	Hoover Trust 04-05-93	811 Lanewood PI	811 Lanewood PI	Escondido CA 92026	1	\$256.06
224-972-21-00	Conley Willie D & Kathleen	825 Lanewood PI	825 Lanewood PI	Escondido CA 92026	1	\$256.06
224-972-22-00	Lindgren Arne S & Nancy C	826 Lanewood PI	7247 Spoonbill Ln		1	\$256.06
224-972-23-00	Griffith Jeff D	822 Lanewood PI	822 Lanewood PI	Escondido CA 92026	1	\$256.06
224-972-24-00	Albright Charles B &	818 Lanewood PI	818 Lanewood PI	Escondido CA 92026	1	\$256.06
224-972-25-00	Moore James K & Mary R	814 Lanewood PI	814 Lanewood PI	Escondido CA 92026	1	\$256.06
224-972-26-00	Baedor Thomas R &	810 Lanewood PI	810 Lanewood PI	Escondido CA 92026	1	\$256.06
224-972-27-00	Hood Ashley	809 Timberwood PI	809 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-28-00	Cruickshank Emerson	813 Timberwood PI	813 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-29-00	Lentulo George & Elisabeth	817 Timberwood PI	817 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-30-00	Scioscia John H &	821 Timberwood PI	3622 Broderick St #3	San Francisco CA	1	\$256.06
224-972-31-00	Richardson Kenneth E &	825 Timberwood PI	3515 Lomas Serenas Dr	Escondido CA 92029	1	\$256.06
224-972-32-00	Freitas Robert & Tisha D	829 Timberwood PI	829 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-33-00	Kemble Jacob	828 Timberwood PI	828 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-34-00	Ortmeier Steve & Tiffany	824 Timberwood PI	824 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-35-00	Esparza Porfirio F & Naomi	820 Timberwood PI	820 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-36-00	Bonk Andrew C	816 Timberwood PI	816 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-37-00	Worbington Brian K &	812 Timberwood PI	812 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-38-00	Liss Dustin A	808 Timberwood PI	808 Timberwood PI	Escondido CA 92026	1	\$256.06
224-972-39-00	Duniphan Timothy V & Teri	807 Glenwood Way	2945 Jesmond Dene Heights	Escondido CA 92026	1	\$256.06
224-972-40-00	Knox Kyle C & Kathleen Y	813 Glenwood Way	813 Glenwood Way	Escondido CA 92026	1	\$256.06
224-972-41-00	Panferov Viktor & Svetlana	817 Glenwood Way	817 Glenwood Way	Escondido CA 92026	1	\$256.06
224-972-42-00	Palacios Philip J & Nora M	821 Glenwood Way	821 Glenwood Way	Escondido CA 92026	1	\$256.06
224-972-43-00	Kelly Marcia Revocable	825 Glenwood Way	825 Glenwood Way	Escondido CA 92026	1	\$256.06
224-972-44-00	Tran Can Van Trust	829 Glenwood Way	8835 Greenberg Ln	San Diego CA 92129	1	\$256.06
224-972-45-00	Albana Yannis	833 Glenwood Way	833 Glenwood Way	Escondido CA 92026	1	\$256.06
224-973-01-00	Reyes Henry	2407 Conway Dr	1326 Magnolia Ave	Escondido CA 92027	1	\$256.06
224-973-02-00	Phanhthilath Kohn &	2403 Conway Dr	2403 Conway Dr	Escondido CA 92026	1	\$256.06
224-973-03-00	Frederick Bruce N	834 Glenwood Way	834 Glenwood Way	Escondido CA 92026	1	\$256.06
224-973-04-00	Clark Separate Property	830 Glenwood Way	2356 Briarwood PI	Escondido CA 92026	1	\$256.06
224-973-05-00	Truong Thien Huu & Anne	826 Glenwood Way	826 Glenwood Way	Escondido CA 92026	1	\$256.06
224-973-06-00	Tavesora Cesar & Mercelita	822 Glenwood Way	10 Centerstone Cir	Buena Park CA	1	\$256.06

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-973-07-00	Hansen Daniel	818 Glenwood Way	818 Glenwood Way	Escondido CA 92026	1	\$256.06
224-973-08-00	Hoadley Family Trust	814 Glenwood Way	2531 Peet Ln	Escondido CA 92025	1	\$256.06
224-973-09-00	Faulkner Robert	810 Glenwood Way	810 Glenwood Way	Escondido CA 92026	1	\$256.06
224-973-10-00	Hoadley Family Trust	806 Glenwood Way	2531 Peet Ln	Escondido CA 92025	1	\$256.06
224-973-11-00	Liberty Lawrence F Iii &	802 Glenwood Way	1530 N Poinsettia Pl #338	Los Angeles CA	1	\$256.06
224-973-12-00	Cahill Braydon R & Heather	2345 Fair Oak Ct	2345 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-13-00	Neitzel Steven K & Mary E	2343 Fair Oak Ct	2343 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-14-00	Mcclure Brandon	2341 Fair Oak Ct	2341 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-15-00	Lopez Sergio Z	2339 Fair Oak Ct	2136 Emberwood Way	Escondido CA 92029	1	\$256.06
224-973-16-00	Closter Klayton S &	2337 Fair Oak Ct	2337 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-17-00	Ordorica Filemon	2335 Fair Oak Ct	2335 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-18-00	Delatorre Sergio & Marcela	2333 Fair Oak Ct	2333 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-19-00	Anzai Family Trust	2331 Fair Oak Ct	2331 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-20-00	Bloink Thomas L	2329 Fair Oak Ct	2329 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-21-00	Baron Mark & Susan	2327 Fair Oak Ct	2327 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-22-00	Edwards Ronald & Patty	2325 Fair Oak Ct	2325 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-23-00	Paras Nimfa N	2323 Fair Oak Ct	2323 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-24-00	Koppel Neal B Revocable	2321 Fair Oak Ct	2321 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-25-00	Hotchkiss Glenn R	2319 Fair Oak Ct	31401 Corte Sonora	Temecula CA 92592	1	\$256.06
224-973-26-00	Ramos Joaquin P	2317 Fair Oak Ct	2317 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-27-00	Delatorre Joel & Emelia L	2315 Fair Oak Ct	2315 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-28-00	Rader Family Revocable	2313 Fair Oak Ct	2660 Sunset Hls	Escondido CA 92025	1	\$256.06
224-973-29-00	Pruitt George Trust	2311 Fair Oak Ct	P O Box 1051	Oceanside CA 92051	1	\$256.06
224-973-30-00	Watts Kerry L	2309 Fair Oak Ct	2309 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-31-00	Lienhard John & Emily	2307 Fair Oak Ct	2307 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-32-00	Ortiz Raymundo S &	2305 Fair Oak Ct	2305 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-973-33-00	Patterson Thomas L Sole &	2303 Fair Oak Ct	1015 Iris Ct		1	\$256.06
224-973-34-00	Puente Joseph & Van	2301 Fair Oak Ct	2301 Fair Oak Ct	Escondido CA 92026	1	\$256.06
224-981-01-00	Manley John J & Jane M	910 Lochwood Pl	910 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-02-00	Last San Diego Revocable	920 Lochwood Pl	1891 Continental Ln	Escondido CA 92029	1	\$256.06
224-981-03-00	Sanchez Eliseo A & Martha	930 Lochwood Pl	930 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-04-00	Gorham Revocable Living	940 Lochwood Pl	940 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-05-00	Mckinley James & Julia	1010 Lochwood Pl	1010 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-06-00	Dang Xe & Truong Cuc	1020 Lochwood Pl	1020 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-07-00	Ancheta Ramon M & Ruby	1030 Lochwood Pl	1030 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-08-00	Estanol Joseph Sr	1040 Lochwood Pl	1040 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-09-00	Otte Harry & Melissa A	1050 Lochwood Pl	1050 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-10-00	Aellig Family Trust	1110 Lochwood Pl	1110 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-11-00	Jackson David K Ii &	1120 Lochwood Pl	1120 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-12-00	Nguyen Hung Huu &	1130 Lochwood Pl	1130 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-13-00	Imgrund Jodene	1140 Lochwood Pl	1140 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-14-00	Duncan Larry W & Rhonda	1150 Lochwood Pl	1150 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-15-00	Neumann Jeffrey M &	1160 Lochwood Pl	1160 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-16-00	Valenzuela William &	1170 Lochwood Pl	1170 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-981-17-00	Rathbun Craig W & Amanda	2440 Lake Forest St	2440 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-18-00	Kazlauskas Andrius & Egle	2438 Lake Forest St	2438 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-19-00	Anderson Family Trust	2436 Lake Forest St	P O Box 387	San Marcos CA	1	\$256.06
224-981-20-00	Harman Family Trust	2434 Lake Forest St	2434 Lake Forest St	Escondido CA 92026	1	\$256.06

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-981-21-00	Bennetts Jason & Melanie	2432 Lake Forest St	2432 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-22-00	Nunez Kurt R & Lisa A	2430 Lake Forest St	707 10th Ave #402	San Diego CA 92101	1	\$256.06
224-981-23-00	Johnson Michael G &	2428 Lake Forest St	940 Briant St	San Marcos CA	1	\$256.06
224-981-24-00	Pendell Valerie L Living	2426 Lake Forest St	2426 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-25-00	Griggs Keith A & Cheryl B	2424 Lake Forest St	2424 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-26-00	Gruber Family Trust	2422 Lake Forest St	13988 Pequot Dr	Poway CA 92064	1	\$256.06
224-981-27-00	Turner Family 1998 Trust	2420 Lake Forest St	2420 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-28-00	Spitzer Larry	2418 Lake Forest St	2418 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-29-00	Lin Wen-ching	2416 Lake Forest St	2081 Nola Ranch Way	San Jose CA 95133	1	\$256.06
224-981-30-00	Weldy John P & Christine F	2414 Lake Forest St	2414 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-31-00	Roberts Joseph R & Trunzo	2412 Lake Forest St	2412 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-32-00	Machado James P &	2410 Lake Forest St	2410 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-33-00	Ogden Holly L	2408 Lake Forest St	2408 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-34-00	Abitria Family Trust	2406 Lake Forest St	110 Village Rd	Escondido CA 92026	1	\$256.06
224-981-35-00	Tran Kennedy & Nguyen	2404 Lake Forest St	2404 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-36-00	Thompson Family Living	2402 Lake Forest St	2402 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-37-00	Ferri Kyle L & Maria R	2360 Lake Forest St	2360 Lake Forest St	Escondido CA 92026	1	\$256.06
224-981-38-00	Zendejas Oscar	2358 Lake Forest St	2358 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-01-00	Ricardez Claudio A	2402 Heatherwood Ct	2402 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-02-00	Culpitt Jane A	2404 Heatherwood Ct	2404 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-03-00	Engblom Family Trust	2406 Heatherwood Ct	2406 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-04-00	Inga Mitchell J A & Ashely	2408 Heatherwood Ct	2408 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-05-00	Gottfried David & Ana M	2410 Heatherwood Ct	2410 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-06-00	Tran Trust 06-03-04	2412 Heatherwood Ct	2412 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-07-00	Boberg Shelby L	2414 Heatherwood Ct	28776 Mac Tan Rd	Valley Center CA	1	\$256.06
224-982-08-00	Swanson C Dan & Nancy M	2424 Heatherwood Ct	11427 Cypress Woods Dr	San Diego CA 92131	1	\$256.06
224-982-09-00	Frulla Irene A & Gemma B	2426 Heatherwood Ct	2426 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-10-00	The Maculan Family L P	2428 Heatherwood Ct	858 Huckleberry Ln	Escondido CA 92025	1	\$256.06
224-982-11-00	Carvajal Adrian & Renee	2430 Heatherwood Ct	15601 Viking Grove Ln	Valley Center CA	1	\$256.06
224-982-12-00	Schwartz Steven & Lori	2432 Heatherwood Ct	2432 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-13-00	Lane Daniel S & Margaret	2434 Heatherwood Ct	2434 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-14-00	Priddy Heather K	2436 Heatherwood Ct	2436 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-15-00	Vaughn Family 1992 Trust	2438 Heatherwood Ct	2438 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-16-00	Faber Howard L & Garneth	2440 Heatherwood Ct	581 Cox Rd	San Marcos CA	1	\$256.06
224-982-17-00	Thornton Mitchell R &	2442 Heatherwood Ct	2442 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-20-00	Javien Joseph & Krystal	2435 Smokewood Pl	2435 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-21-00	Reyes Rodney	2433 Smokewood Pl	2433 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-22-00	Darfus Keith	2431 Smokewood Pl	2431 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-23-00	Costanzo Margaret M	2429 Smokewood Pl	2429 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-24-00	Schwartz Family Trust	2427 Smokewood Pl	2427 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-25-00	Shutzbaugh George O &	2425 Smokewood Pl	2425 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-26-00	Jayasinghe Revocable Trust	2423 Smokewood Pl	806 Crestview Ct	San Marcos CA	1	\$256.06
224-982-27-00	Webb Lloyd B & Linda S	2421 Smokewood Pl	2421 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-28-00	Malfavon Elias A &	2422 Smokewood Pl	2422 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-29-00	Grimes Douglas W & Lori M	2424 Smokewood Pl	1421 Lisa Way	Escondido CA 92027	1	\$256.06
224-982-30-00	Johnson Marian E Living	2426 Smokewood Pl	2426 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-31-00	Riske Mathilda J	2428 Smokewood Pl	2428 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-32-00	Bonilla Todd & Julie E	2430 Smokewood Pl	2430 Smokewood Pl	Escondido CA 92026	1	\$256.06

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-982-33-00	Mansour Lili	2432 Smokewood Pl	2432 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-34-00	Morck Gay-anita Trust	2434 Smokewood Pl	2434 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-35-00	Riding Buddy D	2436 Smokewood Pl	2436 Smokewood Pl	Escondido CA 92026	1	\$256.06
224-982-36-00	Snodgrass James B &	1121 Lochwood Pl	1853 W Jones Creek Rd	Grants Pass OR	1	\$256.06
224-982-37-00	Phan Lien Living Trust	1131 Lochwood Pl	1131 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-982-38-00	Bazarnik Wlodzimierz &	1141 Lochwood Pl	1141 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-982-39-00	Freeman Jennifer	1151 Lochwood Pl	1151 Lochwood Pl	Escondido CA 92026	1	\$256.06
224-982-40-00	Nguyen Phuong Thanh &	2431 Lake Forest St	2431 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-41-00	Dionisio Manuel A &	2429 Lake Forest St	2429 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-42-00	Ho Tam & Le Jenny	2427 Lake Forest St	2427 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-43-00	Reelitz Randall & Janis	2425 Lake Forest St	2425 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-44-00	Mcmillan Scott L & Masako	2423 Lake Forest St	2231 Creekside Dr	Longmont CO 80504	1	\$256.06
224-982-45-00	Delahanty/connors Trust	2421 Lake Forest St	2421 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-46-00	Campo Sherry L Trust	2419 Lake Forest St	2419 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-47-00	Bayan 2014 Trust	2417 Lake Forest St	919 North Ave	Escondido CA 92026	1	\$256.06
224-982-48-00	Stout Family Trust	2415 Lake Forest St	2415 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-49-00	Schult Mark & Julie	2413 Lake Forest St	2413 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-50-00	Davis Wayne A & Sharon K	2411 Lake Forest St	2411 Lake Forest St	Escondido CA 92026	1	\$256.06
224-982-52-00	Garvin Joseph M & Alisha A	2444 Heatherwood Ct	2444 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-982-53-00	Knapp Patricia	2437 Smokewood Pl	P O Box 6291	Anaheim CA 92816	1	\$256.06
224-983-01-00	Whalley Kevin	2403 Heatherwood Ct	2403 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-02-00	Soto Juan L & Maricela M	2405 Heatherwood Ct	2405 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-03-00	Frawley Brian &	2407 Heatherwood Ct	2407 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-04-00	Montville John A & Linda J	2409 Heatherwood Ct	2409 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-05-00	Sears Living Trust 01-10-08	2411 Heatherwood Ct	2411 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-06-00	Franco-arciniega Jessica	2413 Heatherwood Ct	615 Cox Rd	San Marcos CA	1	\$256.06
224-983-07-00	Corona Jaime & Donilia	2415 Heatherwood Ct	2415 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-08-00	Miller James R & Carolyn	2417 Heatherwood Ct	2531 Filmott Gln	Escondido CA 92029	1	\$256.06
224-983-09-00	Gustafson Kristi Living	2419 Heatherwood Ct	4550 Hanoi Pl		1	\$256.06
224-983-10-00	Bishop Carlos A & Virginia	2421 Heatherwood Ct	2421 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-11-00	Romero Carrie L	2423 Heatherwood Ct	2423 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-12-00	Talbott Christopher &	2425 Heatherwood Ct	2425 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-13-00	Small Family Trust	2427 Heatherwood Ct	2427 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-14-00	Becker J H Family L P	2429 Heatherwood Ct	356 Calle Vela	San Marcos CA	1	\$256.06
224-983-15-00	Phung Ha Tan & Nguyen	2431 Heatherwood Ct	2200 W War Memorial Dr	Peoria IL 61613	1	\$256.06
224-983-16-00	Bootsma Allen & Kim	2433 Heatherwood Ct	2433 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-17-00	Carter Dawn M	2435 Heatherwood Ct	2435 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-18-00	Abed Hikmat Revocable	2437 Heatherwood Ct	920 S Hale Ave #22	Escondido CA 92029	1	\$256.06
224-983-19-00	Ortiz Juan & Josefina	2439 Heatherwood Ct	1656 Silver Tree Ln	Escondido CA 92026	1	\$256.06
224-983-20-00	Taylor Daryl D	2441 Heatherwood Ct	2441 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-21-00	Ibarra Juan & Youna	2443 Heatherwood Ct	2443 Heatherwood Ct	Escondido CA 92026	1	\$256.06
224-983-22-00	Paz Luis M	2454 Conway Dr	2454 Conway Dr	Escondido CA 92026	1	\$256.06
224-983-23-00	Puleo Family Trust	2450 Conway Dr	2450 Conway Dr	Escondido CA 92026	1	\$256.06
224-983-24-00	Trpevski Goran & Kristina	2446 Conway Dr	2446 Conway Dr	Escondido CA 92026	1	\$256.06
224-983-25-00	Vargas David P & Christine	2442 Conway Dr	1658 Hubbard Pl	Escondido CA 92027	1	\$256.06
224-983-26-00	Witte Larsen Family Trust	2438 Conway Dr	345 W 9th Ave #102	Escondido CA 92025	1	\$256.06
224-983-27-00	Faulkner Robert F & Linda	2434 Conway Dr	1970 Rohn Rd	Escondido CA 92025	1	\$256.06
224-983-28-00	Boynton Richard C &	2430 Conway Dr	2430 Conway Dr	Escondido CA 92026	1	\$256.06

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-983-29-00	Zamat Hassan & Hanan A F	2426 Conway Dr	Apt 241 Sao Paulo		1	\$256.06
224-983-30-00	Seavello Joseph W & Karen	2422 Conway Dr	2422 Conway Dr	Escondido CA 92026	1	\$256.06
224-983-31-00	Moore Donald D & Deborah	2418 Conway Dr	3179 Sycamore Crest Pl	Escondido CA 92027	1	\$256.06
224-983-32-00	Holst Gregory A & Jeri R	2414 Conway Dr	2414 Conway Dr	Escondido CA 92026	1	\$256.06
224-983-33-00	Jones Leslie C & Linda S	2410 Conway Dr	950 Old Spanish Trl	Sierra Vista AZ	1	\$256.06
224-983-34-00	Ruda John J & Amanda	908 Glenwood Way	908 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-35-00	Narron Family Trust	914 Glenwood Way	15007 Jenell St	Poway CA 92064	1	\$256.06
224-983-36-00	Mullins Steven M	920 Glenwood Way	920 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-37-00	Vasquez Gary & Analiese	926 Glenwood Way	25940 Kaywood Way	Escondido CA 92026	1	\$256.06
224-983-38-00	Brannen Gisela	932 Glenwood Way	555 W Country Club Ln #c	Escondido CA 92026	1	\$256.06
224-983-39-00	Obrien Michael J & Karen L	938 Glenwood Way	938 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-40-00	Drake Ryan A & Raquel S	1004 Glenwood Way	1004 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-41-00	Weiler Family Trust	1010 Glenwood Way	1902 Summit Dr	Escondido CA 92027	1	\$256.06
224-983-42-00	Estrada Victor E	1016 Glenwood Way	1016 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-43-00	Hoover Darryl A & Dana R	1022 Glenwood Way	1022 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-44-00	Barlow Family Trust	1028 Glenwood Way	1028 Glenwood Way	Escondido CA 92026	1	\$256.06
224-983-45-00	Harris Seth M & Nadia N	1034 Glenwood Way	1034 Glenwood Way	Escondido CA 92026	1	\$256.06
224-984-01-00	Evans Jean J Trust	907 Glenwood Way	162 Buccaneer Dr	San Diego CA 92114	1	\$256.06
224-984-02-00	Andersen Family Trust	913 Glenwood Way	P O Box 383728	Waikoloa HI 96738	1	\$256.06
224-984-03-00	J J H & W L L C	919 Glenwood Way	1130 W 11th Ave	Escondido CA 92025	1	\$256.06
224-984-04-00	Shaw Donna L Living Trust	925 Glenwood Way	925 Glenwood Way	Escondido CA 92026	1	\$256.06
224-984-05-00	Oswald Sandra Lliving	931 Glenwood Way	931 Glenwood Way	Escondido CA 92026	1	\$256.06
224-984-06-00	Wallner Maryann	937 Glenwood Way	937 Glenwood Way	Escondido CA 92026	1	\$256.06
224-984-07-00	Ibanez Raymundo D & Diaz	1005 Glenwood Way	357 Marcos St	San Marcos CA	1	\$256.06
224-984-08-00	Sanchez Jorge & Karen J	1013 Glenwood Way	15655 Oakstand Rd	Poway CA 92064	1	\$256.06
224-984-09-00	Martinez Luis & Guadalupe	2345 Lake Forest St	2345 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-10-00	Givens Pamela J Legacy	2343 Lake Forest St	6383 Alexandri Cir		1	\$256.06
224-984-11-00	Heppner Shane K & Dana S	2341 Lake Forest St	2341 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-12-00	Cordero Diane L Tr	2339 Lake Forest St	2339 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-13-00	Beckman Family Trust	2337 Lake Forest St	19347 Casner Rd	Ramona CA 92065	1	\$256.06
224-984-14-00	Maldonado Medardo &	2335 Lake Forest St	15705 Viking Grove Ln	Valley Center CA	1	\$256.06
224-984-15-00	Ross Kay W Revocable	2333 Lake Forest St	2333 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-16-00	Yearyean Timothy R &	2331 Lake Forest St	2331 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-17-00	Shen Family Trust 08-05-09	2329 Lake Forest St	11361 Nahama Ln	San Diego CA 92130	1	\$256.06
224-984-18-00	Bumiller William R	2327 Lake Forest St	2327 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-19-00	Hays John L & Sheila L	2325 Lake Forest St	2325 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-20-00	John & Diana Trust	2323 Lake Forest St	2323 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-21-00	Vega Anselmo & Rosalva	2319 Lake Forest St	2319 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-22-00	Keooudom Xaykham &	2315 Lake Forest St	2315 Lake Forest St	Escondido CA 92026	1	\$256.06
224-984-23-00	Watkins Adam & Andrea M	2311 Lake Forest St	2311 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-01-00	Araujo Leonard	2310 Lake Forest St	630 S Nevada St	Oceanside CA 92054	1	\$256.06
224-985-02-00	Partridge Laura	2312 Lake Forest St	2312 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-03-00	Oribello Robert & Marissa	2314 Lake Forest St	2314 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-04-00	Ancheta Mark A	2316 Lake Forest St	2316 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-05-00	Daleo Jack & Vickie Trs	2318 Lake Forest St	2318 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-06-00	Debelen Alfin	2320 Lake Forest St	2320 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-07-00	Hutchinson Todd S	2322 Lake Forest St	2322 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-08-00	Tirado Eunice Trust	2324 Lake Forest St	2324 Lake Forest St	Escondido CA 92026	1	\$256.06

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 11

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
224-985-09-00	Schroeder Jonathan	2326 Lake Forest St	2326 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-10-00	Tobler Marygail	2328 Lake Forest St	P O Box 156	Escondido CA 92033	1	\$256.06
224-985-11-00	Allerman Lucille H Tr	2330 Lake Forest St	344 E Grand Ave	Escondido CA 92025	1	\$256.06
224-985-12-00	Nichols Sharon	2332 Lake Forest St	2332 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-13-00	Orr Norma E Revocable	2334 Lake Forest St	545 Avenida Blanco	San Marcos CA	1	\$256.06
224-985-14-00	Boze Christopher C Jr &	2336 Lake Forest St	2336 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-15-00	Bonnici Eden M	2338 Lake Forest St	10820 Hobble Ln	Spring Valley CA	1	\$256.06
224-985-16-00	Annis James W & Janice L	2340 Lake Forest St	2340 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-17-00	Hoang Phuong	2342 Lake Forest St	2342 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-18-00	Yurko Gregory J	2344 Lake Forest St	2344 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-19-00	Wilson Margaret 2005 Trust	2346 Lake Forest St	2346 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-20-00	Milla Oscar & Olivia	2348 Lake Forest St	2348 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-21-00	Souter Justin W & Kendall	2350 Lake Forest St	2350 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-22-00	J J & W L L C	2354 Lake Forest St	1130 W 11th Ave	Escondido CA 92025	1	\$256.06
224-985-23-00	Soltren Robert & Ellen	2356 Lake Forest St	2356 Lake Forest St	Escondido CA 92026	1	\$256.06
224-985-24-00	Farmer Robert E & Babette	2303 Briarwood Pl	2303 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-25-00	Williams Brett & Shannon	2307 Briarwood Pl	2307 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-26-00	Wendel Meg P Trust	2311 Briarwood Pl	3423 Lewis Ln	Owensboro KY	1	\$256.06
224-985-27-00	Luoma Genevieve L Trust	2315 Briarwood Pl	180 Cherokee Ln	Owens Cross Roads	1	\$256.06
224-985-28-00	Smith Kent S & Melody G	2319 Briarwood Pl	2319 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-29-00	Teguh Phan Family 2002	2323 Briarwood Pl	2323 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-30-00	Margowski Christopher A &	2327 Briarwood Pl	2327 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-31-00	Reynolds Mike L & Graham	2331 Briarwood Pl	2331 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-32-00	Wallace Harry B	2335 Briarwood Pl	1202 Bartley Pl	Escondido CA 92026	1	\$256.06
224-985-33-00	Velder Garrett F & Linda J	2339 Briarwood Pl	2339 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-34-00	Kellum Joey D	2343 Briarwood Pl	2343 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-35-00	Clark Separate Property	2347 Briarwood Pl	2356 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-36-00	Gilmore Geoffrey S & Julee	2351 Briarwood Pl	2343 Douglaston Gln	Escondido CA 92026	1	\$256.06
224-985-37-00	Spoo Laurence J &	2355 Briarwood Pl	2355 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-38-00	Spencer Samuel H &	2359 Briarwood Pl	2359 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-39-00	Rose Norman A 1999 Trust	2360 Briarwood Pl	2360 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-40-00	Clark Separate Property	2356 Briarwood Pl	2356 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-43-00	Suppa Family Trust	2344 Briarwood Pl	P O Box 8336	Rancho Santa Fe CA	1	\$256.06
224-985-44-00	Slocum Christine M	2340 Briarwood Pl	2340 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-45-00	Clark Tristram A & Sue E	2336 Briarwood Pl	2336 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-46-00	Richardson Family 2001	2332 Briarwood Pl	32280 Renoir Rd	Winchester CA	1	\$256.06
224-985-47-00	Hepler Family Revocable	2328 Briarwood Pl	2328 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-48-00	Bowlen Mark	2324 Briarwood Pl	2324 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-49-00	Velasco Brian & Sarah	2320 Briarwood Pl	2320 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-50-00	Curtis Joselito A &	2312 Briarwood Pl	2312 Briarwood Pl	Escondido CA 92026	1	\$256.06
224-985-54-00	Hunt Stephanie M	2352 Briarwood Pl	84 Parc Place Dr	Milpitas CA 95035	1	\$256.06
224-985-55-00	Shimansky Douglas J &	2348 Briarwood Pl	9988 Hilbert St #300	San Diego CA 92131	1	\$256.06
Totals:		Parcels:	330			\$84,499.80

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 12
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Assessable Acres	Assessment Levy
226-203-07-00	M G Morningview	451- El Norte Pkwy	10505 Sorrento Valley Rd	San Diego CA 92121	3.330	\$1,347.58
226-203-08-00	Reidy Creek Apartments Inc	1345 Morning View Dr	6102 Gullstrand St	San Diego CA 92122	5.280	\$2,136.70
226-203-14-00	Reidy Creek Apartments Inc	1350 Morning View Dr	6102 Gullstrand St	San Diego CA 92122	5.260	\$2,128.62
226-211-03-00	M G Morningview	457- El Norte Pkwy West	10505 Sorrento Valley Rd	San Diego CA 92121	3.530	\$1,428.52
226-211-05-00	Avanath Escondido L P	1301 Morning View Dr	17901 Von Karman Ave #150	Irvine CA 92614	5.030	\$2,035.54
226-211-09-00	George & Krogh Welding	1357 Las Villas Way	1357 Las Villas Way	Escondido CA 92026	0.960	\$388.48
226-211-23-00	R E C Properties Ii L L C	1342- Morning View Dr	12760 Rancho Penasquitos	San Diego CA 92129	7.050	\$2,852.98
226-211-24-00	Riverwalk Apartment	1302- Morning View Dr	1322 Scott St #204	San Diego CA 92106	3.900	\$1,578.24
226-211-26-00	Doheny-vidovich Partners	345 El Norte Pkwy West	960 N San Antonio Rd #114	Los Altos CA 94022	8.550	\$3,460.00
226-211-27-00	V S C R E Holdings L L C	1325- Las Villas Way	9510 Ormsby Station Rd #101	Louisville KY 40223	7.120	\$2,881.32
228-060-06-00	Avanath Escondido L P	1301 Morning View	17901 Von Karman Ave #150	Irvine CA 92614	7.160	\$2,897.50
228-073-20-00	M G Terrace Gardens	1045 Morning View Dr	10505 Sorrento Valley Rd	San Diego CA 92121	8.300	\$3,358.84
228-073-23-00	Salvation Army	Morning View Dr	2320 5th Ave	San Diego CA 92101	0.550	\$222.56
228-073-24-00	Salvation Army Escondido	130 Las Villas Way	180 E Ocean Blvd 10th Fl	Long Beach CA 90802	4.230	\$1,711.80
228-073-25-00	Salvation Army	Las Villas Way	1301 Las Villas Way	Escondido CA 92026	0.940	\$380.40
228-073-26-00	S R G M F Morning View	1245 Morning View Dr	18802 Bardeen Ave	Irvine CA 92612	8.470	\$3,427.64
228-073-27-00	City Of Escondido	Morning View Dr	Public Agency		6.530	\$2,642.56
Totals:					86.190	\$34,879.28
		Parcels:	17			

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 13
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Assessable Acres	Assessment Levy
236-252-35-00	California Property Owner I	415 Felicita Ave	Po Box 4900- Dept 124	Scottsdale AZ 85261	0.226	\$56.10
236-252-47-00	California Property Owner I	Felicita Ave	Po Box 4900- Dept 124	Scottsdale AZ 85261	0.540	\$134.04
236-252-48-00	Vons Companies Inc <lf>	351 Felicita Ave	Po Box 4900- Dept 124	Scottsdale AZ 85261	3.260	\$809.18
236-252-49-00	California Property Owner I	325- Felicita Ave 421	Po Box 4900- Dept 124	Scottsdale AZ 85261	5.270	\$1,308.10
236-254-20-00	Felicita Garp L L C	1809- Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	2.660	\$1,937.80
236-254-21-00	Felicita Garp L L C	1805- Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	1.430	\$1,041.74
236-255-06-00	Felicita Garp L L C	1835 Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	1.240	\$903.34
236-255-07-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.550	\$400.66
236-255-08-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.484	\$352.58
236-255-09-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.337	\$245.50
236-255-10-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.208	\$151.52
236-255-11-00	Felicita Garp L L C	1895 Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.241	\$175.58
236-255-12-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.284	\$206.88
236-255-13-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.263	\$191.60
236-255-14-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.700	\$509.94
236-255-30-00	Felicita Garp L L C	Centre City Pkwy	973 Lomas Santa Fe Dr	Solana Beach CA 92075	0.000	
Totals:		Parcels:	16		17.693	\$8,424.56

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 14
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
229-091-49-00	Peterson Zane A & Jennifer	668 Wanda Ct	668 Wanda Ct	Escondido CA 92026	1	\$549.84
229-091-50-00	Le Tim K	672 Wanda Ct	10586 Richard Rd	San Diego CA 92127	1	\$549.84
229-091-51-00	Woods Eric & Yanira S	680 Wanda Ct	680 Wanda Ct	Escondido CA 92026	1	\$549.84
229-091-52-00	Ramsey Donna M	688 Wanda Ct	688 Wanda Ct	Escondido CA 92026	1	\$549.84
229-091-53-00	Prieto James	696 Wanda Ct	696 Wanda Ct	Escondido CA 92026	1	\$549.84
229-091-54-00	Cohen Family Trust	685 Wanda Ct	780 Fulton Rd	San Marcos CA	1	\$549.84
229-091-55-00	Ma Lynn	679 Wanda Ct	679 Wanda Ct	Escondido CA 92026	1	\$549.84
229-091-56-00	Martinez Jose A & Ivonne	675 Wanda Ct	675 Wanda Ct	Escondido CA 92026	1	\$549.84
Totals:		Parcels:	8			\$4,398.72

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 15
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy	
231-810-01-00	Martin Thomas Jr	2401 Linda Ct	45489 Jaguar Way	Temecula CA 92592	1	\$460.98	
231-810-02-00	Rainey Thomas E Iii	2409 Linda Ct	2409 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-03-00	Bunnalim Hadi	2427 Linda Ct	11674 Candy Rose Way	San Diego CA 92131	1	\$460.98	
231-810-04-00	Le Tony & Tran Tam Bang	2431 Linda Ct	2431 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-05-00	Vera Aurora	2437 Linda Ct	2437 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-06-00	Corona Pacomio G &	2441 Linda Ct	2441 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-07-00	Mainit Joel L	2445 Linda Ct	2445 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-08-00	Aratani Diane 2015 Trust	2451 Linda Ct	2451 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-09-00	Miner Lorraine	2455 Linda Ct	2455 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-10-00	Duka Daniel S Est Of	2463 Linda Ct	P O Box 1268	Alpine CA 91903	1	\$460.98	
231-810-11-00	Aurora Loan Services L L C	2477 Linda Ct	10350 Park Meadows Dr #200	Littleton CO 80124	1	\$460.98	
231-810-12-00	Bennett Barbara C Trust	2491 Linda Ct	2491 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-13-00	Ateek Talal & Sahar A	2484 Linda Ct	2484 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-14-00	Azucar Tomas	2466 Linda Ct	2466 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-15-00	Gala Basil E Family Trust	2458 Linda Ct	P O Box 1897	Vista CA 92085	1	\$460.98	
231-810-16-00	Davis Cole & Sarah	2454 Linda Ct	11801 Allbrook Dr	Poway CA 92064	1	\$460.98	
231-810-17-00	Hocson Edgardo R &	2420 Linda Ct	2420 Linda Ct	Escondido CA 92027	1	\$460.98	
231-810-18-00	Stubblefield Troy D &	2404 Linda Ct	2404 Linda Ct	Escondido CA 92027	1	\$460.98	
Totals:					Parcels:	18	\$8,297.64

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 16
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
227-191-41-00	Bowden Sidney P & Brenda	103 Trellis Ln	103 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-42-00	Tran Tuoc Ba & Phan Lan	107 Trellis Ln	107 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-43-00	Ly Kiem & Nguyen Mai Ly	115 Trellis Ln	115 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-44-00	Santiago Noemi	119 Trellis Ln	119 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-45-00	Truong Tam Minh	123 Trellis Ln	123 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-46-00	Huynh Quoc & Le Xuan T	135 Trellis Ln	135 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-47-00	Tijerina Aldo O & Kathleen	137 Trellis Ln	137 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-48-00	Camino Juan F & Maria G	141 Trellis Ln	141 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-49-00	Dolojan Nenita	149 Trellis Ln	149 Trellis Ln	Escondido CA 92026	1	\$329.26
227-191-50-00	May Michael L	157 Trellis Ln	157 Trellis Ln	Escondido CA 92026	1	\$329.26
Totals:		Parcels:	10			\$3,292.60

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 17
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
225-740-01-00	Ronquillo Carlos & Estela	2821 Oakwood Creek Way	2821 Oakwood Creek Way	Escondido CA 92027	1	\$131.70
225-740-02-00	Gutierrez Jose	2863 Oakwood Creek Way	2863 Oakwood Creek Way	Escondido CA 92027	1	\$131.70
225-740-03-00	Santos-hoffman Herminia V	2877 Oakwood Creek Way	2877 Oakwood Creek Way	Escondido CA 92027	1	\$131.70
225-740-04-00	Caballero Jose J & Adriana	2885 Oakwood Creek Way	2885 Oakwood Creek Way	Escondido CA 92027	1	\$131.70
225-740-05-00	Hazai Idrees	2891 Oakwood Creek Way	2891 Oakwood Creek Way	Escondido CA 92027	1	\$131.70
225-740-06-00	Rivera Joaquin M & Ana L	2899 Oakwood Creek Way	2899 Oakwood Creek Way	Escondido CA 92027	1	\$131.70
225-740-07-00	Fitzpatrick Phillip B &	602 Jacks Creek Rd	602 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-08-00	Fortuna Jason & Krista	610 Jacks Creek Rd	610 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-09-00	Pierce Scotty & Linda	618 Jacks Creek Rd	618 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-10-00	Khurana Abhinav	622 Jacks Creek Rd	622 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-11-00	Ruiz Fernando	628 Jacks Creek Rd	628 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-12-00	Medin Family Trust	636 Jacks Creek Rd	16369 Los Rosales St	San Diego CA 92127	1	\$131.70
225-740-13-00	McDonough Family Trust	642 Jacks Creek Rd	3885 E 560 Rd	Locust Grove OK	1	\$131.70
225-740-14-00	Sanchez Antonia L	648 Jacks Creek Rd	1204 N Escondido Blvd #b43	Escondido CA 92026	1	\$131.70
225-740-15-00	Lyons Todd J	2992 Oakstone Creek Pl	2992 Oakstone Creek Pl	Escondido CA 92027	1	\$131.70
225-740-16-00	Mason Jerry & Kristi	2980 Oakstone Creek Pl	2980 Oakstone Creek Pl	Escondido CA 92027	1	\$131.70
225-740-17-00	Guardado Armando Jr	2954 Oakstone Creek Pl	2954 Oakstone Creek Pl	Escondido CA 92027	1	\$131.70
225-740-18-00	Kay Ann M Trust 02-16-12	2936 Oakstone Creek Pl	2936 Oakstone Creek Pl	Escondido CA 92027	1	\$131.70
225-740-19-00	Stubbs Jack & Michelle M	2902 Oakstone Creek Pl	2902 Oakstone Creek Pl	Escondido CA 92027	1	\$131.70
225-740-21-00	Mencher Jeremy	2941 Oakstone Creek Pl	P O Box 301363	Escondido CA 92030	1	\$131.70
225-740-22-00	Mencher Jeremy	2969 Oakstone Creek Pl	P O Box 301363	Escondido CA 92030	1	\$131.70
225-740-23-00	Hamidi Henriette A Living	625 Jacks Creek Rd	686 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-24-00	Vo Nho V & Nguyen Hanh	621 Jacks Creek Rd	621 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-25-00	Jaremczuk Anthony &	617 Jacks Creek Rd	617 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-26-00	Orobczuk Family 10-29-90	613 Jacks Creek Rd	660 Mclain St	Escondido CA 92027	1	\$131.70
225-740-27-00	Gonzalez Jose & Margarita	609 Jacks Creek Rd	609 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-740-28-00	Mencher Jeremy	2842 Oakwood Creek Way	P O Box 301363	Escondido CA 92030	1	\$131.70
225-740-30-00	Kitagawa Byron K	2923 Oakstone Creek Pl	2923 Oakstone Creek Pl	Escondido CA 92027	1	\$131.70
225-740-31-00	Mencher Jeremy	2828 Oakwood Creek Way	P O Box 301363	Escondido CA 92030	1	\$131.70
225-741-01-00	Augustin Salvador & Luz M	656 Jacks Creek Rd	656 Jack Creek Rd	Escondido CA 92027	1	\$131.70
225-741-02-00	Gaspar Domingo & Clara	664 Jacks Creek Rd	1413 S Citrus Ave	Escondido CA 92027	1	\$131.70
225-741-03-00	Brewer Bobbie E &	668 Jacks Creek Rd	668 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-04-00	Barra Valentine D & Dawn	672 Jacks Creek Rd	672 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-05-00	Goldstein Justine	680 Jacks Creek Rd	680 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-06-00	Hamidi Henriette A Living	686 Jacks Creek Rd	686 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-07-00	Fernandez Carlos A &	690 Jacks Creek Rd	690 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-08-00	Dunn Eugene H & Audrey A	694 Jacks Creek Rd	694 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-09-00	Brey Fitzgerald Family	698 Jacks Creek Rd	698 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-10-00	Mitchell Steven L & Maria	689 Jacks Creek Rd	689 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-11-00	Johnson Family Trust	683 Jacks Creek Rd	683 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-12-00	Hernandez Araceli	675 Jacks Creek Rd	675 Jacks Creek Rd	Escondido CA 92027	1	\$131.70
225-741-13-00	Howe Holli S	2976 Jacks Creek Pl	2976 Jacks Creek Pl	Escondido CA 92027	1	\$131.70
225-741-14-00	Cook Living Trust 12-04-12	2952 Jacks Creek Pl	2952 Jacks Creek Pl	Escondido CA 92027	1	\$131.70
225-741-15-00	Monforte Luis F & Adriana	2961 Jacks Creek Pl	2961 Jacks Creek Pl	Escondido CA 92027	1	\$131.70
225-741-16-00	Ford James & Laura	2983 Jacks Creek Pl	2983 Jacks Creek Pl	Escondido CA 92027	1	\$131.70
225-741-17-00	Olsen Living Revocable	2991 Jacks Creek Pl	2991 Jacks Creek Pl	Escondido CA 92027	1	\$131.70
225-741-18-00	Bright Michael G & Beth L	653 Jacks Creek Rd	829 San Pasqual Valley Rd	Escondido CA 92027	1	\$131.70
Totals:		Parcels:	47			\$6,189.90

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
231-820-01-00	Santana Family Trust	803 Albert Ct	803 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-02-00	Martinez Armando Jr &	807 Albert Ct	807 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-03-00	Whitaker Russell G &	823 Albert Ct	823 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-04-00	Cedillo Crecencio & Ines	853 Albert Ct	1922 Hemingway Ct	Escondido CA 92027	1	\$93.02
231-820-05-00	Shammo Renee	857 Albert Ct	857 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-06-00	Hubbard Aaron L &	871 Albert Ct	1121 Nidrah St	El Cajon CA 92020	1	\$93.02
231-820-07-00	Torres Joel H & Rosemary	885 Albert Ct	885 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-08-00	Martinez Joel A	892 Albert Ct	892 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-09-00	Osteen Daniel & My-hang	880 Albert Ct	880 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-10-00	Steinmetz Andrew R &	866 Albert Ct	866 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-11-00	Dickey James M	842 Albert Ct	842 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-12-00	McLaughlin Richard F Jr &	838 Albert Ct	838 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-13-00	Zimmer Scott	812 Albert Ct	812 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-14-00	Miller-green Melinda C	810 Albert Ct	810 Albert Ct	Escondido CA 92027	1	\$93.02
231-820-15-00	Howe Robin M	809 Rosa Ct	809 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-16-00	Kopf Robert J	827 Rosa Ct	827 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-17-00	Coogan John E Trust	841 Rosa Ct	841 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-18-00	Ines Charles	847 Rosa Ct	847 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-19-00	Casanova Javier J &	873 Rosa Ct	873 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-20-00	Salcedo Aaron A	881 Rosa Ct	P O Box 302073	Escondido CA 92030	1	\$93.02
231-820-21-00	Huffer Wesley R & Evelyn Q	893 Rosa Ct	893 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-22-00	Scott Wayne	896 Rosa Ct	896 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-23-00	Harrington George H Iii &	878 Rosa Ct	308 Saratoga Gln	Escondido CA 92025	1	\$93.02
231-820-24-00	Rivera Maria V	868 Rosa Ct	868 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-25-00	Duran Juan P & Martha	852 Rosa Ct	852 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-26-00	Bernsen Irving M & Elaine	836 Rosa Ct	P O Box 892648	Temecula CA 92589	1	\$93.02
231-820-27-00	Knutson 1989 Trust	822 Rosa Ct	822 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-28-00	Vo & Truong Family Trust	814 Rosa Ct	814 Rosa Ct	Escondido CA 92027	1	\$93.02
231-820-29-00	Layug Anthony F B &	805 Socin Ct	805 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-30-00	Ocampo Family Trust	813 Socin Ct	813 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-31-00	Serna Trust 03-22-07	825 Socin Ct	16659 4s Ranch Pkwy	San Diego CA 92127	1	\$93.02
231-820-32-00	Ramirez Mario & Carmen	829 Socin Ct	829 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-33-00	Dolan David C & Brenda C	835 Socin Ct	835 Soclin Ct	Escondido CA 92027	1	\$93.02
231-820-34-00	Vo Tri T & Khanh T	837 Socin Ct	837 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-35-00	Voss Richard & Ana	839 Socin Ct	839 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-36-00	Aguirre Miguel A D &	843 Socin Ct	843 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-37-00	Green Jason A & Mayumi	Socin Ct	851 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-38-00	Albert Katherine M	867 Socin Ct	867 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-39-00	Chen Andy & Jennifer	875 Socin Ct	875 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-40-00	Roberts Family 1984 Trust	883 Socin Ct	1656 Vladic Ln	Escondido CA 92027	1	\$93.02
231-820-41-00	Luu Michael Minh & Chau	887 Socin Ct	887 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-42-00	Olszewski Stanislaw	898 Socin Ct	898 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-43-00	Mueller Scott & Christine	894 Socin Ct	894 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-44-00	Sanchez Miguel A &	882 Socin Ct	882 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-45-00	Kempfer Dale & Connie	870 Socin Ct	870 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-46-00	Tucker Timothy A &	854 Socin Ct	854 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-47-00	Chau Linda	848 Socin Ct	848 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-48-00	Ocegueda Salvador &	820 Socin Ct	820 Socin Ct	Escondido CA 92027	1	\$93.02

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231-820-49-00	Tan Jeffrey O & Jesusa P	808 Socin Ct	808 Socin Ct	Escondido CA 92027	1	\$93.02
231-820-50-00	Mendiola Antonio G &	802 Socin Ct	802 Socin Ct	Escondido CA 92027	1	\$93.02
Totals:		Parcels:	50			\$4,651.00

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-011-01-00	Ko Cheng-hsu & Shou-chin	2620 Turnberry Gln	2620 Turnberry Gln	Escondido CA 92026	1.000	\$689.82
224-011-02-00	Wissmath Trust 08-11-97	2650 Turnberry Gln	2650 Turnberry Gln	Escondido CA 92026	1.000	\$689.82
224-011-03-00	Barry Stephen A	2667 Turnberry Gln	2667 Turnberry Gln	Escondido CA 92026	1.000	\$689.82
224-011-04-00	Warren Jackie M	2649 Turnberry Gln	2649 Turnberry Gln	Escondido CA 92026	1.000	\$689.82
224-011-05-00	Gibson Randall B & Leslie	2615 Turnberry Gln	2615 Turnberry Gln	Escondido CA 92026	1.000	\$689.82
224-011-06-00	Bushong Osmon Iii &	541 Melbourne Gln	541 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-07-00	Kakleas Agesilaus & Lisa	535 Melbourne Gln	535 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-08-00	Loarie Michael J & Kathryn	529 Melbourne Gln	529 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-09-00	Tripi Annemarie B	517 Melbourne Gln	517 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-10-00	Sullivan Beverly M Trust	503 Melbourne Gln	503 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-11-00	Butler Jeb S	510 Melbourne Gln	510 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-12-00	Frimtzis Bruce G	522 Melbourne Gln	522 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-13-00	Marinoni Donald &	538 Melbourne Gln	538 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-14-00	Doane Family Trust	550 Melbourne Gln	550 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-011-15-00	Schroder Deborah A	2696 Dundee Gln	2696 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-011-16-00	Angeles Joseph M & Lynn S	Dundee Gln	2693 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-011-17-00	Noneman Family Trust	2689 Dundee Gln	2689 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-011-18-00	Garden Society Of	Melbourne Gln	355 S Grand Ave	Los Angeles CA		
224-011-19-00	City Of Escondido	Melbourne Gln	Public Agency			
224-011-20-00	Garden Society Of	Melbourne Gln	355 S Grand Ave	Los Angeles CA		
224-011-21-00	Garden Society Of	Dundee Gln	355 S Grand Ave	Los Angeles CA		
224-011-22-00	Garden Society Of	Melbourne Gln	355 S Grand Ave	Los Angeles CA		
224-012-01-00	Berkner Stewart	495 Melbourne Gln	495 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-02-00	Blakeley William A &	487 Melbourne Gln	487 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-03-00	Cabalic Edmund D &	483 Melbourne Gln	483 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-04-00	Steinman Robert L &	475 Melbourne Gln	475 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-05-00	Reed Jerald E Jr & Karen J	469 Melbourne Gln	469 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-06-00	Rossoll H Mark & Barbara	461 Melbourne Gln	461 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-07-00	Oostra Family Trust	457 Melbourne Gln	457 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-08-00	Milligan Family Revocable	453 Melbourne Gln	453 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-09-00	Thomas Paul & Paula J	449 Melbourne Gln	449 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-10-00	Vasil Trust 05-16-11	445 Melbourne Gln	445 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-11-00	Meade Patrick & Lalaine	433 Melbourne Gln	433 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-12-00	Cortez George & Krista	438 Melbourne Gln	438 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-13-00	Jensen Family Trust	456 Melbourne Gln	456 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-14-00	Auten James & Ann	466 Melbourne Gln	466 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-15-00	Manthei Lydia Trust	472 Melbourne Gln	472 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-16-00	Rico Miguel R G Revocable	2591 Saint Andrews Gln	1335 W Princeton St	Ontario CA 91762	1.000	\$689.82
224-012-17-00	Woods Richard M & Bonnie	2577 St Andrews Gln	2577 St Andrews Gln	Escondido CA 92026	1.000	\$689.82
224-012-18-00	Urelius Mary	2555 St Andrews Gln	2555 St Andrews Gln	Escondido CA 92026	1.000	\$689.82
224-012-19-00	Cervantes Ricardo & Juana	2550 Saint Andrews Gln	2550 St Andrews Gln	Escondido CA 92026	1.000	\$689.82
224-012-20-00	Mounmanivong Jackie	2544 St Andrews Gln	2544 St Andrews Gln	Escondido CA 92026	1.000	\$689.82
224-012-21-00	Sepich Andrew & Susan L	2530 St Andrews Gln	2530 St Andrews Gln	Escondido CA 92026	1.000	\$689.82
224-012-22-00	Rosales Michael V	490 Melbourne Gln	490 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-23-00	Klahr Hans G	498 Melbourne Gln	498 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-012-24-00	City Of Escondido	Cleveland Ave	Public Agency			
224-150-01-00	Nguyen Tinh & Nga Family	112 Double Eagle Gln	112 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-02-00	Henderson Family Trust	118 Double Eagle Gln	118 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82

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224-150-03-00	Miller Calvin & Miller-quinn	122 Double Eagle Gln	122 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-04-00	Morrill Berta	128 Double Eagle Gln	128 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-05-00	Valentine Scott M & Laura	132 Double Eagle Gln	132 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-06-00	Zellous William &	144 Double Eagle Gln	144 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-07-00	Tan Luong H & Loanchi T	156 Double Eagle Gln	156 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-08-00	Graves Gregory G & Terry L	170 Double Eagle Gln	170 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-09-00	Cabrera Emmanuel Y &	182 Double Eagle Gln	182 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-10-00	Fong Elena P	188 Double Eagle Gln	188 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-11-00	Kerr Steven J	192 Double Eagle Gln	192 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-12-00	Salazar Joel & Martha	197 Double Eagle Gln	197 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-13-00	Chua James A & Cristina C	175 Double Eagle Gln	42200 Margarita Rd #615	Temecula CA 92592	1.000	\$689.82
224-150-14-00	Meyer Gwendolyn S	169 Double Eagle Gln	601 Carlson Pkwy #1235	Hopkins MN 55305	1.000	\$689.82
224-150-15-00	Amaro Family Trust	151 Double Eagle Gln	151 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-16-00	Harrington John E & Perkes	137 Double Eagle Gln	137 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-17-00	Crandall Family Trust	129 Double Eagle Gln	129 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-18-00	Parrott William M &	125 Double Eagle Gln	125 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-19-00	Vo Toan P & Le Mai T	117 Double Eagle Gln	65 Woodgreen Dr	Pittsford NY 14534	1.000	\$689.82
224-150-20-00	Elangos Venconcio D &	109 Double Eagle Gln	109 Double Eagle Gln	Escondido CA 92026	1.000	\$689.82
224-150-21-00	Reidy Creek Garden Society	Double Eagle Gln	520 Broadway #100	Santa Monica CA		
224-150-22-00	Reidy Creek Garden Society	Double Eagle Gln	520 Broadway #100	Santa Monica CA		
224-150-23-00	Reidy Creek Garden Society	Double Eagle Gln	520 Broadway #100	Santa Monica CA		
224-152-08-00	City Of Escondido	Rincon Ave	Public Agency			
224-152-09-00	City Of Escondido	Rincon Ave	Public Agency			
224-154-01-00	Hui Tsunghan Tim & Chen	2567 Douglaston Gln	2567 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-02-00	Kern Donald W	2569 Douglaston Gln	2569 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-03-00	Clark Family Trust 11-09-07	2571 Douglaston Gln	2571 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-04-00	Runchey 2006 Trust	214 Whistling Straits Gl	214 Whistling Straits Gln	Escondido CA 92026	1.000	\$689.82
224-154-05-00	Davied Paul & Elizabeth	252 Whistling Straits Gl	252 Whistling Straits Gln	Escondido CA 92026	1.000	\$689.82
224-154-06-00	Tomasi Georgine M	296 Whistling Straits Gl	296 Whistling Straits Gln	Escondido CA 92026	1.000	\$689.82
224-154-07-00	Curts Family Trust	2586 Douglaston Gln	2586 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-08-00	Villaluz Alfredo P & Lapid	2580 Douglaston Gln	2580 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-09-00	Ludwick Vicki N Living	2574 Douglaston Gln	2574 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-10-00	Griffing Family Trust	2562 Douglaston Gln	2562 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-154-11-00	Garden Society Of	Whistling Straits Gl	4990 Mission Blvd	San Diego CA 92109		
224-154-12-00	Bautista Percival M &	2635 Dundee Gln	2635 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-13-00	Montgomery Family Trust	2622 Dundee Gln	2622 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-14-00	Vannieuwenhuyzen Hank	2618 Dundee Gln	2618 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-15-00	Madigan 2005 Trust	2606 Dundee Gln	2606 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-16-00	Barca Girard M & Etelka P	2596 Dundee Gln	2352 Torrey Pines Rd #7	La Jolla CA 92037	1.000	\$689.82
224-154-17-00	Hutchins Arthur W	2584 Dundee Gln	2584 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-18-00	Hannify Family Revocable	2560 Dundee Gln	2560 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-19-00	Kuninobu Andrew T &	2552 Dundee Gln	2552 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-20-00	Clover Family Revocable	2538 Dundee Gln	2538 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-21-00	Scates Andrew & Krista	2541 Dundee Gln	2541 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-22-00	Sonshine Management Ltd	2557 Dundee Gln	2557 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-23-00	Jude Tim Family Trust	2579 Dundee Gln	2579 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-24-00	Glasmann Family Trust	2587 Dundee Gln	2587 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-25-00	Calzada Rickie S & Angela	2598 Douglaston Gln	2598 Douglaston Gln	Escondido CA 92026	1.000	\$689.82

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-154-26-00	Garden Society Of	Dundee Gln	4990 Mission Blvd	San Diego CA 92109		
224-154-27-00	Garden Society Of	Dundee Gln	4990 Mission Blvd	San Diego CA 92109		
224-154-28-00	Molina Richard V & Glenda	2643 Dundee Gln	2643 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-29-00	Uphoff Family Trust	2651 Dundee Gln	2651 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-30-00	Hoff Jason R & Theresa L	2659 Dundee Gln	2659 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-31-00	Koelker Raymond E & Ellen	2663 Dundee Gln	2663 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-32-00	Mills Wayne M & Celia C	2667 Dundee Gln	9875 Rocky Ridge Rd	Escondido CA 92026	1.000	\$689.82
224-154-33-00	Peace David M	2675 Dundee Gln	2675 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-34-00	Demesne 2013 Trust	2670 Dundee Gln	2670 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-154-36-00	Garden Society Of	Dundee Gln	4990 Mission Blvd	San Diego CA 92109		
224-154-37-00	City Of Escondido	North Ave	Public Agency			
224-154-40-00	Good Jenny J	2682 Dundee Gln	15038 Cool Valley Rd	Valley Center CA	1.000	\$689.82
224-155-01-00	Thein Family Trust	2511 Douglaston Gln	2511 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-02-00	Sleeper Charles & Sandra	2515 Douglaston Gln	2515 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-03-00	Bright James H & Sandra L	2527 Douglaston Gln	2527 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-04-00	Aloi Nichols E & Mary L	2529 Douglaston Gln	2529 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-05-00	Davis Charles & Margaret	2535 Douglaston Gln	2535 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-06-00	Contreras Family Trust	2543 Douglaston Gln	2543 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-07-00	Jones Donald A & Carol H	2551 Douglaston Gln	2551 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-08-00	D R O Trust 02-15-08	2555 Douglaston Gln	2555 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-09-00	Groves Family Trust	2558 Douglaston Gln	2558 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-10-00	Askew William J Iv	2550 Douglaston Gln	2550 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-11-00	Andrews James A &	2546 Douglaston Gln	2546 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-12-00	Gagle Robert J & Deborah L	2540 Douglaston Gln	2540 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-13-00	Sutton Donald E & Judy L	2532 Douglaston Gln	2532 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-14-00	Suglich William Jr & Susan	2524 Douglaston Gln	2524 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-15-00	Rolls Family Trust 06-22-01	2518 Douglaston Gln	2518 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-155-16-00	Garden Society Of	Douglaston Gln	355 S Grand Ave	Los Angeles CA		
224-155-17-00	Garden Society Of	Douglaston Gln	4990 Mission Blvd	San Diego CA 92109		
224-155-18-00	Delamora Wenceslao R &	401 Melbourne Gln	401 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-155-19-00	Wilgenburg Edward Family	399 Melbourne Gln	399 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-155-20-00	Michael Randal L &	2533 Royal Troon Gln	2533 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-21-00	Hall Bradley C & Yvonne C	2555 Royal Troon Gln	2555 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-22-00	Gorgas Patrick & Dara	2599 Royal Troon Gln	2599 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-23-00	Brouwer Jacob E Tr &	2588 Royal Troon Gln	2588 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-24-00	Anderson Troy D & Wendy	2570 Royal Troon Gln	2570 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-25-00	Darrock Don E & Naomi	2566 Royal Troon Gln	2566 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-26-00	Farrington William & Joan	2544 Royal Troon Gln	2544 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-27-00	Rady Family Trust 02-21-00	2522 Royal Troon Gln	2522 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-28-00	Duro Richard J & Ngan Thi	2510 Royal Troon Gln	2510 Royal Troon Gln	Escondido CA 92026	1.000	\$689.82
224-155-29-00	Garden Society Of	Cleveland Ave	4990 Mission Blvd	San Diego CA 92109		
224-155-30-00	Garden Society Of	Melbourne Gln	4990 Mission Blvd	San Diego CA 92109		
224-155-31-00	Garden Society Of	Royal Troon Gln	4990 Mission Blvd	San Diego CA 92109		
224-155-32-00	Chambers Mark A	2520 Dundee Gln	2520 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-155-33-00	Ksionski Family Trust	2512 Dundee Gln	2512 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-155-34-00	Orsino Family Living Trust	2504 Dundee Gln	1346 Sticklebract Dr		1.000	\$689.82
224-155-35-00	Fabie Jeffrey A & Natalie D	429 Melbourne Gln	429 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-155-36-00	Mccue Edward J & Carol J	423 Melbourne Gln	423 Melbourne Gln	Escondido CA 92026	1.000	\$689.82

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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-155-37-00	Leclair Henry L & Rose M	417 Melbourne Gln	417 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-155-38-00	Lentz Robert G & Robin J	409 Melbourne Gln	409 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-155-39-00	Knudsen Melisa A Family	2509 Dundee Gln	2509 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-155-40-00	Chan Family Trust 05-28-10	2517 Dundee Gln	2517 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-155-41-00	Crusing John & Kathleen	2529 Dundee Gln	2529 Dundee Gln	Escondido CA 92026	1.000	\$689.82
224-155-42-00	Garden Society Of	Dundee Gln	9665 Chesapeake Dr #300	San Diego CA 92123		
224-156-01-00	City Of Escondido	Douglaston Gln	Public Agency			
224-156-02-00	Garden Society Of	Douglaston Gln	355 S Grand Ave	Los Angeles CA		
224-156-03-00	Garden Society Of	Merion Gln	355 S Grand Ave	Los Angeles CA		
224-156-04-00	Garden Society Of	Merion Gln	355 S Grand Ave	Los Angeles CA		
224-156-05-00	Garden Society Of	Merion Gln	355 S Grand Fl #40	Los Angeles CA		
224-156-06-00	Garden Society Of	Douglaston Gln	355 S Grand Ave	Los Angeles CA		
224-156-08-00	Kazarian Family 1989 Trust	387 Melbourne Gln	387 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-09-00	Koenekamp Family Trust	363 Melbourne Gln	363 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-10-00	Kehle Gary & Carol 2000	351 Melbourne Gln	351 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-11-00	Payne Willie L Jr &	337 Melbourne Gln	337 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-12-00	Pumpo Family Trust	319 Melbourne Gln	319 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-13-00	Roberts Bruce & Anita	305 Melbourne Gln	305 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-14-00	Urena Ellen & Roque L	302 Melbourne Gln	302 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-15-00	Alex Elmer B & Stellini	328 Melbourne Gln	328 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-16-00	Gregory Vae Trust 09-02-04	344 Melbourne Gln	344 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-17-00	Richards Keith S & Allyn L	356 Melbourne Gln	356 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-18-00	Duringer Family Trust	370 Melbourne Gln	370 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-19-00	Foster David & Carol A	392 Melbourne Gln	392 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-20-00	Garden Society Of	Melbourne Gln	355 S Grand Ave	Los Angeles CA		
224-156-21-00	Brixey Stephen S & Nicole	283 Melbourne Gln	283 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-22-00	Roxas Juanito S & Ermenita	241 Melbourne Gln	241 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-23-00	Nino Eliseo & Connie M	235 Melbourne Gln	7004 Sherbourne Ln	San Diego CA 92129	1.000	\$689.82
224-156-24-00	Sper Kathryn	222 Melbourne Gln	222 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-25-00	Cline Family Trust 06-17-05	254 Melbourne Gln	60868 Goldenwood Loop	Bend OR 97702	1.000	\$689.82
224-156-26-00	Marcial Leland A & Aquino	298 Melbourne Gln	298 Melbourne Gln	Escondido CA 92026	1.000	\$689.82
224-156-27-00	Ticzon Lourdes O	2498 Douglaston Gln	2498 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-156-28-00	Lizalde Gustavo & Susan I	2492 Douglaston Gln	2492 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-156-29-00	Sharma Yogesh & Jyoti	2486 Douglaston Gln	2486 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-156-30-00	Nguyen Johnny Toan &	2474 Douglaston Gln	2474 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-156-31-00	Vandehey Robert L &	538 Crystal Downs Gln	538 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-32-00	Tran Phan Anh & Duong	546 Crystal Downs Gln	546 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-33-00	Bauer Family 2014 Trust	578 Crystal Downs Gln	578 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-34-00	Herman Family Trust	589 Crystal Downs Gln	589 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-35-00	Zarro Thomas & Kimberly	563 Crystal Downs Gln	563 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-36-00	Ly Tho Toan	559 Crystal Downs Gln	559 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-37-00	Partain Michael &	525 Crystal Downs Gln	525 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-38-00	Deleon Ricardo B &	517 Crystal Downs Gln	517 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-39-00	Cruz Family Trust 11-11-04	509 Crystal Downs Gln	509 Crystal Downs Gln	Escondido CA 92026	1.000	\$689.82
224-156-40-00	The Garden Society Of	Crystal Downs Gln	355 S Grand Ave #40th	Los Angeles CA		
224-156-41-00	City Of Escondido	Cleveland Ave	Public Agency			
224-156-42-00	The Garden Society Of	Crystal Downs Gln	355 S Grand Ave #40th	Los Angeles CA		
224-156-43-00	Garden Society Of	Melbourne Gln	355 S Grand Fl #40	Los Angeles CA		

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224-157-01-00	L B N Temecula Properties	2309 Douglaston Gln	605 N Broadway	Escondido CA 92025	1.000	\$689.82
224-157-02-00	Guevara Glenda F	2313 Douglaston Gln	2313 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-03-00	Dull Christopher & Holly	2325 Douglaston Gln	2325 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-04-00	Morton Delbert C & Dorina	303 Lytham Gln	303 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-05-00	Paap Stephen W & Allison	317 Lytham Gln	317 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-06-00	Nguyen Cuc Hong Thi &	345 Lytham Gln	2448 Honeybell Ln	Escondido CA 92027	1.000	\$689.82
224-157-07-00	Filio Family Trust 01-26-13	369 Lytham Gln	369 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-08-00	Caudillo Edward B Jr &	377 Lytham Gln	377 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-09-00	Nanci Guido N & Leticia	385 Lytham Gln	385 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-10-00	Palima Jose V & Lilia F	398 Lytham Gln	398 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-11-00	Chen Chunhao & Lin	372 Lytham Gln	372 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-12-00	Parham Barry C &	350 Lytham Gln	350 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-13-00	Kath Diane R	332 Lytham Gln	332 Lytham Gln	Escondido CA 92026	1.000	\$689.82
224-157-14-00	Niems Kevin M & Sydney L	328 Lytham Gln	2136 Montgomery Ave	Cardiff By The Sea	1.000	\$689.82
224-157-15-00	Stout Family Trust	2337 Douglaston Gln	2337 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-16-00	Garden Society Of	Lytham Gln	355 S Grand Ave	Los Angeles CA		
224-157-17-00	Gullicksen Paul & Valerie	2404 Douglaston Gln	2404 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-18-00	Michel Blaine G & Joy D M	2398 Douglaston Gln	2398 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-19-00	On Hanson & Wu Christina	2392 Douglaston Gln	2392 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-20-00	Kalicki Paul J & Carolyn J	2376 Douglaston Gln	2376 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-21-00	Kendrick David & Margaret	2370 Douglaston Gln	2370 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-22-00	Ruch Family 2009 Trust	2364 Douglaston Gln	2364 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-23-00	Foster Jennifer L	2358 Douglaston Gln	2358 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-24-00	Purcell Family Trust	2354 Douglaston Gln	2354 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-25-00	Eftekhari Farshad &	2350 Douglaston Gln	2350 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-26-00	Djukic John	2348 Douglaston Gln	2348 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-27-00	Diveley Steven & Jocelyn	2340 Douglaston Gln	2340 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-28-00	Gilmore Julee S	2343 Douglaston Gln	2343 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-29-00	Hamer Marilyn F & Carl	2345 Douglaston Gln	2345 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-30-00	Negron Amelyn A	2361 Douglaston Gln	2361 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-31-00	Schweitzer Michael &	2367 Douglaston Gln	2367 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-32-00	Fesko Family Trust	2381 Douglaston Gln	2381 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-33-00	Reed William	2387 Douglaston Gln	2387 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-34-00	Nguyen Dung T & Christy	2401 Douglaston Gln	25846 Se 25th Way		1.000	\$689.82
224-157-35-00	Inscoe Stephen E & Tina M	2407 Douglaston Gln	2407 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-157-36-00	Freer Revocable Living	377 Somerset Hills Gln	377 Somerset Hills Gln	Escondido CA 92026	1.000	\$689.82
224-157-37-00	Mulford James C & Carolyn	355 Somerset Hills Gln	355 Somerset Hills Gln	Escondido CA 92026	1.000	\$689.82
224-157-38-00	Steinberg Family Trust	333 Somerset Hills Gln	333 Somerset Hills Gln	Escondido CA 92026	1.000	\$689.82
224-157-39-00	Gamboia Family Trust	2412 Pine Valley Gln	2412 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-40-00	Razon Anthony M & Sharon	2410 Pine Valley Gln	2410 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-41-00	Vidals Revocable Living	2404 Pine Valley Gln	2404 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-42-00	Pham David K	2400 Pine Valley Gln	2400 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-43-00	Ngo Anthony & Pham	2392 Pine Valley Gln	2392 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-44-00	Bartolome Damian T &	2380 Pine Valley Gln	2380 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-45-00	Baumbach Liliya	2370 Pine Valley Gln	2370 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-46-00	Bliss Kenneth S J &	2366 Pine Valley Gln	2366 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-47-00	Cantu Ruben A &	2343 Pine Valley Gln	2343 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-48-00	Soto David R & Phoebe F	2349 Pine Valley Gln	2349 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82

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224-157-49-00	Servin Ernesto & Aide	2363 Pine Valley Gln	2363 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-50-00	Banzon Emilio & Marie C	2375 Pine Valley Gln	2375 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-51-00	Sim Nam-sik & Bo	2381 Pine Valley Gln	2381 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-52-00	Granholm Dean J & Doris G	2385 Pine Valley Gln	2385 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-53-00	Arizmendi Carlos & Luisa	2399 Pine Valley Gln	2399 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-54-00	Kortbawi David & Frances	2401 Pine Valley Gln	2401 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-55-00	Nguyen Anne	2409 Pine Valley Gln	2409 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-56-00	Mueller Michael E & Shelly	2413 Pine Valley Gln	2413 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-157-57-00	Garden Society Of	Pine Valley Gln	355 S Grand Ave	Los Angeles CA		
224-157-58-00	Garden Society Of	Pine Valley Gln	355 S Grand Ave 40th Fl	Los Angeles CA		
224-157-59-00	Garden Society Of	Pine Valley Gln	355 S Grand Ave	Los Angeles CA		
224-158-01-00	Arcinue Family Trust	2338 Douglaston Gln	2338 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-02-00	Deneve Marcel & Cynthia C	2332 Douglaston Gln	2332 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-03-00	Patterson Trust 04-11-98	2330 Douglaston Gln	2330 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-04-00	Freitas Family Trust	2326 Douglaston Gln	2326 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-05-00	Badrani Hicham M &	2320 Douglaston Gln	2320 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-06-00	Lozano Florentino D &	2318 Douglaston Gln	2318 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-07-00	Olaya Elorde B & Liberty B	2306 Douglaston Gln	2306 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-158-08-00	The Garden Society Of	Pine Valley Gln	355 S Grand Ave #40th	Los Angeles CA		
224-158-09-00	The Garden Society Of	Pine Valley Gln	355 S Grand Ave #40th	Los Angeles CA		
224-158-10-00	City Of Escondido	Rincon Ave	Public Agency			
224-158-11-00	Garden Society Of	Pine Valley Gln	4990 Mission Blvd	San Diego CA 92109		
224-158-12-00	Garden Society Of	Douglaston Gln	355 S Grand Ave	Los Angeles CA		
224-159-01-00	Nguyen Toan Van & Tran	2460 Douglaston Gln	2460 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-02-00	Fitzgerald Family Trust	2456 Douglaston Gln	2456 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-03-00	Abada Kheira	2448 Douglaston Gln	2448 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-04-00	Faber Levi B & Christina V	2444 Douglaston Gln	2444 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-05-00	Stratton Christopher D &	2436 Douglaston Gln	2436 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-06-00	Vite Trust 10-08-15	2432 Douglaston Gln	2432 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-07-00	Kariru Michael & Beth	2426 Douglaston Gln	2426 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-08-00	Weber William C &	2418 Douglaston Gln	2418 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-09-00	Flores Agustin & Marissa	2411 Douglaston Gln	2411 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-10-00	Fabel Michael S & Kendra	2423 Douglaston Gln	2423 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-11-00	Walters Michael & Amy	467 Adelaide Gln	5265 Revere Rd	Monterey CA 93940	1.000	\$689.82
224-159-12-00	Biswal Family Trust	455 Adelaide Gln	455 Adelaide Gln	Escondido CA 92026	1.000	\$689.82
224-159-13-00	Nguyen Sinh & Phung	433 Adelaide Gln	433 Adelaide Gln	Escondido CA 92026	1.000	\$689.82
224-159-14-00	Dawson Warren & Rossette	425 Adelaide Gln	425 Adelaide Gln	Escondido CA 92026	1.000	\$689.82
224-159-15-00	Johnson Richard R & Sue G	414 Adelaide Gln	414 Adelaide Gln	Escondido CA 92026	1.000	\$689.82
224-159-16-00	Jubran Michel H & Amal A	448 Adelaide Gln	448 Adelaide Gln	Escondido CA 92026	1.000	\$689.82
224-159-17-00	Vuong Duke L & Ly Belinda	2451 Douglaston Gln	2451 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-18-00	Handley Kevin L & Rebecca	2453 Douglaston Gln	2453 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-19-00	Breglio Robert A & Julie A	2467 Douglaston Gln	2467 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-20-00	Burnett Kelven	2471 Douglaston Gln	2471 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-21-00	Hedden Elton & Delta C	2483 Douglaston Gln	2483 Douglaston Gln	Escondido CA 92026	1.000	\$689.82
224-159-22-00	Ligeralde Lito U &	2470 Pine Valley Gln	2470 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-23-00	Konrad Zoran & Sherry	2458 Pine Valley Gln	2458 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-24-00	Thornton Shelagh	2450 Pine Valley Gln	2450 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-25-00	Lord David C & Elena P	2444 Pine Valley Gln	2444 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 19
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-159-26-00	Schwarm Charles F &	2438 Pine Valley Gln	2433 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-27-00	Garrido Ramon M & Elaine	2426 Pine Valley Gln	2426 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-28-00	Aquino Mariano D Jr & Fe	2424 Pine Valley Gln	2424 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-29-00	Cabarlo Agustin Jr &	322 Somerset Hills Gln	322 Somerset Hills Gln	Escondido CA 92026	1.000	\$689.82
224-159-30-00	Yako Tome Beniamin	344 Somerset Hills Gln	344 Somerset Hills Gln	Escondido CA 92026	1.000	\$689.82
224-159-31-00	Falkenberg Andreas	366 Somerset Hills Gln	366 Somerset Hills Gln	Escondido CA 92026	1.000	\$689.82
224-159-32-00	Reichert Beverly J Trust	2421 Pine Valley Gln	2421 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-33-00	Lindsey Family Trust	2427 Pine Valley Gln	2427 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-34-00	Schwarm Charles F &	2433 Pine Valley Gln	2433 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-35-00	Miciano Artemio & Julie M	2445 Pine Valley Gln	2445 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-36-00	Mclean Brian J	2449 Pine Valley Gln	16526 Farvue Ln	Los Gatos CA 95030	1.000	\$689.82
224-159-37-00	Gamboa Andrew &	2453 Pine Valley Gln	2453 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-38-00	Narino Ramon A	2461 Pine Valley Gln	2461 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-39-00	Vivona Frank & Carole Joint	2475 Pine Valley Gln	2475 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-40-00	Rivera Juan C & Maria	2483 Pine Valley Gln	2483 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-41-00	Vo Thien & Ly Lenga	2497 Pine Valley Gln	2497 Pine Valley Gln	Escondido CA 92026	1.000	\$689.82
224-159-42-00	Garden Society Of	Douglaston Gln	9665 Chesapeake Dr #300	San Diego CA 92123		
224-159-43-00	Garden Society Of	Somerset Hills Gln	9665 Chesapeake Dr #300	San Diego CA 92123		
224-159-44-00	Garden Society Of	Adelaide Gln	355 S Grand Ave	Los Angeles CA		
224-159-45-00	Garden Society Of	Pine Valley Gln	355 S Grand Ave	Los Angeles CA		
Totals:		Parcels:	308		262.000	\$180,732.84

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 20
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Levy Factor	Assessment Levy
235-550-01-00	Ukkestad Kris & Melissa	1697 Greenwood Pl	1697 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-02-00	Tran Hung Viet & Nguyen	1671 Greenwood Pl	1671 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-03-00	Paff Aaron R & Brenda F G	1623 Greenwood Pl	1623 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-04-00	Durney Family Trust	1614 Greenwood Pl	1614 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-05-00	Meehan-pfefferkorn Family	1638 Greenwood Pl	1638 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-06-00	Sullivan Samuel W &	1656 Greenwood Pl	1656 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-07-00	Yip John C Y & Pamela E	1682 Greenwood Pl	1682 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-08-00	Martin Brian & Lynette A	1690 Greenwood Pl	1690 Greenwood Pl	Escondido CA 92029	1	\$1,044.70
235-550-09-00	Senk Stephen M & Suzanne	1732 Gamble Ln	1732 Gamble Ln	Escondido CA 92029	1	\$1,044.70
Totals:		Parcels:	9			\$9,402.30

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 21
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-030-40-00	Newell Edmond F & Sherry	2128 Drew Rd	2128 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-41-00	Foronda Randolph & Dinah	2136 Drew Rd	2136 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-42-00	Douangsanith Cindy	2144 Drew Rd	2144 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-43-00	Marshall Tim & Heidi E	2152 Drew Rd	2152 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-44-00	Garcia Carlos & Kathleen M	2178 Drew Rd	2178 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-45-00	Wingrove David A & Mary A	2192 Drew Rd	2192 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-46-00	California Investment	2195 Drew Rd	1150 Anchorage Ln #101	San Diego CA 92106	1.000	\$593.74
225-030-47-00	Zendajas Family Trust	2181 Drew Rd	3133 Skyline View Gln	Escondido CA 92027	1.000	\$593.74
225-030-48-00	Davis Bruce & Linda	2165 Drew Rd	2165 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-49-00	Nera Amado G & Manuela J	2147 Drew Rd	2147 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-50-00	Richley Maria C	2133 Drew Rd	2125 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-51-00	Richley Maria C	2125 Drew Rd	2125 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-52-00	Richley Maria C	2113 Drew Rd	2125 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-53-00	Bajado Joseph	2109 Drew Rd	2109 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-54-00	Sanchez Leonardo M Jr	2105 Drew Rd	2105 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-55-00	Bolton Teresa L	2103 Drew Rd	2103 Drew Rd	Escondido CA 92027	1.000	\$593.74
225-030-56-00	Garcia Daniel J & Obrien	2189 Drew Rd	2189 Drew Rd	Escondido CA 92027	1.000	\$593.74
Totals:		Parcels:	17		16.000	\$9,499.84

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 22
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-040-48-00	Ponce Raul V & Rosa	2080 Dancer Ct	2080 Dancer Ct	Escondido CA 92026	1.000	\$417.04
224-040-49-00	Montillano Tomas &	2040 Dancer Ct	2040 Dancer Ct	Escondido CA 92026	1.000	\$417.04
224-040-50-00	Carandang Tammy M	1757 Dancer Pl	1757 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-51-00	Espinoza Longino & Delilah	1763 Dancer Pl	1763 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-52-00	Tran Monalisa Doan Trang	1775 Dancer Pl	570 Calhoun St	Corona CA 92879	1.000	\$417.04
224-040-53-00	Nguyen-tran Family Trust	1787 Dancer Pl	1787 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-54-00	Ketring Sandra S Trust	1796 Dancer Pl	1796 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-55-00	Zundel Nathan S & Chandra	1780 Dancer Pl	1780 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-56-00	Rodelo Heidi	1768 Dancer Pl	1768 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-57-00	Benjamin Revocable Living	1752 Dancer Pl	1752 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-58-00	Bugaj Maria T Family Trust	1748 Dancer Pl	1748 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-59-00	Martinez Sergio Revocable	1740 Dancer Pl	910 Maple St	Ramona CA 92065	1.000	\$417.04
224-040-60-00	Alex Reina L M	1732 Dancer Pl	1732 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-61-00	Believe L L C	1724 Dancer Pl	10015 Vista Montanoso	Escondido CA 92026	1.000	\$417.04
224-040-62-00	Washburn William & Jo A	1718 Dancer Pl	1718 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-63-00	Gutierrez Eloy M &	1712 Dancer Pl	1712 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-64-00	Khan Muhammad S &	1710 Dancer Pl	1710 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-65-00	To Tuan M & Thaoly N	1700 Dancer Pl	1700 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-66-00	Gachuz Miguel A & Angeles	1707 Dancer Pl	1707 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-67-00	Fowkes Carolyn Tr	1715 Dancer Pl	1715 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-68-00	Salmeron Pastor & Rosa I	1721 Dancer Pl	1721 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-69-00	Skouson John D & Memri R	1729 Dancer Pl	1729 Dancer Pl	Escondido CA 92026	1.000	\$417.04
224-040-70-00	Ketring Suzanne D Trust	1735 Dancer Pl	1735 Dancer Pl	Escondido CA 92026	1.000	\$417.04
Totals:		Parcels:	23		23.000	\$9,591.92

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 23
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
232-580-01-00	Tapia Ana D	1087 Princess Kyra Pl	1087 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-02-00	Marecz Trent M & Cristina	1073 Princess Kyra Pl	1073 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-03-00	Graf Family Trust 11-15-90	1067 Princess Kyra Pl	P O Box 300998	Escondido CA 92030	1.000	\$321.70
232-580-04-00	Jeffery Anthony &	1059 Princess Kyra Pl	278 Springcreek Rd	San Marcos CA	1.000	\$321.70
232-580-05-00	Ramos Reynaldo &	1047 Princess Kyra Pl	1047 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-06-00	Delgadillo Miguel	1033 Princess Kyra Pl	522 Eureka Dr	Escondido CA 92027	1.000	\$321.70
232-580-07-00	Ramos Anthony & Melissa	1025 Princess Kyra Pl	1025 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-08-00	Leoncio Living Trust	1011 Princess Kyra Pl	14216 Chicarita Creek Rd	San Diego CA 92128	1.000	\$321.70
232-580-09-00	Axford Eric M & Debra G	1006 Princess Kyra Pl	1006 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-10-00	Cruz Jeffery R & Katherine	1022 Princess Kyra Pl	1022 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-11-00	Dennis Family Revocable	1030 Princess Kyra Pl	1030 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-12-00	Morales Raymundo J &	1044 Princess Kyra Pl	1044 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-13-00	Carter William J Jr &	1052 Princess Kyra Pl	1052 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-14-00	Barrett Flordelina A	1060 Princess Kyra Pl	1060 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-15-00	Apostol Benson T &	1076 Princess Kyra Pl	1076 Princess Kyra Pl	Escondido CA 92029	1.000	\$321.70
232-580-16-00	Deluz Raymond D &	1098 Princess Kyra Pl	9854 Mercy Rd #2	San Diego CA 92129	1.000	\$321.70
Totals:		Parcels:	16		16.000	\$5,147.20

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 24
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
237-300-01-00	Embry Tambra R	479 Amparo Dr	479 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-02-00	Heller Lynnette K Trust	461 Amparo Dr	461 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-03-00	Wagner Family Trust A	459 Amparo Dr	459 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-04-00	Valencia Amado & Jennifer	445 Amparo Dr	445 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-05-00	Saaty Sherwan M & Torres	437 Amparo Dr	437 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-06-00	Carver John R & Medina	423 Amparo Dr	P O Box 502702	San Diego CA 92150	1.000	\$474.24
237-300-07-00	Pisciotta Family Trust	411 Amparo Dr	411 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-08-00	Rempe Clayton M & Sherri	399 Amparo Dr	399 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-10-00	Thoranine David I &	373 Amparo Dr	373 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-11-00	Ripa Peter & Theresa M	365 Amparo Dr	365 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-12-00	Nguyen Vuong Tung	361 Amparo Dr	361 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-13-00	Ordinario Family Revocable	345 Amparo Dr	345 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-14-00	Patterson Nolan & Kelly	327 Amparo Dr	327 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-15-00	Caver Ralph Jr & Akemi	319 Amparo Dr	319 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-16-00	T T D L T	303 Amparo Dr	303 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-18-00	Loveland Family Trust	322 Amparo Dr	322 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-19-00	Taavitsainen Jussi & Anu	334 Amparo Dr	334 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-20-00	Nguyen Quang V & Huong T	352 Amparo Dr	352 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-21-00	Lloyd Mark B & Teresa S	388 Amparo Dr	388 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-22-00	Rempe Clayton	2191 Pamplona Ct	399 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-23-00	Decosmo Family Trust	2183 Pamplona Ct	2440 Cross Creek Ln	Escondido CA 92025	1.000	\$474.24
237-300-24-00	Acenas Edgar A & Helen A	2167 Pamplona Ct	2167 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-25-00	Nguyen Don & Hoang	2159 Pamplona Ct	2159 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-26-00	Leisten James R & Kelly A	2145 Pamplona Ct	2145 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-27-00	Larime Carl J & Karen	2141 Pamplona Ct	2141 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-28-00	Jimenez Jeffrey & Ivana	2137 Pamplona Ct	2137 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-29-00	Pham Van Huu & Lynda Ho	2135 Pamplona Ct	2152 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-30-00	Young Jason J & Tracy L	2127 Pamplona Ct	2127 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-31-00	Tejidor Family Trust	2119 Pamplona Ct	2119 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-32-00	Savage Trust 01-27-01	2105 Pamplona Ct	2105 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-33-00	Korkala Vesa &	2102 Pamplona Ct	2102 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-34-00	Lingley Family Trust	2108 Pamplona Ct	2108 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-35-00	Connolly Richard W & Linda	2124 Pamplona Ct	2124 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-36-00	Kanenobu Sadaki & Aiko	2130 Pamplona Ct	14425 Cheyenne Trl	Poway CA 92064	1.000	\$474.24
237-300-37-00	Pham Van H & Lynda H	2152 Pamplona Ct	2152 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-38-00	Montijo Timothy J &	2164 Pamplona Ct	2164 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-39-00	Reyes Ronaldo P & Josefina	2176 Pamplona Ct	2176 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-40-00	Damecki Gloria M Tr	2188 Pamplona Ct	2188 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-41-00	Nguyen Triphuong	2196 Pamplona Ct	2196 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-42-00	Dang Tri D	430 Amparo Dr	430 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-43-00	Cheng Ya Chuan & Chang	490 Amparo Dr	490 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-44-00	Pollard Daniel & Cynthia M	498 Amparo Dr	498 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-45-00	Guericke Patrick W & Cindy	2110 Pamplona Ct	2110 Pamplona Ct	Escondido CA 92025	1.000	\$474.24
237-300-47-00	Estrada Andrew X &	310 Amparo Dr	310 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-300-48-00	Armacost Steven R &	Amparo Dr	304 Amparo Dr	Escondido CA 92025		
237-300-49-00	Nguyen Tom Huu & Anna	381 Amparo Dr	381 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-310-01-00	Hsu Chuan Chang	2098 Amparo Ct	2098 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-02-00	Hover James E & Stacey C	2082 Amparo Ct	2082 Amparo Ct	Escondido CA 92025	1.000	\$474.24

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 24
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
237-310-03-00	Romero Revocable Trust	2074 Amparo Ct	2074 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-04-00	Relovsky Daniel	2066 Amparo Ct	2066 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-05-00	Pessotto Revocable Living	2054 Amparo Ct	2054 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-06-00	Lighaam-cloyd Family 2007	2038 Amparo Ct	823 Enchanted Way	Pacific Palisades CA	1.000	\$474.24
237-310-07-00	Samatra Nory T &	2002 Amparo Ct	2002 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-08-00	Reeder Jay E & Yana E	2011 Amparo Ct	P O Box 711	Los Altos CA 94023	1.000	\$474.24
237-310-09-00	Borecky David & Tamara S	2025 Amparo Ct	2025 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-10-00	Arguilez Richard C & Gloria	2043 Amparo Ct	2043 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-11-00	Baker Family Trust	2087 Amparo Ct	2087 Amparo Ct	Escondido CA 92025	1.000	\$474.24
237-310-12-00	Magee Eric B & Torrie L	302 Amparo Dr	302 Amparo Dr	Escondido CA 92025	1.000	\$474.24
237-310-13-00	Shi Wei & Wang Xiaohong	300 Amparo Dr	11943 Mil Pitrero Rd	San Diego CA 92128	1.000	\$474.24
Totals:		Parcels:	59		58.000	\$27,505.92

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 25
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-682-52-00	Williams George C & Diep	573 Dimaio Way	573 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-53-00	Nomura Norman & Dorothy	581 Dimaio Way	581 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-54-00	Critchfield David W	585 Dimaio Way	585 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-55-00	Ramos Claudia	591 Dimaio Way	591 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-56-00	Phan Jacqueline H	595 Dimaio Way	595 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-57-00	Timko Family Trust	603 Dimaio Way	603 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-58-00	Jeung Kenneth & Kim	615 Dimaio Way	615 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-59-00	Yu Alan	621 Dimaio Way	621 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-60-00	Bagalso Samson I Jr	635 Dimaio Way	635 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-61-00	Lechuga Manuel S &	647 Dimaio Way	647 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-62-00	Andrews James M &	655 Dimaio Way	655 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-63-00	Simonson Aaron & Brenda	667 Dimaio Way	667 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-64-00	Cox Jeffrey A & Drecun-cox	675 Dimaio Way	675 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-65-00	Vanwinkle James L	670 Dimaio Way	670 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-66-00	Sosnoski Matthew T &	652 Dimaio Way	652 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-67-00	Gauthier Alexandre &	640 Dimaio Way	640 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-68-00	Prachanhpheng Say	632 Dimaio Way	632 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-69-00	Murphy Gretchen	624 Dimaio Way	624 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-70-00	Jamison Builders Inc	618 Dimaio Way	1637 E Valley Pky #225	Escondido CA 92027	1.000	\$319.34
225-682-71-00	Ngo Denny Taypheng &	600 Dimaio Way	600 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-72-00	Devries Michael E & Iris A	598 Dimaio Way	598 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-73-00	Ly Luong P & Thanh T	594 Dimaio Way	594 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-74-00	Harpin Family Trust	586 Dimaio Way	586 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-682-75-00	Hayden Jeremiah C Living	578 Dimaio Way	8491 Lower Scarborough Ct	San Diego CA 92127	1.000	\$319.34
225-682-76-00	Phrakonkham Van	570 Dimaio Way	570 Dimaio Way	Escondido CA 92027	1.000	\$319.34
225-750-01-00	Garcia Arturo & Mirla	2795 Oakwood Creek Way	2795 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-02-00	Caalaman Jemy P &	2783 Oakwood Creek Way	2783 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-03-00	Garcia Michael	2767 Oakwood Creek Way	2767 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-04-00	Rahmon Victor & Muna	2755 Oakwood Creek Way	2755 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-05-00	Keng David & Tann Souky	2741 Oakwood Creek Way	2741 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-06-00	Oliva Silvia R	611 Berkshire Pl	611 Berkshire Pl	Escondido CA 92027	1.000	\$319.34
225-750-07-00	Stott Jaye & Cagle Lori	629 Berkshire Pl	629 Berkshire Pl	Escondido CA 92027	1.000	\$319.34
225-750-08-00	Sanmur Lammone	633 Berkshire Pl	633 Berkshire Pl	Escondido CA 92027	1.000	\$319.34
225-750-09-00	Trott Family Trust 08-18-03	655 Berkshire Pl	655 Berkshire Pl	Escondido CA 92027	1.000	\$319.34
225-750-10-00	Paredes Jose M & Claudia	678 Berkshire Pl	678 Berkshire Pl	Escondido CA 92027	1.000	\$319.34
225-750-11-00	Kells Michael & Delma	644 Berkshire Pl	644 Berkshire Pl	Escondido CA 92027	1.000	\$319.34
225-750-13-00	Rondeau Steven M &	2772 Berkshire Pl	2772 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-14-00	Denker Lore H	2788 Oakwood Creek Way	2788 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-15-00	Hanesana Soubanh &	2790 Oakwood Creek Way	2790 Oakwood Creek Crk	Escondido CA 92027	1.000	\$319.34
225-750-16-00	Sulit Michael J	2739 Oakwood Creek Way	2739 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-17-00	Esterman Gabriel & Bido	2733 Oakwood Creek Way	2733 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-18-00	Cruz Abel A & Elena E	2727 Oakwood Creek Way	2727 Oakwood Creek Way	Escondido CA 92027	1.000	\$319.34
225-750-19-00	Manuel Romeo R & Myla P	621 Oakwood Creek Pl	621 Oakwood Creek Pl	Escondido CA 92027	1.000	\$319.34
225-750-20-00	Lucero Noel	635 Oakwood Creek Pl	12616 Sora Way	San Diego CA 92129	1.000	\$319.34
225-750-21-00	Williams James E Iii &	657 Oakwood Creek Pl	657 Oakwood Creek Pl	Escondido CA 92027	1.000	\$319.34
225-750-22-00	Brown Cathleen	679 Oakwood Creek Pl	679 Oakwood Creek Pl	Escondido CA 92027	1.000	\$319.34
225-750-23-00	Hamilton Vicky L 2012	683 Oakwood Creek Pl	683 Oakwood Creek Pl	Escondido CA 92027	1.000	\$319.34
225-750-24-00	Davidson Murray R Trust	688 Oakwood Creek Pl	P O Box 27087	San Diego CA 92198	1.000	\$319.34

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 25
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-750-25-00	Esteban Christopher V	660 Oakwood Creek PI	660 Oakwood Creek PI	Escondido CA 92027	1.000	\$319.34
225-750-26-00	Olmeda Albino & Reba J	648 Oakwood Creek PI	648 Oakwood Creek PI	Escondido CA 92027	1.000	\$319.34
225-750-27-00	Tieu Binh	616 Oakwood Creek PI	616 Oakwood Creek PI	Escondido CA 92027	1.000	\$319.34
225-750-28-00	Flaherty Family Trust	604 Oakwood Creek PI	604 Oakwood Creek PI	Escondido CA 92027	1.000	\$319.34
Totals:		Parcels:	52		52.000	\$16,605.68

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 26
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
227-650-33-00	Chittadara Pete & Tune	710 Jet Pl	710 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-34-00	Nguyen Thu Huong	722 Jet Pl	722 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-35-00	Imanil Ely B	736 Jets Pl	736 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-36-00	Lieu David & Nguyen Vickie	748 Jet Pl	748 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-37-00	Red Arrow Investments L L	764 Jet Pl	1993 Pizarro Ln	Escondido CA 92026	1.000	\$516.68
227-650-38-00	Volobuyev Serhiy	788 Jet Pl	788 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-39-00	Nicholson Serrita L &	799 Jet Pl	799 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-40-00	Tran Phuc M	775 Jet Pl	775 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-41-00	Sahial Mohammed E	757 Jet Pl	757 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-42-00	Nguyen Cuc Phan	741 Jet Pl	741 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-43-00	Cantu Jose	733 Jet Pl	733 Jet Pl	Escondido CA 92026	1.000	\$516.68
227-650-44-00	Nasry Moneis Revocable	715 Jet Pl	1497 Camino De Nog	Fallbrook CA 92028	1.000	\$516.68
227-650-45-00	Mountry Scotty & Vicky	707 Jet Pl	707 Jet Pl	Escondido CA 92026	1.000	\$516.68
Totals:		Parcels:	13		13.000	\$6,716.84

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 27
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-270-30-00	McLennan Decedents Family	2451 Tangelo Pl East	500 E Valley Pkwy #302	Escondido CA 92025	3.000	\$701.10
225-760-01-00	Martin Corey A &	2641 Pummelo Ct	2641 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-02-00	Rapczynski Ronald	2625 Pummelo Ct	2625 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-03-00	Villacarlos Percival A &	2601 Pummelo Ct	2601 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-04-00	Ho Tom M	601 Star Ruby Ct	601 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-05-00	Sanders Wesley S &	623 Star Ruby Ct	623 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-06-00	Belnap Bruce E & Diana L	639 Star Ruby Ct	639 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-07-00	Trinh Loc P & Le Vinh	651 Star Ruby Ct	651 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-08-00	Nguyen Edward	673 Star Ruby Ct	673 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-09-00	Hanson Susan Separate	681 Star Ruby Ct	681 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-10-00	Flores Antonio Jr &	695 Star Ruby Ct	695 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-11-00	C W C Regional Housing	672 Star Ruby Ct	11236 El Camino Real #200	San Diego CA 92130	1.000	\$233.70
225-760-12-00	Brumlow Michael L &	652 Star Ruby Ct	652 Star Ruby Ct	Escondido CA 92027	1.000	\$233.70
225-760-13-00	Phan David	2626 Pummelo Ct	2626 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-14-00	Schaeffer Sherry L	2642 Pummelo Ct	2642 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-15-00	Martinez Pedro H	2650 Pummelo Ct	2650 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-16-00	Turner Theodore R li &	2654 Pummelo Ct	2654 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-17-00	Paddock Charles W & Laury	2660 Pummelo Ct	2660 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-18-00	Ocampo Mariano & Arlene	2674 Pummelo Ct	2674 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-19-00	Pugal Alex C & Ionne T	2695 Pummelo Ct	2695 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-20-00	Morton David L & Sheri L	2681 Pummelo Ct	2681 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-21-00	Contreras Ding C &	2675 Pummelo Ct	2675 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-22-00	Patel Chintu K & Arpita C	2661 Pummelo Ct	2661 Pummelo Ct	Escondido CA 92027	1.000	\$233.70
225-760-23-00	Lindsay John R & Roseanne	2655 Pummelo Ct	746 Ridgemont Cir	Escondido CA 92027	1.000	\$233.70
225-760-24-00	Marshall Randol B	2661 Minneola Ln	2661 Minneola Ln	Escondido CA 92027	1.000	\$233.70
225-760-25-00	Nguyen Nghia Dang & Hua	2641 Minneola Ln	2641 Minneola Ln	Escondido CA 92027	1.000	\$233.70
225-760-26-00	Bevil Joan V Trust 05-01-07	2635 Minneola Ln	2635 Minneola Ln	Escondido CA 92027	1.000	\$233.70
225-760-27-00	Langston Kenneth L &	2629 Minneola Ln	2629 Minneola Ln	Escondido CA 92027	1.000	\$233.70
225-760-28-00	Duncan Family Revocable	704 Sungold Way	704 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-760-29-00	Slidders Trust 04-16-13	720 Sungold Way	720 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-760-30-00	Patrick Joseph J & Emily M	742 Sungold Way	742 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-760-31-00	Hendel Family 2013 Trust	743 Sungold Way	743 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-760-32-00	White Andre B & Darlene D	731 Sungold Way	731 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-760-33-00	Nissan Najdat S & Razan H	715 Sungold Way	715 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-760-34-00	Wilson Christopher &	705 Sungold Way	705 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-01-00	Samrith Vandy S & Ton	748 Sungold Way	13376 Jacaranda Blossom Dr	Valley Center CA	1.000	\$233.70
225-761-02-00	Steele Cyril R & Cathy S	750 Sungold Way	750 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-03-00	Miller Family Trust	758 Sungold Way	758 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-04-00	Sumner Todd E & Kari	766 Sungold Way	766 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-05-00	Delosangeles Isagani E &	770 Sungold Way	770 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-06-00	Hwang Raewook & Cho	780 Sungold Way	780 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-07-00	Ramachandran	790 Sungold Way	790 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-08-00	Henry Shawn E & Teresa R	802 Sungold Way	802 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-09-00	Pham Loc V	824 Sungold Way	824 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-10-00	Lopez Joseph E &	832 Sungold Way	832 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-11-00	Borkowski Thaddeus W &	844 Sungold Way	844 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-12-00	Ly Chuong Khanh & Tran	852 Sungold Way	852 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-13-00	Collins Peter A	864 Sungold Way	864 Sungold Way	Escondido CA 92027	1.000	\$233.70

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 27
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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-761-14-00	Keeler Scott W & Beatriz R	2690 Ponderosa Ct	2690 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-15-00	Guilliams Tom & Renny R	2674 Ponderosa Ct	2674 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-16-00	Cid Julius M & Mari D S C	2652 Ponderosa Ct	2652 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-17-00	Alvarez Jose L & Susan B	2640 Ponderosa Ct	2640 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-18-00	Vicens Isaias V & Vizminda	2643 Ponderosa Ct	2643 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-19-00	Rutherford Mark T &	2655 Ponderosa Ct	2655 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-20-00	Lucas James J Trust	2681 Ponderosa Ct	2681 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-21-00	Ziegler Family Trust	2697 Ponderosa Ct	2697 Ponderosa Ct	Escondido CA 92027	1.000	\$233.70
225-761-22-00	Milstead Trust 09-05-07	2598 Honeybell Ln	2598 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-23-00	Davies Diane	2582 Honeybell Ln	2582 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-24-00	Sutley Jacob K & Melissa S	2570 Honeybell Ln	2570 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-25-00	Harrington Jeffrey G &	2568 Honeybell Ln	2568 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-26-00	Mccarthy Patricia A Living	2548 Honeybell Ln	2540 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-27-00	Torgeson Terence & Toni	2535 Honeybell Ln	2535 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-28-00	Balardeta Jason R	2545 Honeybell Ln	2545 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-29-00	Rakpongs Fah & Prisana	2557 Honeybell Ln	2557 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-30-00	Mcchesney George R &	2569 Honeybell Ln	2569 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-31-00	Haddad Naseer & Tania A	2589 Honeybell Ln	2589 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-761-32-00	Diorio Joseph J & Lilia	793 Sungold Way	793 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-33-00	Kwai Janice L Revocable	785 Sungold Way	785 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-34-00	Luong Teddy Thanh Vinh	773 Sungold Way	773 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-761-35-00	Albergo Family Trust	2576 Hamlin Ct	2576 Hamlin Ct	Escondido CA 92027	1.000	\$233.70
225-761-36-00	Rodoni Carl A & Madeleine	2552 Hamlin Ct	2552 Hamlin Ct	Escondido CA 92027	1.000	\$233.70
225-761-37-00	Cocom Robert S	2549 Hamlin Ct	2549 Hamlin Ct	Escondido CA 92027	1.000	\$233.70
225-761-38-00	Mopia Dason D & Noemie E	2565 Hamlin Ct	2565 Hamlin Ct	Escondido CA 92027	1.000	\$233.70
225-761-39-00	Wolgast Michael &	2583 Hamlin Ct	2583 Hamlin Ct	Escondido CA 92027	1.000	\$233.70
225-762-01-00	Berry Judith M	872 Sungold Way	872 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-762-02-00	Richardson John E & Kathy	884 Sungold Way	884 Sungold Way	Escondido CA 92027	1.000	\$233.70
225-762-03-00	Bumanglag Josephine F	2632 Jaffa Ct	2632 Jaffa Ct	Escondido CA 92027	1.000	\$233.70
225-762-04-00	Yeav Kim	2631 Jaffa Ct	2631 Jaffa Ct	Escondido CA 92027	1.000	\$233.70
225-762-05-00	Soliven Eusebio M li &	2657 Jaffa Ct	2657 Jaffa Ct	Escondido CA 92027	1.000	\$233.70
225-762-06-00	Plate Gina	2673 Jaffa Ct	2673 Jaffa Ct	Escondido CA 92027	1.000	\$233.70
225-762-07-00	Ansara John Revocable	2695 Jaffa Ct	2695 Jaffa Ct	Escondido CA 92027	1.000	\$233.70
225-762-08-00	Lamb Family Trust	Jaffa Ct	2612 E Washington Ave	Escondido CA 92027		
225-762-09-00	Chaparral Owners Assn	Jaffa Ct	5966 La Place Ct #170	Carlsbad CA 92008		
225-763-01-00	Haskell Lorena	2534 Honeybell Ln	2534 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-02-00	Saini Manu & Harminder	2520 Honeybell Ln	2520 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-03-00	Woolever Family Trust	2504 Honeybell Ln	2504 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-04-00	Hooper Vannon J & Kellie	2494 Honeybell Ln	2494 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-05-00	Yuen David Pui Ming & So	2482 Honeybell Ln	2482 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-06-00	Vodang Tommy & Marian D	2474 Honeybell Ln	2474 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-07-00	Wasef Mofid & Miral	2462 Honeybell Ln	2462 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-08-00	R L S Family Trust	2454 Honeybell Ln	2454 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-09-00	Nguyen Cuc Hong Thi &	2448 Honeybell Ln	2448 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-10-00	Keorajavongsay Tab	2442 Honeybell Ln	2442 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-11-00	Salem Sherif & Omneya B	2434 Honeybell Ln	2434 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-12-00	Sheehan Family Trust	2422 Honeybell Ln	2422 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-13-00	Kline Kelly R & Rebecca	2414 Honeybell Ln	2414 Honeybell Ln	Escondido CA 92027	1.000	\$233.70

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 27
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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-763-14-00	Jameson Chad & Stacey	2402 Honeybell Ln	2402 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-15-00	Manuel Efraim & Michelle	2403 Honeybell Ln	2403 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-16-00	Nguyen Ryan	2413 Honeybell Ln	2413 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-17-00	Dejesus Renato & Elenita	2421 Honeybell Ln	2421 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-18-00	Webber Jeff J & Angela R	2433 Honeybell Ln	2433 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-19-00	Kreitlow Nicholas & Rene	2443 Honeybell Ln	2443 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-20-00	Qaddoura Ismail &	2447 Honeybell Ln	2447 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-21-00	Dang Khanh Kim &	2453 Honeybell Ln	2453 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-22-00	Wolmarans Henry & Jackie	2461 Honeybell Ln	2461 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-23-00	Stapley Paul & King	2473 Honeybell Ln	2473 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-24-00	Onrada Erlinda	2481 Honeybell Ln	2481 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-25-00	Chavez Adriana	2493 Honeybell Ln	2493 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-26-00	Bradach Brian J & Jennie L	2509 Honeybell Ln	2509 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-27-00	Vaidyanathan Vasanth &	2521 Honeybell Ln	2521 Honeybell Ln	Escondido CA 92027	1.000	\$233.70
225-763-28-00	Chaparral Owners Assn	Honeybell Ln	5966 La Place Ct #170	Carlsbad CA 92008		
225-763-29-00	Urrutia Fernando C	El Norte Pkwy	2310 E El Norte Pkwy	Escondido CA 92027		
225-763-30-00	Haight Maurice Jr &	Red Blush Rd	2480 E Mission Ave	Escondido CA 92027		
225-764-01-00	Aquino Ceferino B Iii &	889 Red Blush Rd	889 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-02-00	Nguyen Quoctuan T &	873 Red Blush Rd	873 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-03-00	Mencher Jeremy	865 Red Blush Rd	P O Box 301363	Escondido CA 92030	1.000	\$233.70
225-764-04-00	Scroggins Craig D	839 Red Blush Rd	839 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-05-00	Irwin Kenneth S & Chandra	821 Red Blush Rd	821 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-06-00	Flores Moreno Y & Carmen	805 Red Blush Rd	805 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-07-00	Boyer Earl C & Kazue	802 Red Blush Rd	802 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-08-00	Pulangas Dennis E I	816 Red Blush Rd	816 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-09-00	Cregan Steven &	2402 Tangelo Pl East	2402 E Tangelo Pl	Escondido CA 92027	1.000	\$233.70
225-764-10-00	Nguyen Binh Huu & Hoa	2440 Tangelo Pl East	2440 E Tangelo Pl	Escondido CA 92027	1.000	\$233.70
225-764-11-00	Crain Patrick R & Wendy M	2460 Tangelo Pl East	2460 E Tangelo Pl	Escondido CA 92027	1.000	\$233.70
225-764-12-00	Bollish Daniel S & Eryn M	832 Red Blush Rd	832 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-13-00	Turner Donald W & Bonnie	846 Red Blush Rd	846 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-14-00	Brown Yoshiko Family	868 Red Blush Rd	868 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-15-00	Colon Monica	876 Red Blush Rd	876 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-16-00	Dioso Elvin V	882 Red Blush Rd	882 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-17-00	Abdalla Samir Z & Susan G	894 Red Blush Rd	894 Red Blush Rd	Escondido CA 92027	1.000	\$233.70
225-764-18-00	Haight Maurice Jr &	Mission Ave	2480 E Mission Ave	Escondido CA 92027		
Totals:		Parcels:	131		127.000	\$29,679.90

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-141-39-00	Eureka Escondido L L C	Valley Pkwy	980 Montecito Dr #302	Corona CA 92879		
225-770-01-00	Spillane William & Sylvia	3107 Burnet Dr	3107 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-770-02-00	Baker Christopher	3103 Burnet Dr	3103 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-770-03-00	Murillo Roque M li	3095 Burnet Dr	3095 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-770-04-00	Monroy Philippe D & Laura	3089 Burnet Dr	3089 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-770-05-00	Zafra Jefferson A &	3067 Burnet Dr	3067 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-770-06-00	Bel Vue Terrace Properties	3070 Burnet Dr	14754 Via Del Canon	Del Mar CA 92014	1.000	\$296.32
225-770-07-00	Budomo Evelyn C	3078 Burnet Dr	3078 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-770-08-00	Clark Ryan T & Heather M	Murcott Way	2973 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-09-00	Pitard Family Trust	2967 Murcott Way	2967 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-10-00	Yang Yafei	2955 Murcott Way	2955 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-11-00	Hernandez Robert &	2949 Murcott Way	2949 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-12-00	Bankson Britton W &	2933 Murcott Way	2933 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-13-00	Delostrino Randy L &	2921 Murcott Way	2921 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-14-00	Walsh Robert L & Nancy K	766 Bijou Lime Ln	766 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-770-15-00	Walsh Robert L & Nancy K	752 Bijou Lime Ln	9548 Vista Hills Pl	Lakeside CA 92040	1.000	\$296.32
225-770-16-00	Beseke Andrew J & Kristin	753 Bijou Lime Ln	753 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-770-17-00	Pham Cuong Xuan	771 Bijou Lime Ln	771 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-770-18-00	Olivares Jacob & Luz M A	779 Bijou Lime Ln	779 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-770-19-00	Kim Paul C & Christine S	787 Bijou Lime Ln	787 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-770-20-00	Motadel Golriz	791 Bijou Lime Ln	P O Box 7214	Rancho Santa Fe CA	1.000	\$296.32
225-770-21-00	Vogt Steven F & Donna M	795 Bijou Lime Ln	795 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-770-22-00	Sessions Michael S &	2902 Murcott Way	2902 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-23-00	Negrete Jaime	2908 Murcott Way	2908 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-24-00	Strominger Fred R &	2916 Murcott Way	2916 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-25-00	Simpson Christopher E &	2928 Murcott Way	2928 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-26-00	Wang Xue Lian	2940 Murcott Way	2818 Russmar Dr	San Diego CA 92123	1.000	\$296.32
225-770-27-00	Ha Frank A	Murcott Way	967 Mills Corner Ln	San Jose CA 95122	1.000	\$296.32
225-770-28-00	Roy Family Trust 06-13-14	2964 Murcott Way	2964 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-29-00	Walsh Robert L & Nancy K	2970 Murcott Way	9548 Vista Hills Pl	Lakeside CA 92040	1.000	\$296.32
225-770-30-00	Lopez Clyde C & Wilma J	2982 Murcott Way	2982 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-31-00	Young Mark W & Judy	2988 Murcott Way	2988 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-32-00	Vaughan Christopher &	2996 Murcott Way	2996 Murcott Way	Escondido CA 92027	1.000	\$296.32
225-770-33-00	Eureka Springs	Bijou Lime Ln	1 Polaris Way #100	Aliso Viejo CA 92656		
225-771-01-00	Guiang Ricardo & Armi	3053 Burnet Dr	3053 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-02-00	Choe Julie T	3041 Burnet Dr	3041 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-03-00	Lu Pengzhe & You Yu	3025 Burnet Dr	10067 Winecrest Rd	San Diego CA 92127	1.000	\$296.32
225-771-04-00	Williams Brian H &	3017 Burnet Dr	3017 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-05-00	Hudson Ernest Jr & Shirley	3013 Burnet Dr	3013 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-06-00	Weber Pauline L Trust	2989 Burnet Dr	2989 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-07-00	Gomez Antonio	2985 Burnet Dr	2985 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-08-00	Villariasa Steve &	2971 Burnet Dr	2971 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-09-00	Wu Zhiqiang & Liu Jinying	2967 Burnet Dr	13562 Tradition St	San Diego CA 92128	1.000	\$296.32
225-771-10-00	Tapnio Javier T &	2959 Burnet Dr	2959 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-11-00	Roberts Family Trust	2953 Burnet Dr	2953 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-12-00	Mayhew Laura E	2941 Burnet Dr	2941 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-13-00	Patel Naimesh J & Vrajini N	2937 Burnet Dr	2937 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-14-00	Rodstrom Robert & Adriana	2931 Burnet Dr	2931 Burnet Dr	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-771-15-00	Motadel Arta	2919 Burnet Dr	P O Box 7214	Rancho Santa Fe CA	1.000	\$296.32
225-771-16-00	Motadel Arta & Kelly C	2905 Burnet Dr	P O Box 7214	Rancho Santa Fe CA	1.000	\$296.32
225-771-17-00	Bubbles & Ace Family	2902 Burnet Dr	2902 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-18-00	Parker Derek H	2908 Burnet Dr	2908 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-19-00	Motadel Arta & Kelly C	2912 Burnet Dr	P O Box 7214	Rancho Santa Fe CA	1.000	\$296.32
225-771-20-00	Mejia Raul & Erika A	2924 Burnet Dr	2924 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-21-00	Higson Zachary & Pavlina	2928 Burnet Dr	2928 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-22-00	Ghabour Ramy M	2960 Burnet Dr	2960 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-23-00	Torres-garci-crespo Jose A	2964 Burnet Dr	2964 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-24-00	Alegre Michael G & Melissa	2990 Burnet Dr	2990 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-25-00	Mccormick Matthew C &	2996 Burnet Dr	2996 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-26-00	Lord-imaizumi Michael C &	3000 Burnet Dr	3000 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-27-00	Childs Floyd Jr & Melissa	3008 Burnet Dr	3008 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-28-00	Tam Benton R & Reyes-tam	3020 Burnet Dr	3020 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-29-00	Reza Art & Colette C	3034 Burnet Dr	3034 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-30-00	Dunn Steve & Nicole M	3038 Burnet Dr	3038 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-31-00	Zau Family Trust	3046 Burnet Dr	3046 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-32-00	Yen Chih-chuan & Cheng	3058 Burnet Dr	1008 Skyline Pl	San Marcos CA	1.000	\$296.32
225-771-33-00	Lam Duc Quang & Le Trinh	740 Bijou Lime Ln	740 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-771-34-00	Pascual Eusebio A & Fe L	734 Bijou Lime Ln	734 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-771-35-00	Adeyemo Adeoye O &	2922 Rangpur Ct	2922 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-36-00	Delamora Victoria R	2936 Rangpur Ct	2936 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-37-00	Bruner Dustin J & Kelly J	2954 Rangpur Ct	2954 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-38-00	Bootorabi Behrouz	2982 Rangpur Ct	2982 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-39-00	Padilla Gelacio V & Celia F	2990 Rangpur Ct	2990 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-40-00	Henderson David &	2977 Rangpur Ct	615 Teredo Dr	Redwood City CA	1.000	\$296.32
225-771-41-00	Marasigan Lucila M	2963 Rangpur Ct	2963 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-42-00	Yusi Edgardo & Eleanor	2949 Rangpur Ct	2949 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-43-00	Mapel Jason & Melissa	2915 Rangpur Ct	2915 Rangpur Ct	Escondido CA 92027	1.000	\$296.32
225-771-44-00	Jersey Thomas M & Cheryl	2980 Burnet Dr	2980 Burnet Dr	Escondido CA 92027	1.000	\$296.32
225-771-45-00	Ho Andy T & Dang Camtu V	721 Bijou Lime Ln	721 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-771-46-00	Jackson Johnny Iii &	729 Bijou Lime Ln	729 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-771-47-00	Sorkin Family L P	737 Bijou Lime Ln	11236 El Camino Real #200	San Diego CA 92130	1.000	\$296.32
225-771-48-00	Modic David J & Kathy A	745 Bijou Lime Ln	745 Bijou Lime Ln	Escondido CA 92027	1.000	\$296.32
225-771-49-00	Eureka Springs	Burnet Dr	1 Polaris Way #100	Aliso Viejo CA 92656		
225-780-01-00	Freeman Garrett & Maya	2801 Oro Blanco Cir	2801 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-02-00	Iwanefun Damilola G &	2805 Oro Blanco Cir	2805 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-03-00	Perez Anthony L &	2809 Oro Blanco Cir	2809 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-04-00	Delossantos Harry	2813 Oro Blanco Cir	2813 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-05-00	Gee Pong & Kyong	2817 Oro Blanco Cir	2817 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-06-00	Samady Abdul R &	2821 Oro Blanco Cir	2821 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-07-00	Colmenar Family Trust	2825 Oro Blanco Cir	2825 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-08-00	Fuentes Julio & Maria	2829 Oro Blanco Cir	2829 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-09-00	Radcliffe Family 2008 Trust	2833 Oro Blanco Cir	2833 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-10-00	Rosen Andrew B & Wilks	2841 Oro Blanco Cir	2841 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-11-00	Wood Brian L	2853 Oro Blanco Cir	2853 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-12-00	Roth Donald T & Mindy A	2865 Oro Blanco Cir	2865 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-13-00	Tom Matthew R	2877 Oro Blanco Cir	2877 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-780-14-00	Lefore Christopher L	2889 Oro Blanco Cir	2889 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-15-00	Shageryan Irina Living	2891 Oro Blanco Cir	8211 Station Village Ln #1105	San Diego CA 92108	1.000	\$296.32
225-780-16-00	Cathey Rosalina F	2893 Oro Blanco Cir	2893 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-17-00	Frankenberg Harmon &	2899 Oro Blanco Cir	2899 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-18-00	Williams Mark A & Latanya	2903 Oro Blanco Cir	2903 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-19-00	Greer William J & Tracey L	2907 Oro Blanco Cir	2907 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-20-00	Mcnabb Jonathon E &	2911 Oro Blanco Cir	2911 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-21-00	Milton Ricky & Wanda	2915 Oro Blanco Cir	2915 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-22-00	Ilaio Romel & Maria R	2919 Oro Blanco Cir	2919 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-23-00	Mccannell David A	2923 Oro Blanco Cir	2923 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-24-00	Atayde Victoria J	2927 Oro Blanco Cir	2927 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-25-00	Azam Rafi & Olson Karla	2931 Oro Blanco Cir	2931 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-26-00	Fry Theodore S & Rochelle	2935 Oro Blanco Cir	2935 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-27-00	Pollack Family Trust	2949 Oro Blanco Cir	2949 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-28-00	Taylor Noah M	2957 Oro Blanco Cir	2957 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-29-00	Hester Peter J & Kelly D	2963 Oro Blanco Cir	2963 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-30-00	Traylor Delmer J Jr &	2985 Oro Blanco Cir	2985 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-31-00	Garcia Jose L & Graciela	2991 Oro Blanco Cir	2991 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-32-00	Giuliano Peter J &	2980 Oro Blanco Cir	2980 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-33-00	Ekblad Dayton F Jr &	2972 Oro Blanco Cir	2972 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-34-00	Davis Paul L & Loretta A	2960 Oro Blanco Cir	2960 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-35-00	Verner Douglas M &	2950 Oro Blanco Cir	479 Newberry Springs Dr	Las Vegas NV 89148	1.000	\$296.32
225-780-36-00	Riddle Matthew W &	2942 Oro Blanco Cir	2942 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-37-00	Mcclanahan Todd & Grassi	2934 Oro Blanco Cir	2934 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-38-00	Singh Jangh B & Kapoor	2884 Oro Blanco Cir	2884 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-39-00	Donna Jacqueline	2880 Oro Blanco Cir	2880 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-40-00	Kintada Vanaja	2872# Oro Blanco Cir	2872 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-41-00	Ndukwe Emeka	2858 Oro Blanco Cir	2858 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-42-00	Zabaljauregui Richard &	2846 Oro Blanco Cir	2846 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-43-00	Fuller Troy J & Vogt	2838 Oro Blanco Cir	2838 Oro Blanco Cir	Escondido CA 92027	1.000	\$296.32
225-780-44-00	Eureka Springs	Oro Blanco Cir	1525 Faraday Ave #300	Carlsbad CA 92008		
225-780-45-00	Eureka Springs	Oro Blanco Cir	1525 Faraday Ave #300	Carlsbad CA 92008		
225-780-46-00	Eureka Springs	Oro Blanco Cir	1525 Faraday Ave #300	Carlsbad CA 92008		
225-790-01-00	Cagungun Vincent P	592 Chandler Ct	592 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-02-00	Sullivan Living Trust	584 Chandler Ct	584 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-03-00	Baiarrio Brady J & Desiree	576 Chandler Ct	576 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-04-00	Barabash Oleg M &	562 Chandler Ct	562 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-05-00	Morgan Amy	554 Chandler Ct	554 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-06-00	Espitia Ricardo J	538 Chandler Ct	538 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-07-00	Bodnarchuk Paul J &	520 Chandler Ct	520 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-08-00	Kim Kye Hwan	508 Chandler Ct	508 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-09-00	Garcia Manuel M & Emily A	503 Chandler Ct	503 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-10-00	Manzano Antonio Jr &	521 Chandler Ct	521 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-11-00	Castillo Joshua A	537 Chandler Ct	537 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-12-00	Singh Tejnarin &	545 Chandler Ct	545 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-13-00	Shazier Willie N & Venise J	551 Chandler Ct	551 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-14-00	Blalock Andrew L &	563 Chandler Ct	563 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-15-00	Bradford Glenn A & Linda	571 Chandler Ct	571 Chandler Ct	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 28
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Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-790-16-00	Pitard Steven E & Lisa H	587 Chandler Ct	587 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-17-00	Zakharian Ashot	591 Chandler Ct	591 Chandler Ct	Escondido CA 92027	1.000	\$296.32
225-790-18-00	Dinardi-khounthavong Trust	3099 Wohlford Dr	3099 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-19-00	Weng Ming Zhong & Chen	3091 Wohlford Dr	3091 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-20-00	Simpson William O & Linda	3085 Wohlford Dr	3085 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-21-00	Pham Son D	3081 Wohlford Dr	3081 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-22-00	Hsieh John-paul & Nguyen	3077 Wohlford Dr	3077 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-23-00	Lilly Ronald J & Stephanie	3073 Wohlford Dr	3073 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-24-00	Retonel Nerio & Janice	3069 Wohlford Dr	3069 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-25-00	Bigcas Armylyn	Wohlford Dr	3065 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-26-00	Encinas Ernie & Marcia A	3061 Wohlford Dr	3061 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-27-00	Lee Sumin	Wohlford Dr	7676 Hazard Center Dr #200	San Diego CA 92108	1.000	\$296.32
225-790-28-00	Resolme Raul & Graciela	3053 Wohlford Dr	27101 Puerta Real #300	Mission Viejo CA	1.000	\$296.32
225-790-29-00	Jao Jeremy F	3049 Wohlford Dr	3049 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-30-00	Tolentino Brian A & Sulit	3045 Wohlford Dr	3045 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-31-00	Beers Sabrina C	3041 Wohlford Dr	3041 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-32-00	Torres Jose V & Nohemi P	3037 Wohlford Dr	3037 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-33-00	Sulzen Mark A & Linda E	3052 Wohlford Dr	3052 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-34-00	Mincks Ryan D & Aoyagi	3048 Wohlford Dr	3048 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-35-00	Myers Andrew F	3042 Wohlford Dr	3042 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-36-00	Dagher Tarek	3038 Wohlford Dr	3038 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-790-37-00	Mullin Kenneth &	3003 Finley Pl	3003 Finley Pl	Escondido CA 92027	1.000	\$296.32
225-790-38-00	Booth Scott G & Lori	3019 Finley Pl	3019 Finley Pl	Escondido CA 92027	1.000	\$296.32
225-790-39-00	Segura Jessica O	3025 Finley Pl	4529 Home Ave #30	San Diego CA 92105	1.000	\$296.32
225-790-40-00	Department Of Veterans	3031 Finley Pl	27101 Puerta Real #300	Mission Viejo CA	1.000	\$296.32
225-790-41-00	Eureka Springs	Wohlford Dr	391 N Main St #300	Corona CA 92880		
225-790-42-00	Eureka Escondido L L C	Wohlford Dr	980 Montecito Dr #302	Corona CA 92879		
225-790-43-00	Eureka Escondido L L C	Wohlford Dr	980 Montecito Dr #302	Corona CA 92879		
225-790-44-00	Eureka Escondido L L C	Wohlford Dr	980 Montecito Dr #302	Corona CA 92879		
225-790-45-00	City Of Escondido	*** No Situs Info **	Public Agency			
225-791-01-00	Gache Leah	3033 Wohlford Dr	3033 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-02-00	Watson Brock J &	3027 Wohlford Dr	3027 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-03-00	Carl Michael & Johnson	3023 Wohlford Dr	3023 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-04-00	Moss Anthony & Monette S	3019 Wohlford Dr	3019 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-05-00	Ennis Sean M	3013 Wohlford Dr	3013 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-06-00	Simonds Karis	Wohlford Dr	3005 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-07-00	Millamena Jessie J &	3001 Wohlford Dr	3001 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-08-00	Schwinger Charles M &	2995 Wohlford Dr	2995 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-09-00	Tally Charles & Susan	2989 Wohlford Dr	2989 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-10-00	Chavarin Pablo M &	2967 Wohlford Dr	2967 Wohlford Dr	Escondido CA 92027	1.000	\$296.32
225-791-11-00	Oates Alphonso D & Deedra	2955 Wohlford Dr	409 Zircon Ct	Jacksonville NC	1.000	\$296.32
225-791-12-00	Imaizumi Linda A	594 Dana Ln	594 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-13-00	Danko Gary	588 Dana Ln	588 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-14-00	Majam Roland B &	574 Dana Ln	574 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-15-00	Judd Casey-blu R &	562 Dana Ln	562 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-16-00	Catudio Neil S D	558 Dana Ln	558 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-17-00	Yu Danilo L & Micy A	546 Dana Ln	546 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-18-00	Griffin Jeremy P & Kristin L	542 Dana Ln	542 Dana Ln	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-791-19-00	Villarin John M & Aireen C	540 Dana Ln	540 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-20-00	Vanetten Almira	536 Dana Ln	536 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-21-00	C B & Trust No 24928	532 Dana Ln	340 S Lemon Ave #5320	Walnut CA 91789	1.000	\$296.32
225-791-22-00	Simmons Ashley L Trust	528 Dana Ln	16882 Bolsa Chica St #105	Huntington Beach	1.000	\$296.32
225-791-23-00	Brown Greg & Kristal A	524 Dana Ln	524 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-24-00	Jimenez Maria & Sarno	510 Dana Ln	510 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-25-00	Lacson Benjamin M &	495 Dana Ln	495 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-26-00	Quade Jason D & Joceyn A	515 Dana Ln	515 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-27-00	Schrimp Living Trust	521 Dana Ln	521 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-28-00	Flores Saniber C & Haydee	551 Dana Ln	551 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-29-00	Rodriguez Agustin J &	565 Dana Ln	565 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-30-00	Amano Eugene E & Aida M	573 Dana Ln	14122 Via Alisal	San Diego CA 92128	1.000	\$296.32
225-791-31-00	Campbell Jon M Jr &	585 Dana Ln	585 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-32-00	Warner Clifford J & Michele	591 Dana Ln	591 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-33-00	Tabangcora Solomon L &	599 Dana Ln	599 Dana Ln	Escondido CA 92027	1.000	\$296.32
225-791-34-00	Winninger James P & Jill R	578 Eureka Dr	578 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-35-00	Jimenez Jeffrey B &	556 Eureka Dr	556 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-36-00	Jones Jwyanza K &	540 Eureka Dr	540 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-37-00	Bonifacio Emil A & Dionne	534 Eureka Dr	534 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-38-00	Delgadillo Miguel	Eureka Dr	522 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-39-00	Church James C & Laurie A	516 Eureka Dr	516 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-40-00	Serna Edward M Jr &	504 Eureka Dr	504 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-791-41-00	Eureka Escondido L L C	Eureka Dr	980 Montecito Dr #302	Corona CA 92879		
225-791-42-00	Eureka Springs	Eureka Dr	391 N Main St #300	Corona CA 92880		
225-791-43-00	Eureka Springs	Wohlford Dr	391 N Main St #300	Corona CA 92880		
225-791-44-00	Eureka Springs	Wohlford Dr	1 Polaris Way #100	Aliso Viejo CA 92656		
225-791-45-00	City Of Escondido	*** No Situs Info **	Public Agency			
225-791-46-00	City Of Escondido	*** No Situs Info **	Public Agency			
225-800-01-00	Reyes Pascual J	3117 Timken Cir	1922 Nina Pl	Escondido CA 92026	1.000	\$296.32
225-800-02-00	Flores Jethro B & Marilyn N	3131 Timken Cir	3131 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-800-03-00	Martinez Carlos A M	3155 Timken Cir	3155 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-800-04-00	Pascual Glen C & Remy R	3172 Crane Ave	13369 Graywolf Pl Ne	Poulsbo WA 98370	1.000	\$296.32
225-800-05-00	Kriegshauser Joshua M &	3160 Crane Ave	3160 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-06-00	Martinez Felipe & Amador	3154 Crane Ave	3154 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-07-00	Speeth Henry	3144 Crane Ave	3144 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-08-00	Guo Gensheng & Li Shaoli	3130 Crane Ave	3130 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-09-00	Padilla Christian & Barbara	3124 Crane Ave	3124 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-10-00	Caldwell James Jr & Cheryl	3118 Crane Ave	3118 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-11-00	Hanson Cherie B 2002	3117 Crane Ave	3117 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-12-00	Suarez Ernesto M & Florida	3123 Crane Ave	3123 Crance Ave	Escondido CA 92027	1.000	\$296.32
225-800-13-00	Munar Armando D & Elsie	3131 Crane Ave	8311 Chelsea Ln	Woodridge IL 60517	1.000	\$296.32
225-800-14-00	Dee Ric & Munoz-dee Liza	3141 Crane Ave	3141 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-15-00	Bradley Kenneth V &	498 Kennedy Ct	498 Kennedy Ct	Escondido CA 92027	1.000	\$296.32
225-800-16-00	Leek Shaun & Kristina	470 Kennedy Ct	470 Kennedy Ct	Escondido CA 92027	1.000	\$296.32
225-800-17-00	Garbrick Robert L & Joalice	448 Kennedy Ct	448 Kennedy Ct	Escondido CA 92027	1.000	\$296.32
225-800-18-00	Goodson Luther & Melissa	420 Kennedy Ct	420 Kennedy Ct	Escondido CA 92027	1.000	\$296.32
225-800-19-00	Villatoro Fidel A & Karina D	421 Kennedy Ct	421 Kennedy Ct	Escondido CA 92027	1.000	\$296.32
225-800-20-00	Peters Wesley R & Diane J	437 Kennedy Ct	437 Kennedy Ct	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-800-21-00	Tucker Dwayne L & Dixon	451 Kennedy Ct	451 Kennedy Ct	Escondido CA 92027	1.000	\$296.32
225-800-22-00	Uran Scot L & Leticia T	3175 Crane Ave	3175 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-800-23-00	Eureka Escondido L L C	Kennedy Ct	980 Montecito Dr #302	Corona CA 92879		
225-800-24-00	Eureka Springs	Timken Cir	1 Polaris Way #100	Aliso Viejo CA 92656		
225-800-26-00	Eureka Springs	Beven Dr	1 Polaris Way #100	Aliso Viejo CA 92656		
225-801-01-00	Li Lyon & Minrong	3173 Timken Cir	3173 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-02-00	Stuckey Roger M &	3181 Timken Cir	3181 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-03-00	Dossey Rodrick K & Lesley	3195 Timken Cir	3195 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-04-00	Fontanares Recto S &	3198 Crane Ave	3198 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-05-00	Gagaring Eugene & Henson	3194 Crane Ave	3194 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-06-00	Reynolds Clifford C &	3188 Crane Ave	3188 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-07-00	Ortega Esequiel	3182 Crane Ave	3182 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-08-00	Cordle Frank & Donna 2009	3181 Crane Ave	3624 Ben St	San Diego CA 92111	1.000	\$296.32
225-801-09-00	Mendez Noe C & Contreras	406 Boudinot Ct	406 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-10-00	Vargas Manuel R & Aida A	420 Boudinot Ct	8870 Nandina Ct	Escondido CA 92026	1.000	\$296.32
225-801-11-00	Adawi Fadi & Khireddin	440 Boudinot Ct	440 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-12-00	Murphy Kevin M &	456 Boudinot Ct	456 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-13-00	Chanchico Roderick & Irene	474 Boudinot Ct	474 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-14-00	Florida Norman S & Razel	488 Boudinot Ct	488 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-15-00	Gastelum Damion & Celeste	489 Boudinot Ct	489 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-16-00	Wiebel Daniel T & Terri J	471 Boudinot Ct	471 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-17-00	Ramirez Maurvee &	449 Boudinot Ct	449 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-18-00	Lu Pengzhe	425 Boudinot Ct	10067 Winecrest Rd	San Diego CA 92127	1.000	\$296.32
225-801-19-00	Kvitli Billy D & Heidi L	409 Boudinot Ct	409 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-20-00	Giovanola Edward	403 Boudinot Ct	403 Boudinot Ct	Escondido CA 92027	1.000	\$296.32
225-801-21-00	Singh Kiranjot & Kaur	404 Eureka Dr	404 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-22-00	Hia Vincent H	432 Eureka Dr	432 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-23-00	Rolfe Scot T	464 Eureka Dr	464 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-24-00	Casselberry Michael E &	476 Eureka Dr	476 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-25-00	Minkoff Family Trust	481 Eureka Dr	2281 Lomica Pl	Escondido CA 92029	1.000	\$296.32
225-801-26-00	Turville James D & Paulina	477 Eureka Dr	477 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-27-00	Tanner Christopher J &	465 Eureka Dr	465 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-28-00	Pinderski Family Trust	433 Eureka Dr	433 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-29-00	Kim Y & H Family Trust	401 Eureka Dr	401 Eureka Dr	Escondido CA 92027	1.000	\$296.32
225-801-30-00	Goodrich Lora L	3211 Crane Ave	3211 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-31-00	Reis Daniel J	3225 Crane Ave	3225 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-32-00	Leahy Matt & Sunday	3237 Crane Ave	3237 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-33-00	Han Jung Y & Sung Jisoo	3245 Crane Ave	3245 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-34-00	Andrew Kevin & Esla	3257 Crane Ave	3257 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-35-00	Fikse Family Trust	3271 Crane Ave	3271 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-36-00	Tong Lin	3285 Crane Ave	3285 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-37-00	Walters Peter A	3293 Crane Ave	3293 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-38-00	Singh Family Trust	3297 Crane Ave	3297 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-39-00	Torres Ricardo	3294 Crane Ave	3294 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-40-00	Williams 2007 Family Trust	3288 Crane Ave	3288 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-41-00	Price Frederick E 1993	3276 Crane Ave	3276 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-42-00	Craven Charles E & Jodi M	3262 Crane Ave	3262 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-43-00	Griggs Family 2003 Trust	3242 Crane Ave	3242 Crane Ave	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-801-44-00	Hsieh Shur-wei & Jenny	3228 Crane Ave	3228 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-45-00	Singh Manpreet & Kaur	3202 Crane Ave	3202 Crane Ave	Escondido CA 92027	1.000	\$296.32
225-801-46-00	Baguio Christopher &	3201 Timken Cir	3201 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-47-00	Tolen Donald E Iii &	3235 Timken Cir	3235 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-48-00	Nguyen Lam Van	3257 Timken Cir	3257 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-49-00	Jamias Joseph I Jr &	3273 Timken Cir	3273 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-50-00	Hackbarth Katie	3285 Timken Cir	3285 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-51-00	Hart Gary W	3291 Timken Cir	3291 Timken Cir	Escondido CA 92027	1.000	\$296.32
225-801-52-00	Eureka Springs	Eureka Dr	1 Polaris Way #100	Aliso Viejo CA 92656		
225-801-53-00	Eureka Springs	Eureka Dr	391 N Main St #300	Corona CA 92880		
225-810-01-00	Simmons Denzil D & Elvira	3168 Katharine Dr	3168 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-02-00	Gervais Daniel J & Brenda	Katharine Dr	3146 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-03-00	Leap Family Trust 08-27-14	3111 Katharine Dr	16829 Concorde HI	Ramona CA 92065	1.000	\$296.32
225-810-04-00	Ammouri Layan	3125 Katharine Dr	12063 Caminito Campana	San Diego CA 92128	1.000	\$296.32
225-810-05-00	Fales Christopher R &	3141 Katharine Dr	3141 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-06-00	Marifosque Edgardo E &	3153 Katharine Dr	3153 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-07-00	Nelsen James A & Vu Romy	Katharine Dr	3177 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-08-00	Fang Ming	3189 Katharine Dr	3189 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-09-00	Lee Steven R & Charlene H	3197 Katharine Dr	3197 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-10-00	Johnson Family Trust	3198 Beven Dr	3198 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-11-00	Ochinang Marconi &	3184 Beven Dr	3184 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-12-00	Malhotra Amrit	3176 Beven Dr	3176 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-13-00	Pickrell Anthony L &	3160 Beven Dr	3160 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-14-00	Mendoza Joseph J S	3152 Beven Dr	3152 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-15-00	Sprague Richard D Jr	3144 Beven Dr	3144 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-16-00	Chappel Pamela J	3136 Beven Dr	3136 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-17-00	Eugenio Fredrick	3122 Beven Dr	3122 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-18-00	Ross Sean & Keri A	3131 Beven Dr	1042 N El Camino Real #b207	Encinitas CA 92024	1.000	\$296.32
225-810-19-00	Pena Alejandro & Uzma	3147 Beven Dr	3147 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-20-00	Yakovlev Sergei &	3151 Beven Dr	3151 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-21-00	Tang Danny H	3202 Beven Dr	3202 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-22-00	Chavez Ryan D & Sarah B	3228 Beven Dr	3228 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-23-00	Murrell Ingrid N &	3232 Beven Dr	3232 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-810-24-00	Concepcion Edward &	3233 Katharine Dr	3233 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-25-00	Perez Nestor M &	3227 Katharine Dr	3227 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-26-00	Macisaac Christopher &	3201 Katharine Dr	3201 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-27-00	Salazar Guillermo & Rosa C	3248 Katharine Dr	3248 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-28-00	Lambert Reginald E	3242 Katharine Dr	3242 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-810-29-00	Eureka Springs	Katharine Dr	1525 Faraday Ave #300	Carlsbad CA 92008		
225-810-30-00	Eureka Springs	Ambersweet Way	1525 Faraday Ave #300	Carlsbad CA 92008		
225-811-01-00	Ganzon Teresita M	3238 Beven Dr	3238 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-02-00	Barnes Cody	3244 Beven Dr	3244 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-03-00	Benedicto Patrick &	3248 Beven Dr	3248 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-04-00	Yagiello P & E Family Trust	3250 Beven Dr	3250 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-05-00	Brown Phyllis C Revocable	3252 Beven Dr	P O Box 301984	Escondido CA 92030	1.000	\$296.32
225-811-06-00	Nacionales Vivian F	3295 Katharine Dr	3295 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-07-00	Katebian Mansour	3283 Katharine Dr	3283 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-08-00	Okuna Vaughn E &	3275 Katharine Dr	3275 Katharine Dr	Escondido CA 92027	1.000	\$296.32

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 28

Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
225-811-09-00	Ly Keri Sue	3267 Katharine Dr	3267 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-10-00	Ilog Gerardo O & Raquel M	3255 Katharine Dr	3255 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-11-00	Evans Michael D Jr & Dalia	3245 Katharine Dr	3245 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-12-00	Lane Patricia	3272 Katharine Dr	3272 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-13-00	Wright Brett & Kathy	3268 Katharine Dr	3268 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-14-00	Cordova Jorge & Syreeta	3256 Katharine Dr	3256 Katharine Dr	Escondido CA 92027	1.000	\$296.32
225-811-15-00	Hayes Bardy A & Renee L	380 Coleman Ct	380 Coleman Ct	Escondido CA 92027	1.000	\$296.32
225-811-16-00	Croll Brian & Julie	399 Coleman Ct	399 Coleman Ct	Escondido CA 92027	1.000	\$296.32
225-811-17-00	Dennis J Roger & Janis D	377 Coleman Ct	377 Coleman Ct	Escondido CA 92027	1.000	\$296.32
225-811-18-00	Stanley Gregory A &	339 Coleman Ct	339 Coleman Ct	Escondido CA 92027	1.000	\$296.32
225-811-19-00	Lutes Jennifer	301 Coleman Ct	301 Coleman Ct	Escondido CA 92027	1.000	\$296.32
225-811-20-00	Tavarez Dorian A &	3270 Beven Dr	3270 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-21-00	Carey Andrew P & Lisa M	3282 Beven Dr	3282 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-22-00	Singh Daulat & Kaur	3286 Beven Dr	1560 E Grand Ave	Escondido CA 92027	1.000	\$296.32
225-811-23-00	Devries Matthew S &	3294 Beven Dr	3294 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-24-00	Aglialoro Todd & Patricia M	3291 Beven Dr	2020 Gillespie Way	El Cajon CA 92020	1.000	\$296.32
225-811-25-00	Bridges Pamela	3287 Beven Dr	3287 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-26-00	Hubbard Lance C & Rincon	3283 Beven Dr	3283 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-27-00	Kerr Brett W & Elizabeth B	3275 Beven Dr	3275 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-28-00	Fadaei-tehrani Reza &	3271 Beven Dr	3271 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-29-00	Page Ronald L & Elizabeth	3269 Beven Dr	3269 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-30-00	Randall Benjamin C & Aja	3267 Beven Dr	3267 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-31-00	Lanier Stacy & Jenica	3265 Beven Dr	3265 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-32-00	Vellido Justin E & Jesusa M	3261 Beven Dr	3261 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-33-00	Hidalgo Frank & Gloria A	3259 Beven Dr	3259 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-34-00	Montazer Hamid M & Arni	3255 Beven Dr	3255 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-35-00	Seymoure Ebony G	3249 Beven Dr	8300 Station Village Ln #2	San Diego CA 92108	1.000	\$296.32
225-811-36-00	Dhillon Narinder & Kaur	3243 Beven Dr	3243 Beven Dr	Escondido CA 92027	1.000	\$296.32
225-811-37-00	Eureka Springs	Beven Dr	1525 Faraday Ave #300	Carlsbad CA 92008		
225-811-38-00	Eureka Springs	Beven Dr	1 Polaris Way #100	Aliso Viejo CA 92656		
225-811-39-00	Eureka Springs	Beven Dr	1 Polaris Way #100	Aliso Viejo CA 92656		
240-020-28-00	Eureka Escondido L L C	Valley Pkwy	980 Montecito Dr #302	Corona CA 92879		
240-020-31-00	Lark & Sons L L C	13961 Valle Lindo Rd	43195 Via Siena	Indian Wells CA		
Totals:		Parcels:	369		340.000	\$100,748.80

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 29
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
236-334-43-00	Judilla Nelson T	902 Rockwell Springs Ct	902 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-44-00	Fulton William E	930 Rockwell Springs Ct	930 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-45-00	Norman Bahjat & Eva	944 Rockwell Springs Ct	944 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-46-00	Goldberg Aaron B	2031 Felicita Rd	2031 Felicita Rd	Escondido CA 92025	1.000	\$557.20
236-334-47-00	Jongcharoeun Kinary	970 Rockwell Springs Ct	970 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-48-00	Marks Revocable Living	979 Rockwell Springs Ct	28570 Mountain Meadow Rd	Escondido CA 92026	1.000	\$557.20
236-334-49-00	Castro George & Imelda	953 Rockwell Springs Ct	810 Luna Vista Dr	Escondido CA 92025	1.000	\$557.20
236-334-50-00	Ulaszek John & Renee	939 Rockwell Springs Ct	939 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-51-00	Cedillo Luis	925 Rockwell Springs Ct	925 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-52-00	Gillman Paul T Jr & Nellie	907 Rockwell Springs Ct	907 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-53-00	Buzzard John G & Elizabeth	913 Rockwell Springs Ct	913 Rockwell Springs Ct	Escondido CA 92025	1.000	\$557.20
236-334-54-00	Ederer James J Iii	2111 Felicita Rd	2111 Felicita Rd	Escondido CA 92025	1.000	\$557.20
Totals:		Parcels:	12		12.000	\$6,686.40

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 30
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
229-081-26-00	Tellier Family Trust	Cole Ct	4364 Bonita Rd #483	Bonita CA 91902	1.500	
229-081-27-00	Tellier Family Trust	669 Porfirio Diaz Glen	4364 Bonita Rd #483	Bonita CA 91902	1.500	
229-081-28-00	Tellier Family Trust	671 Porfirio Diaz Glen	4364 Bonita Rd #483	Bonita CA 91902	1.500	
229-081-29-00	Arias Cieran M	1225 Fig St North	1225 N Fig St	Escondido CA 92026	1.500	
Totals:		Parcels:	4		6.000	\$0.00

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 32
Assessment Levy for Fiscal Year 2017-18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
231-800-18-00	Chavez M & E Family 2008	592 Trovita Ct	592 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-19-00	Rattanasith Nor &	586 Trovita Ct	586 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-20-00	Huynh Ty Van & Luc Nu	582 Trovita Ct	582 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-21-00	Sisombath Dennis	572 Trovita Ct	572 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-22-00	George Adam M & Renee F	568 Trovita Ct	568 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-23-00	Stevens Joshua J	564 Trovita Ct	564 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-24-00	Sankar Sam N &	560 Trovita Ct	560 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-25-00	Rozzo Scott & Mila M	558 Trovita Ct	558 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-26-00	Nguyen Hung V	554 Trovita Ct	554 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-27-00	Timson Michael W & Sandy	542 Trovita Ct	542 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-28-00	Golina Jhee A	538 Trovita Ct	538 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-29-00	Ashforth Donald A Jr &	532 Trovita Ct	532 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-30-00	Yamasaki Jack	535 Trovita Ct	535 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-31-00	Mamaradlo Greg N &	547 Trovita Ct	547 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-32-00	Escobar Walter M	553 Trovita Ct	553 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-33-00	Akiaten Brandon E &	559 Trovita Ct	559 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-34-00	Valera-jones Ada D	563 Trovita Ct	563 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-35-00	Correa William & Nancy A	567 Trovita Ct	567 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-36-00	Enderwick Thomas P &	571 Trovita Ct	571 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-37-00	Tran Steven & Phan Linh	575 Trovita Ct	575 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-38-00	Doliente Gemma B	581 Trovita Ct	581 Trovita Ct	Escondido CA 92027	1.000	\$291.46
231-800-39-00	Rodarte Rosa M Trust	589 Trovita Ct	589 Trovita Ct	Escondido CA 92027	1.000	\$291.46
Totals:		Parcels:	22		22.000	\$6,412.12

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 33
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
227-123-38-00	Hickey Michael E & Linda L	2006 Drew Rd	2006 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-39-00	Riemersma Cristopher &	2002 Drew Rd	2002 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-40-00	Clark Lorin R	1984 Drew Rd	P O Box 460550	Escondido CA 92046	1.000	\$935.44
227-123-41-00	Mencher Jeremy	1976 Drew Rd	P O Box 301363	Escondido CA 92030	1.000	\$935.44
227-123-42-00	Hone Matthew C & Natalie	1968 Drew Rd	1968 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-43-00	Serna Jesus V & Maria D L	1964 Drew Rd	1964 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-44-00	Klingensmith Ronald D &	1961 Drew Rd	1961 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-45-00	Proctor Kevin J & Kelly J	1969 Drew Rd	1969 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-46-00	Kieu Daymant V & Bridget	1975 Drew Rd	1975 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-47-00	Calhoun Kevin & Richley	1983 Drew Rd	1983 Drew Rd	Escondido CA 92027	1.000	\$935.44
227-123-48-00	Thongphachanh Kevin &	2003 Drew Rd	2003 Drew Rd	Escondido CA 92027	1.000	\$935.44
Totals:		Parcels:	11		11.000	\$10,289.84

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 34
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
234-180-61-00	Buck Scott & Sarah	1431 Purdum Ln	1431 Purdum Ln	Escondido CA 92025	1.000	\$1,245.60
234-180-62-00	Erdos J & M Family Trust	691 Center Stage Gln	691 Center Stage Gln	Escondido CA 92025	1.000	\$1,245.60
234-180-63-00	Menconi Jeffrey C &	671 Center Stage Gln	671 Center Stage Gln	Escondido CA 92025	1.000	\$1,245.60
234-180-64-00	David Marvin A &	651 Center Stage Gln	651 Center Stage Gln	Escondido CA 92025	1.000	\$1,245.60
234-180-65-00	Wright Eric K & Diane K	1405 Purdum Ln	1405 Purdum Ln	Escondido CA 92025	1.000	\$1,245.60
Totals:		Parcels:	5		5.000	\$6,228.00

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 35
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
238-492-35-00	King Cory J & Tara C	2053 Amir Pl	2053 Hamilton Pl	Escondido CA 92029	1.000	\$740.58
238-492-36-00	Foeste Arthur E & Joan	2075 Hamilton Pl	2075 Hamilton Pl	Escondido CA 92029	1.000	\$740.58
238-492-37-00	Normand Thomas J & Betty	2097 Hamilton Pl	2097 Hamilton Pl	Escondido CA 92029	1.000	\$740.58
238-492-38-00	Robledo Dolores R Family	2092 Hamilton Pl	2092 Hamilton Pl	Escondido CA 92029	1.000	\$740.58
238-492-39-00	Pulsipher Douglas W &	2072 Hamilton Pl	3838 S Westway Dr	Coeur D Alene ID	1.000	\$740.58
238-492-40-00	Kim Joon Y & Kristi H	2054 Hamilton Pl	2054 Hamilton Pl	Escondido CA 92029	1.000	\$740.58
Totals:		Parcels:	6		6.000	\$4,443.48

CITY OF ESCONDIDO
Landscape Maintenance District No. 1 - Zone 36
Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
224-142-02-00	Lennar Homes Of California	733 Stanley Ave	25 Enterprise #300	Aliso Viejo CA 92656	16.000	
Totals:		Parcels:	1		16.000	\$0.00

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 37
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
229-071-34-00	Switgall Emilia S Revocable	Emilia PI	P O Box 1386	Escondido CA 92033	1.000	
229-071-35-00	Switgall Emilia S Revocable	Emilia PI	P O Box 1386	Escondido CA 92033	1.000	
229-071-36-00	Switgall Emilia S Revocable	Emilia PI	P O Box 1386	Escondido CA 92033	1.000	
229-071-37-00	Switgall Emilia S Revocable	Emilia PI	P O Box 1386	Escondido CA 92033	1.000	
229-071-38-00	Switgall Emilia S Revocable	Emilia PI	P O Box 1386	Escondido CA 92033	1.000	
Totals:		Parcels:	5		5.000	\$0.00

CITY OF ESCONDIDO
 Landscape Maintenance District No. 1 - Zone 38
 Assessment Levy for Fiscal Year 2017/18

Assessor's Parcel No.	Property Owner Name	Situs	Mailing Address	City/St/Zip	Equivalent Dwelling Units	Assessment Levy
231-840-01-00	Brucelo Sixto H Jr & Virgie	2354 Campbell Pl	2354 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
231-840-02-00	Snyder Elizabeth J	2348 Campbell Pl	2348 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
231-840-03-00	Grant Neville L & Askale B	2345 Campbell Pl	2345 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
231-840-04-00	Mccarthy Fred A &	2351 Campbell Pl	2351 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
231-840-05-00	Johnson Juan D & Dominga	2359 Campbell Pl	2359 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
231-840-06-00	Yu Family Trust 10-24-15	2367 Campbell Pl	2367 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
231-840-07-00	Diato Rellie M & Tracy L	2375 Campbell Pl	2375 Campbell Pl	Escondido CA 92027	1.000	\$1,029.64
Totals:		Parcels:	7		7.000	\$7,207.48

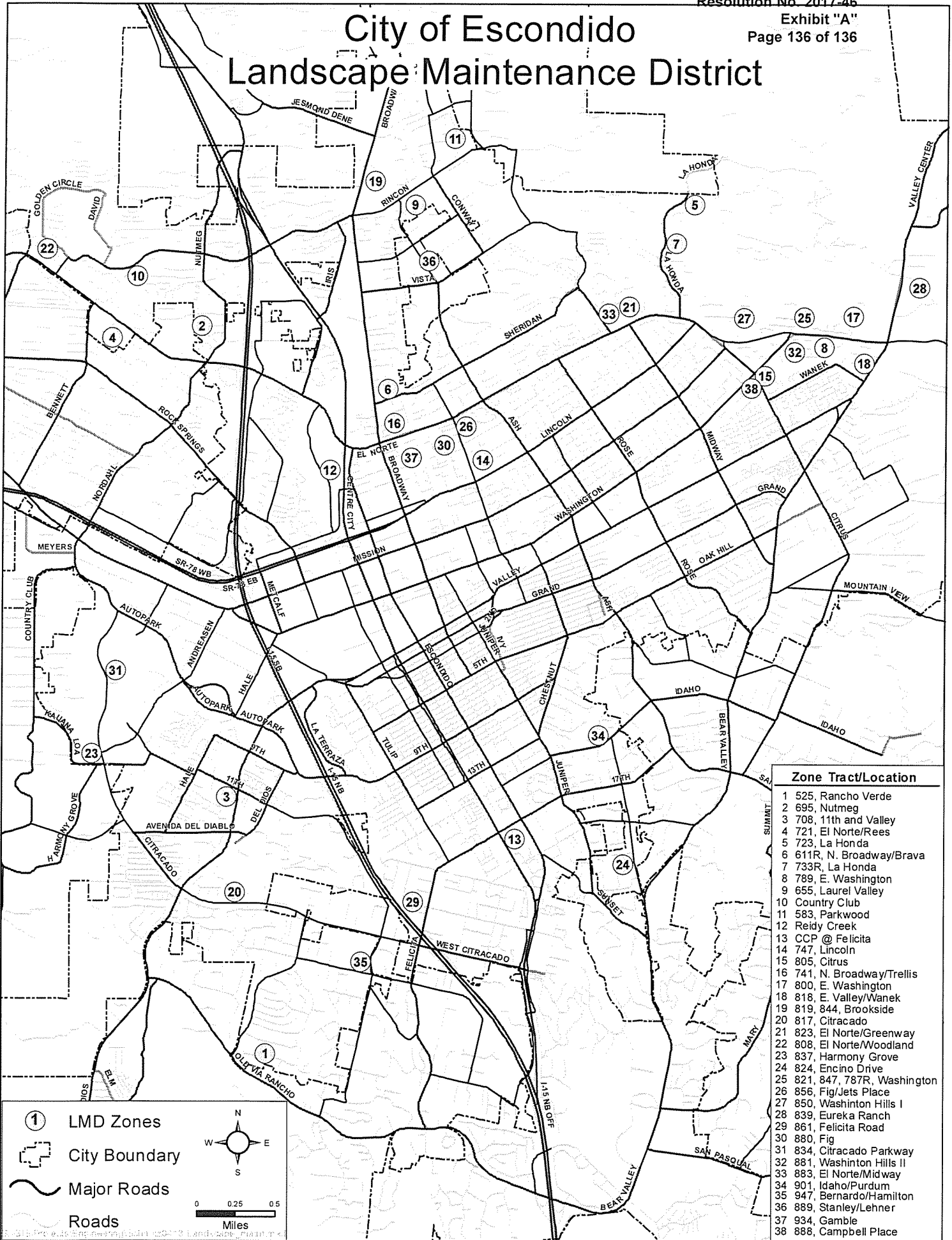
**CITY OF ESCONDIDO
LANDSCAPE AND MAINTENANCE ASSESSMENT DISTRICT**

APPENDIX III

DIAGRAM OF LANDSCAPE MAINTENANCE DISTRICT BOUNDARIES

(An overall map of the District Zones follows. A detailed map of the parcels or lots contained in each Zone is on file with the City Clerk and the Management Analyst.)

City of Escondido Landscape Maintenance District



Zone Tract/Location	
1	525, Rancho Verde
2	695, Nutmeg
3	708, 11th and Valley
4	721, El Norte/Rees
5	723, La Honda
6	611R, N. Broadway/Brava
7	733R, La Honda
8	789, E. Washington
9	655, Laurel Valley
10	Country Club
11	583, Parkwood
12	Reidy Creek
13	CCP @ Felicity
14	747, Lincoln
15	805, Citrus
16	741, N. Broadway/Trellis
17	800, E. Washington
18	818, E. Valley/Wanek
19	819, 844, Brookside
20	817, Citracado
21	823, El Norte/Greenway
22	808, El Norte/Woodland
23	837, Harmony Grove
24	824, Encino Drive
25	821, 847, 787R, Washington
26	856, Fig/Jets Place
27	850, Washinton Hills I
28	839, Eureka Ranch
29	861, Felicity Road
30	880, Fig
31	834, Citracado Parkway
32	881, Washinton Hills II
33	883, El Norte/Midway
34	901, Idaho/Purdum
35	947, Bernardo/Hamilton
36	889, Stanley/Lehner
37	934, Gamble
38	888, Campbell Place

① LMD Zones
 City Boundary
 Major Roads
 Roads

N
 W — 0 — E
 S
 0 0.25 0.5
 Miles

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 8
Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Sheryl Bennett, Director of Administrative Services
Joan Ryan, Assistant Finance Director

SUBJECT: Adoption of a New Debt Management Policy as Required for State Approval of the Wastewater State Revolving Fund Loans

RECOMMENDATION:

It is requested that the City Council adopt Resolution No. 2017-47 to establish a Debt Management Policy for the City of Escondido.

FISCAL ANALYSIS:

Does not apply

CORRELATION TO THE CITY COUNCIL ACTION PLAN:

This item relates to the Council's Action Plan regarding Fiscal Management. Financial policies safeguard resources to ensure the City's fiscal stability.

BACKGROUND:

The City of Escondido currently does not have a formal, comprehensive written policy for debt issuance and management. This policy is intended to provide guidance and assistance for the issuance and management of the City's debt, as well as to ensure compliance by the City with applicable laws and regulations including state law, tax code, and securities regulations related to the incurrence of debt. The City is already following these laws and regulations. This policy is just memorializing current City debt management practices. In addition, establishment and adherence to a debt policy is a positive signal to rating agencies and capital markets that the City engages in debt issuance and management in a responsible manner, and takes seriously its regulatory and contractual obligations.

This Debt Management Policy defines the City's Debt Financing Objectives as follows:

- Promote and enhance the safety, welfare or betterment of the City and its citizens;

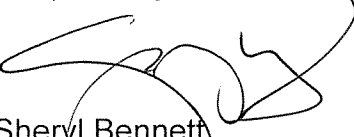
Adoption of Debt Management Policy
For the City of Escondido
Page 2

- Ensure that all debt is structured in order to protect both current and future taxpayers, ratepayers and constituents of the City;
- Maintain or enhance the City's sound financial position;
- Ensure that the incurrence of such debt is consistent with the City's planning goals and objectives, capital improvement program or budget, as applicable.

Senate Bill 1029, approved on September 12, 2016, amended the current California Debt and Advisory Commission reporting requirement for proposed debt issuance to include information on an issuer's debt policy. Subsequent to January 1, 2017, all reports of proposed debt issuance filed with California Debt and Investment Advisory Commission will include a certification that the issuer has adopted local debt policies, which include specified provisions concerning the use of debt, and that the proposed debt issuance is consistent with those local debt policies. In addition, the State Water Resources Control Board will not approve the Wastewater State Revolving Fund loans until we have this policy approved by Council.

The Debt Management Policy, provided as Exhibit A, is a comprehensive debt policy designed to provide the required information regarding the City's debt limits, debt structuring, debt issuance and debt management. The Debt Management Policy will help to ensure that debt is issued and managed in a manner that protects the public interest.

Respectfully submitted,



Sheryl Bennett
Director of Administrative Services



Joan Ryan
Assistant Finance Director

RESOLUTION NO 2017-47

A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ESCONDIDO, CALIFORNIA,
ESTABLISHING THE CITY OF ESCONDIDO
DEBT MANAGEMENT POLICY

WHEREAS, California Senate Bill ("SB") 1029 was signed into law in September of 2016; and

WHEREAS, SB1029 requires state and local agencies to adopt comprehensive debt management policies before any new debt can be issued starting in January 2017; and

WHEREAS, the proposed City of Escondido Debt Management Policy was reviewed by the City Council at its April 5, 2017 meeting.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. The City of Escondido Debt Management Policy as set forth on Exhibit "A," which is attached and incorporated by this reference, is hereby established as the policy of the City of Escondido, and shall be duly administered by the City's Finance and Treasury Departments acting under the authority of the Administrative Services Director.

CITY OF ESCONDIDO DEBT MANAGEMENT POLICY

Resolution No. 2017-47
Exhibit "A"
Page 1 of 13

SECTION I: PURPOSE OF DEBT POLICY

The City of Escondido (hereinafter "the City") invests in long-term infrastructure, community and economic development, or otherwise incurs debt to meet its Debt Financing Objectives as defined herein. The use of long-term debt and other types of financing obligations addressed in this Statement of Debt Policy (the "Policy") are considered an appropriate funding source or mechanism for the development and management of capital assets and other funding needs of the City to meet its Debt Financing Objectives. Debt is only one source of funding and the City actively seeks other funding sources as appropriate to its needs and opportunities.

The City Council which serves as the governing body of the City, the Escondido Joint Powers Financing Authority, the Escondido Vehicle Parking District, and the Successor Agency to the former Community Development Commission of the City of Escondido, special assessment or community facilities districts which the City may form from time to time, and any additional entities the City may form under law in the future. Further reference to the "City," or the "City Council" as the governing body, or the applicability of the Policy hereinafter shall also be inclusive of such entities.

The intended purpose of this Policy is to provide guidelines for the issuance and administration of bonds and other forms of indebtedness as well as ensure compliance by the City with applicable laws and regulations including state law (such as SB 1029), tax code (IRS), and securities regulations related to the incurrence of such debt or other obligations addressed herein.

Primary responsibility for debt management resides with the Administrative Services Director or his/her designee (the "Responsible Officer") with assistance of Finance and Treasury staff. Debt is issued with the approval of the City Manager or his/her designee in consideration of the appropriate use of such debt instrument in meeting the City's Debt Financing Objectives and compliance with this Policy. In accordance with State law, City Council approval is required for any debt issuance.

SECTION II: DEBT FINANCING OBJECTIVES

The City's Debt Financing Objectives are defined as follows:

- Promote and enhance the safety, welfare or betterment of the City and its citizens;
- Ensure that all debt is structured in order to protect both current and future taxpayers, ratepayers and constituents of the City;
- Maintain or enhance the City's sound financial position;
- Ensure that the incurrence of such debt is consistent with the City's planning goals and objectives, capital improvement program or budget, as applicable.

SECTION III: DEBT LIMITS

A. PURPOSE AND NEED FOR FINANCING

There are four primary purposes for which the City may incur or issue debt or other obligations:

1. Long-Term Capital Improvements

Generally, the City will employ a conservative strategy relative to the use of debt financing for approved and budgeted capital improvement projects including but not limited to when such projects' useful life will equal or exceed the term of the financing (and are otherwise in accordance with federal tax law guidance), and when resources are identified as sufficient to fund the debt service requirements. It is the goal of the City to ensure that the cost of infrastructure, consisting primarily of long-lived assets, be balanced between current and future taxpayers, customers or other applicable constituents. Prior to the incurrence of such obligations, the City Council would be presented with a summary of project costs, alternative sources of funding, and an estimate of any incremental operating and/or additional maintenance costs associated with the project and identify sources of revenue, if any, to pay for such incremental costs.

2. Essential Vehicle and Equipment Needs

In addition to capital improvement projects, the City regularly finances certain essential equipment and vehicles. These assets range from public safety vehicles and streetlights to information technology systems. Short-term financings, including loans and capital lease purchase agreements, are executed to meet such needs.

3. Refinancings/Refunding of Existing Debt

The Responsible Officer will periodically evaluate its existing debt and execute refinancings in accordance with Section IV herein.

4. Financings on Behalf of Other Entities

The City may also find it beneficial to issue debt on behalf of other governmental agencies or private third parties in order to further the Debt Policy Objectives. In such cases, the City shall take reasonable steps to confirm the financial feasibility of the project to be financed and the financial solvency of any borrower and that the issuance of such debt is consistent with the policies set forth herein. In no event will the City incur any liability or assume responsibility for payment of debt service on such debt.

B. TYPES OF DEBT

Generally, the primary types of debt to be incurred by the City are as summarized below, but the list below does not preclude the City from issuing or incurring other types of obligations eligible under applicable federal and state law as may change from time to time, and which enable the City to meet its Debt Financing Objectives.

1. General Obligation Bonds

General Obligation (GO) bonds are secured either by a pledge of full faith and credit of an issuer or by a promise to levy taxes in an unlimited amount as necessary to pay debt service, or both. GO bonds usually achieve lower rates of interest than other financing instruments since they are considered to be a lower risk. California State Constitution, Article XVI, Section 18, requires that the issuance of a GO bond must be approved by a two-thirds majority of those voting on the bond proposition. Uses of bond proceeds are limited to the acquisition and improvement of real property.

2. Certificates of Participation / Lease Revenue Bonds

Certificates of Participation (COPs) and Lease Revenue Bonds (LRBs) are obligations secured by an installment sale or by a lease-back arrangement between the City and another public entity, where the City agrees to annually budget and appropriate the lease payments from its General Fund so long as the City has the beneficial use and/or occupancy of the property to be leased and lease payments may not be accelerated. The lease payments are assigned to a trustee and used to pay debt service on the LRBs or COPs. These obligations do not constitute indebtedness under the state constitutional debt limitation and, therefore, are not subject to voter approval. Lease financing requires the fair market rental value of the leased property to be equal to or greater than the required debt service or lease payment schedule.

3. Revenue Bonds

Revenue Bonds are obligations payable solely from revenues generated by an enterprise, such as water or wastewater utilities, public golf courses or parking facilities. Because the debt service is directly paid by the utility or facility, such debt is considered self-liquidating and generally does not constitute a direct debt of the issuer.

The City or the Escondido Joint Powers Financing Authority has issued obligations on behalf of the City's water and wastewater enterprises which are payable solely from revenues (less operating and maintenance costs) of such enterprises. Such obligations may take the form of Revenue Bonds, but may also be issued as COPs. Neither of such obligations are secured by any pledge of ad valorem taxes or general fund revenues of the City.

Funds must be sufficient to maintain required coverage levels, or the rates of such enterprise have to be raised to maintain coverage. The issuance of such obligations by the City does not require voter approval.

4. Land District Financing

The City may from time to time, on a case-by-case basis form land-secured financing districts such as Community Facilities Districts ("CFDs") or 1913/1915 Act Assessment Districts ("ADs"). Such districts are typically developer initiated, whereby a developer seeks a public financing mechanism to fund public infrastructure required by the City in connection with development permits or agreements, and/or tentative subdivision maps. Land district formation may also be initiated by an established community through a registered voter election. Subject to landowner or registered voter approval as applicable, once a district is

formed, special taxes or assessments may be levied upon properties within the district to pay for facilities and services directly, or to repay bonds issued to finance public improvements.

The City will consider requests for land district formation and debt issuance when such requests address a public need or provide a public benefit.

In accordance with the Mello-Roos Community Facilities Act of 1982, the City is required and has adopted Local Goals and Policies related to CFD financing (the "CFD Local Goals and Policies"). The City's CFD Local Goals and Policies, currently in effect and as they may be amended from time to time, are incorporated to this Policy by reference herein.

5. Marks-Roos Bonds

The Marks-Roos Local Bond Pooling Act of 1985 permits two or more public agencies to form a joint powers authority (JPA), such as the Escondido Joint Powers Financing Authority, to facilitate the financing of public capital improvements, "pool" bond issues of similar credit structure, working capital, or other projects when use of these provisions results in savings in effective interest rate, bond underwriting and issuance costs, or any other significant public benefit can be realized.

6. Conduit Revenue Bonds

Conduit revenue bonds are bonds that allow private, for-profit, or non-profit borrowers access to tax-exempt financing. Under the financing provisions of such bonds, the City entity as issuer has no obligation to pay debt service, but may have some administrative role relative to the financing meeting its ongoing regulatory requirements while the bonds remain outstanding. For this reason, the City usually receives an ongoing issuer fee to cover its administrative costs. Conditions for the issuance of Conduit Revenue Bonds by the City are addressed in Section IV. Generally, the following are the most typical conduit revenue bonds the City may consider.

Industrial Development Bonds (IDBs). IDBs are securities issued to finance the construction or purchase of industrial, commercial or manufacturing facilities to be purchased by or leased to a private user. IDBs are backed by the credit of the private user and generally are not considered liabilities of the governmental issuer (although in some jurisdictions they may also be backed by an issuer with taxing power). While the authorization to issue IDBs is provided by a state statute, the tax-exempt status of these bonds is derived from federal law (Internal Revenue Code Section 103(b) (2)).

Multifamily Mortgage Revenue Bonds. Mortgage revenue bonds provide below market financing (based on tax exemption of bond interest) for developers willing to set aside a portion of the units in their projects as affordable housing. The authority to issue bonds is limited under the US Internal Revenue Code.

7. Tax and Revenue Anticipation Notes

Tax and Revenue Anticipation Notes (TRANS) are short-term notes, proceeds of which allow a municipality to cover the periods of cash shortfalls resulting from a mismatch between timing of revenues and timing of expenditures on an as-needed basis. As tax payments and other

revenues are received, they are used to repay the TRANs. TRANs are not deemed to result in the creation of debt and voter approval is not required.

8. Bond Anticipation Notes

Bond Anticipation Notes (BANs) are short-term interest-bearing bonds issued in the anticipation of long-term future bond issuances. The City may choose to issue BANs as a source of interim financing when it is considered to be prudent and advantageous to the City and would be considered on a case-by-case basis.

9. Lines and Letters of Credit

A Line of Credit is a contract between the issuer and a bank that provides a source of borrowed monies to the issuer in the event that monies available to pay debt service or to purchase a demand bond are insufficient for that purpose. In the event that a bank facility is being entered into for a long-term capital need, before entering into any such agreements, takeout financing for such lines must be planned for and determined to be feasible.

A Letter of Credit is an arrangement with a bank that provides additional security that money will be available to pay debt service on an issue. A Letter of Credit can provide the City with access to credit under terms and conditions as specified in such agreements.

10. Lease-Purchase Financings

From time to time, the City may consider lease-purchase financing for certain capital and equipment needs. The lease purchase terms are typically shorter term and relate to the useful life of the asset. Such arrangements do not require voter approval.

11. State Revolving Fund Loans

Certain State agencies administer various revolving fund loan programs that the City may access from time to time. For example, The California State Water Resources Control Board (State Water Board) administers the State Revolving Fund (SRF) Loan program. The SRF loan is a low interest loan program for the construction of water, wastewater, and recycling water infrastructure projects. Typically, SRF loans typically have terms of up to 20 years and interest cost at the cost of the most recent State of California General Obligation Bonds sale. SRF loan debt service payments are factored into debt service coverage ratios established for outstanding enterprise fund obligations.

12. HUD Section 108 Loan Guarantee Program

The U. S. Department of Housing and Urban Development (HUD) Section 108 Loan Guarantee Program allows cities to use their annual Community Development Block Grant (CDBG) entitlement grants to obtain federally guaranteed funds large enough to stimulate or pay for eligible community development and economic development projects. The program does not require a pledge of the City's General Fund, only of future CDBG entitlements. By pledging future CDBG entitlement grants as security, the City can borrow at favorable interest rates because of HUD's guarantee of repayment to investors who purchase the HUD Section

108 loans. HUD may require additional security for each loan, and any additional security that may be necessary is determined on a case by case basis.

C. DEBT LIMITS

1. General Limits

Generally, debt service coverage limitations shall be established in the indenture or other financing agreement and shall be evaluated based on market access, credit rating implications, cost and terms on a case-by-case basis.

2. General Fund Supported Debt

Generally, the City shall strive to maintain aggregate annual debt service paid from the City's general fund (exclusive of any enterprise funds of the City, unless a portion of debt service is paid from such enterprise fund) at an amount that, at the time of issuance, would maintain an investment grade rating for such City obligations as provided by at least one of the major credit rating agencies recognized as such in the then current municipal market.

SECTION IV: DEBT STRUCTURING & ISSUANCE PRACTICES

The City manages its overall debt structure to appropriately balance risk and cost of capital and to provide for long-term financial resilience, market access and capacity for future capital needs. To this end, the City generally issues debt that is fixed rate with substantially level debt service.

A. FIXED RATE DEBT

Generally, the City will issue debt or otherwise incur obligations on a fixed rate basis with term of the financing not exceeding the useful life of the project or asset to be financed (and otherwise within federal tax law guidelines). The City prefers to have an optional call on maturities longer than ten years in order to accommodate opportunities for economic refundings or to facilitate the restructuring of debt. Generally, the City prefers to limit the use of make-whole calls to maturities of less than ten years.

B. VARIABLE RATE DEBT

Generally, the City does not issue variable rate debt except that the City may issue obligations with shorter-term maturities that include such features, including commercial paper and grant, revenue and bond anticipation notes, (i) to provide interim financing for capital projects in anticipation of the issuance of longer-term bonds, or (ii) to purchase, refund or otherwise restructure or refinance outstanding bonds in the event that, for example, longer term markets are inaccessible.

C. USE OF DERIVATIVES & SWAPS

Generally, the City does not utilize municipal products that are classified as derivatives. As used in public finance, derivatives may take the form of interest rate swaps, futures and options contracts, options on swaps and other hedging mechanisms such as rate locks. In the event that the City may consider the use of such instruments, the Responsible Officer,

together with the City's municipal advisor, will prepare a summary report for the City Council that addresses:

- Why the use of such derivative product for such financing approach is appropriate or advisable instead of applicable alternative approaches;
- A summary of the risks in implementing such financing approach (including quantifying such risks as determinable);
- A summary of the conditions under which the implementation of such financing approach could negatively impact the applicable credit rating of the City;
- A determination if the implementation of such financing approach necessitates the adoption of a comprehensive derivatives policy by the City Council.

D. PUBLIC DEBT VS. PRIVATE PLACEMENTS

The City generally uses public offerings to issue long-term debt. However, the City may use Direct or Private Placement Debt - which are non-public offerings. These may be secured by the same credit as any other form of City obligations so long as all provisions of State law and outstanding bond covenants are met. Considerations for Direct or Private Placement Debt are market access, cost and terms, which will be evaluated relative to alternative applicable approaches by the Responsible Officer.

E. CAPITALIZED INTEREST

The City may issue bonds to pay for interest during construction pursuant to any statutory or federal tax limitations if applicable, rating agency requirements, and/or to the extent deemed prudent to match revenues to debt service payments.

F. DEBT SERVICE RESERVE FUNDS

The City may issue bonds that are secured by amounts on deposit in or credited to a debt service reserve fund or account in order to minimize the net cost of borrowing and/or to provide additional reserves for debt service or other purposes. Debt service reserve funds may secure one or more issues of bonds, and may be funded by proceeds of bonds, other available moneys of the City, and/or by surety policies, letters or lines of credit, or other similar instruments in accordance with the indenture or other relevant debt instrument. As relates to the use of surety policies, letters or lines of credit or other similar instruments for this purpose, the City shall take into consideration, in advance of the issuance of the applicable bonds, the likely remedial strategies in the event of a material decline in the applicable provider's credit quality. If the City is unlikely to be able to secure replacement credit support or an alternate credit facility due to market or other conditions, the City shall make provisions in applicable bond structures to address such risks whenever practicable.

G. THIRD PARTY CREDIT ENHANCEMENT

The City may secure credit enhancement for its bonds from third-party credit providers to the extent such credit enhancement is available upon reasonable, competitive, and cost-effective terms. Such credit enhancement may include municipal bond insurance, letters of credit and lines of credit, as well as other similar instruments. Generally, credit enhancement providers shall be selected on a competitive basis whenever possible.

All or any portion of an issue of bonds may be secured by bond insurance provided by municipal bond insurers if it is economically advantageous to do so, or if it is otherwise deemed necessary or desirable in connection with a particular issue of bonds. The relative cost or benefit of bond insurance may be determined by comparing the amount of the bond insurance premium to the present value of the estimated interest savings to be derived as a result of the insurance.

The issuance of certain types of bonds may require a letter of credit or credit facility from a commercial bank or other qualified financial institution to provide liquidity and/or credit support. Generally a letter of credit may be either a "direct pay letter of credit" or a "standby letter of credit." A direct pay letter of credit entitles the trustee to draw on the letter of credit for all debt service payments, and moneys that would otherwise be available to pay debt service are used to reimburse the bank. A standby letter of credit entitles the trustee only to draw on the letter of credit in the event moneys available to pay debt service are insufficient.

The types of bonds where a credit facility may be necessary include commercial paper, variable rate bonds with a tender option, and bonds that could not receive an investment grade credit rating in the absence of such a facility. The City shall take into consideration, in advance of the issuance of such bonds, the likely remedial strategies in the event of a material decline in the applicable provider's credit quality. If the City is unlikely to be able to secure replacement credit support or an alternate credit facility due to market or other conditions, the City shall make provisions in applicable bond structures to address such risks whenever practicable.

H. METHOD OF BOND SALE

Bonds can be sold through either a negotiated or competitive process. Under a negotiated process, one or more investment banks are chosen in advance to manage the sale of bonds at a negotiated price. Under a competitive sale, banks bid on a bond offering and the sale is awarded to the bank offering the lowest interest rate.

The City generally utilizes a negotiated sales process, because such approach provides the following benefits:

- Utilization of investment banking resources for little or no extra cost on an on-going basis;
- Pre-marketing which may be useful for a unique or complex credit story;
- Flexible timing and ability to adjust structure to meet market demand.

Generally, the City will utilize a municipal advisor to assist with the method of sale, selection and negotiation of the investment banking firm or team, its fees and benchmark the overall pricing. The City generally engages a municipal advisor and/or investment banking firm (or a pool thereof for each) through a periodic RFP/RFQ process.

I. REFUNDING BONDS

The City shall monitor interest rates and looks for opportunities to refund debt for savings. Generally, savings targets are based on the net present value savings for the refunding of the bonds being refunded, inclusive of transaction costs. Generally, the City seeks to achieve not

less than 3% net present value savings from refundings, however may consider a stricter standard of not less than 5% in circumstances where a proposed refunding may be considered on an advance basis. The savings target does not necessarily apply in cases where the City wishes to refund bonds to revise key bond covenants or refunding otherwise benefits the City absent such savings.

J. CONDITIONS FOR ISSUANCE OF CONDUIT REVENUE BONDS

The City will consider requests for Conduit Financing as described generally in Section III herein on a case-by-case basis, but shall at a minimum meet the following criteria:

- The Responsible Officer will review the proposed terms of the financing to determine if the project is appropriate for City sponsorship and that the proposed financing structure will adequately insulate the City from financial risk.
- The City's bond counsel will review the terms of the financing and confirm that there will be no liability to the City in the repayment of the proposed bonds on behalf of the applicant.
- The City determines there is a clearly articulated public purpose in providing the Conduit Financing.
- The proposed financing meets the City's minimum credit standards for Conduit Financings as defined below.
- The applicant is determined to be capable of achieving this public purpose.

The minimum credit standards for Conduit Financing are as follows:

1. In the event of a public sale of bonds or securities, the Borrower shall be an entity with a stand-alone credit rating of not less than A by Standard & Poor's or A2 by Moody's Investors Service, or can secure credit enhancement for the full amount of the borrowing in the form of a letter of credit from a commercial bank with a credit rating of not less than A by Standard & Poor's or A2 by Moody's Investors Service.
2. In the event of a private placement of the bonds, the purchaser of the bonds shall be a single entity that is a "Qualified Institutional Buyer" under federal securities law, and such a purchaser will sign a "sophisticated investor letter" prepared by the City's bond counsel which will represent that they are one of the above, are able and qualified to purchase without an official statement, and that they can transfer the placement only in whole, and only to a purchaser willing and able to sign a similar sophisticated investor letter. This requirement would "travel" throughout the life of the placement.
3. The City may, at its sole discretion, may require additional protections including but not limited to asset appraisals, financial audits of the non-City participants or additional security.

An initial deposit amount and issuer fee will be required. The minimum deposit is set at \$15,000, but may be increased if additional costs are anticipated to adequately evaluate and implement the proposal. Generally, the City will charge an annual issuer fee at an amount determined at the City's sole discretion to be appropriate and in accordance with any applicable legal and federal tax law limitations. Such fee shall be payable each year in advance for as long as the bonds remain outstanding.

SECTION V: DEBT MANAGEMENT PRACTICES

A. INVESTMENT OF BOND PROCEEDS

Bond proceeds and funds held in debt service and debt service reserve fund accounts with respect to outstanding bonds shall be invested in accordance with the terms and/or within parameters defined in applicable resolutions or financing agreements of a particular obligation.

B. CONTINUING DISCLOSURE COMPLIANCE

The City's Responsible Officer shall oversee and, advised by the City's disclosure counsel and consultants the City may hire to assist, shall be responsible for the filing and accuracy of all primary and secondary disclosure regarding the City and its debt obligations. Reasonable actions shall be taken to obtain timely knowledge of any event that must be disclosed pursuant to the City's "disclosure undertakings" and shall cause notices of such events to be filed in a timely manner as required by such disclosure undertakings.

The City will comply with the requirements of all of its "disclosure undertakings," including compliance with SEC rule 15c2-12, by filing or causing to be filed annually its disclosure statements and audited financials (as applicable) with the Electronic Municipal Market Access ("EMMA") or as otherwise established in the City's financing agreements.

The City will comply with the event notice reporting requirements of its disclosure undertakings and timely file with EMMA all required event notices. The City will engage disclosure counsel and/or consultants as needed to guide its primary and secondary market disclosure, and to prepare material event notices as necessary.

For each of the City's disclosure undertakings, the City shall establish and employ a dissemination agent. Disclosure shall be posted electronically on EMMA by the dissemination agent.

The City shall post the annual Comprehensive Audited Financial Report (the "CAFR") electronically on its website as soon as practicable.

Additionally, the City's Responsible Officer shall maintain a current list of all obligations for which the City has a continuing disclosure reporting obligation, and maintain a summary for each such obligation of the following:

- Material event notification requirements and timing;
- Annual Report content requirements and timing.

City staff that are designated as responsible for the preparation and dissemination of the City's required continuing disclosure obligations shall receive appropriate training on a periodic basis regarding the requirements and practices of applicable regulatory bodies concerning disclosure relating to the City.

C. POST-ISSUANCE TAX COMPLIANCE PROCEDURES

The purpose of this section is to establish policies and procedures in connection with tax-exempt bonds and other tax-advantaged bonds issued by or on behalf of the City so as to ensure that the City complies with all applicable post-issuance requirements of federal income tax law needed to preserve the tax-exempt or other advantaged status of the bonds.

1. Post-Issuance Compliance Requirements

a. External Advisors / Documentation

The Responsible Officer shall consult with bond counsel and other legal counsel and advisors, as needed, throughout the bond issuance process to identify requirements and to establish procedures necessary or appropriate so that the bonds will continue to qualify for the appropriate tax status. Those requirements and procedures shall be documented in the City's resolution(s), bond documents such as indentures and trust agreements, tax certificate(s) and/or other documents finalized at or before issuance of the bonds. Those requirements and procedures shall include future compliance with applicable arbitrage rebate requirements and all other applicable post-issuance requirements of federal tax law throughout (and in some cases beyond) the term of the bonds.

The Responsible Officer also shall consult with bond counsel and other legal counsel and advisors, as needed, following issuance of the bonds to ensure that all applicable post-issuance requirements in fact are met. This shall include, without limitation, consultation in connection with future contracts with respect to the use of bond-financed assets and future contracts with respect to the use of output or throughput of bond-financed assets.

The City shall engage an experienced Arbitrage Rebate Compliance Service Provider (each a "Rebate Service Provider") to assist in compliance of all IRS arbitrage rebate requirements.

b. Role of the City as Bond Issuer

Unless otherwise provided, unexpended bond proceeds shall be held by the trustee or fiscal agent, and the investment of bond proceeds shall be managed by such trustee or fiscal agent at the direction of the Responsible Officer or his/her designee. The trustee or fiscal agent shall maintain records and shall prepare regular, periodic statements to the City regarding the investments and transactions involving bond proceeds.

c. Arbitrage Rebate and Yield

Proceeds from bonds issued by or on behalf of the City are generally held and invested by the trustee or fiscal agent. Notwithstanding the foregoing, the City, as the entity responsible for yield restriction and rebate compliance as to the bonds, shall take all actions necessary to coordinate with the trustee and, when applicable, engage the services of a Rebate Service Provider to perform the calculation of arbitrage rebate

liability, prepare all related reports, and ensure arbitrage compliance with respect to the investment of bond proceeds for each applicable bond issue. The City shall retain copies of all arbitrage reports, investment and expenditure records, and trustee statements as described below under "Record Keeping Requirements."

The Responsible Officer shall periodically review the investment rates on bond proceeds, as compared to the arbitrage yield on each applicable issue of the bonds, and, if necessary, set aside amounts expected to be needed to ensure timely payment of required rebate for each issue of the bonds, which timelines are (a) no later than 60 days after each 5-year anniversary of the issue date of each issue of the Bonds, and (b) no later than 60 days after the last bond of each issue is redeemed.

During the construction period of each capital project financed in whole or in part by bonds, the Responsible Officer shall monitor the investment and expenditure of bond proceeds and shall coordinate or consult with, if necessary, the trustee and/or a Rebate Service Provider, to determine whether such Bond issue is eligible for any exception from the arbitrage rebate requirements during each 6-month spending period up to 6 months, 18 months or 24 months, as may be set forth in the tax certificate that is executed in connection the applicable bonds.

d. Allocation of Bond Proceeds

Within the proper timelines, which are currently no later than 18 months after expenditure or the project's placed in service date, but in no event after 5 years from the date of issuance of the applicable issue of new money bonds, the City will allocate bond proceeds to expenditures for rebate and private use purposes.

e. Use of Bond Proceeds

The Responsible Officer shall:

- Monitor the use of bond proceeds, the use of bond-financed assets (e.g., facilities, furnishings or equipment) and the use of output or throughput of bond-financed assets throughout the term of the bonds (and in some cases beyond the term of the bonds) to ensure compliance with covenants and restrictions set forth in applicable City resolutions, bond documents and tax certificates;
- Maintain records identifying the assets or portion of assets that are financed or refinanced with proceeds of each issue of bonds;
- Consult with bond counsel and other professional expert advisers in the review of any contracts or arrangements involving use or sale of bond-financed facilities to ensure compliance with all covenants and restrictions set forth in applicable City resolutions and tax certificates;
- Maintain records for any contracts or arrangements involving the use or sale of bond-financed facilities as might be necessary or appropriate to document compliance with all covenants and restrictions set forth in applicable City resolutions and tax certificates; and

- Meet periodically with personnel responsible for bond-financed assets to identify and discuss any existing or planned use or sale of bond-financed, assets or output or throughput of bond-financed assets, to ensure that those uses are consistent with all covenants and restrictions set forth in applicable City resolutions, bond documents and tax certificates.

All relevant records and contracts shall be maintained as described below.

2. Record Keeping Requirements

Unless otherwise specified in applicable City resolutions, bond documents or tax certificates, the City shall maintain the following documents for the term of each issue of bonds (including refunding bonds, if any) plus at least three years:

- a copy of the bond closing transcript(s) and other relevant documentation delivered to the City at or in connection with closing of the issue of bonds;
- a copy of all material documents relating to capital expenditures financed or refinanced by bond proceeds, including (without limitation) construction contracts, purchase orders, invoices, trustee requisitions and payment records, as well as documents relating to costs reimbursed with bond proceeds and records identifying the assets or portion of assets that are financed or refinanced with bond proceeds;
- a copy of all contracts and arrangements involving private use of bond-financed assets or for the private use of output or throughput of bond-financed assets; and
- copies of all records of investments, investment agreements, arbitrage reports and underlying documents, including trustee statements.

SECTION VI: WAIVER AND PERIODIC REVIEW

While adherence to the Debt Policy is desired, the City recognizes that changes in the capital markets and other circumstances of the City may produce unforeseen situations that are not covered by the Debt Policy. In those circumstances, exceptions or waivers to the Debt Policy may be required with approval from the City Council in connection with individual financings in order to achieve the City's Debt Financing Objectives.

The Responsible Officer shall review this Debt Policy on a periodic basis, and recommend any changes to the City Council for its consideration and approval.



CITY COUNCIL

For City Clerk's Use:

APPROVED DENIED

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 9

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Vince McCaw, Real Property Manager

SUBJECT: Second Amendment to Lease Agreement with Escondido Education COMPACT at 220 South Broadway

RECOMMENDATION:

It is requested that the City Council adopt Resolution No. 2017-50, authorizing the Real Property Manager and the City Clerk to execute a Second Amendment to Lease Agreement with Escondido Education COMPACT ("COMPACT") at 220 South Broadway.

FISCAL ANALYSIS:

Rental revenue in the amount of \$6,000 will be deposited into the General Fund. Additionally, \$4,296 will be deposited into the Office Automation Fund.

PREVIOUS ACTION:

The City Council approved the Original Lease with COMPACT on June 26, 2013, via Resolution No. 2013-78. The First Amendment to the Lease Agreement was entered into on June 28, 2016.

BACKGROUND:

Escondido Education COMPACT has been leasing space from the City of Escondido ("City") at 220 South Broadway since June 2013 when it relocated from the East Valley Community Center. The Original Lease, dated June 27, 2013 ("Original Agreement"), expired on July 31, 2016 and contains two options for an additional one-year term each.

The parties entered into the First Amendment in order to extend the term of the lease through July 31, 2017. The Lessee encountered a one million dollar short-fall in its projected grant revenues, which adversely impacted its Workforce Development Program. As a result, the Lessee made cuts to its operating expenses and requested that the City Council approve a temporary reduced rent from \$1903/month to \$858/month for a period of nine months, retroactive to June 1, 2016, while it secures additional funding. During the nine-month period of reduced rent, COMPACT continued to pay the full amount owed to the Office Automation Fund under the terms of the Original Agreement.

Second Amendment to Lease Agreement-Compact

April 5, 2017

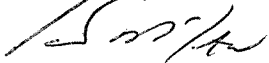
Page 2

The First Amendment also included language to assist COMPACT to be independently serviced by a private Information Technology ("IT") provider. To provide sufficient and reasonable time to accomplish this objective, staff proposed a one-year time limit for COMPACT to transition onto its own IT system.

The parties desire to enter into this proposed Second Amendment in order to extend the term of the lease through July 31, 2018. COMPACT has secured some funding to close the gap and continues to seek alternative funding sources. They are requesting an extension of the reduced rent in the amount of \$858/month (includes \$358/month for City Information Systems support) effective retroactively to March 1, 2017 through July 31, 2018. In addition, the provision requiring COMPACT to be on its own I.T. system independent of the City is to be removed.

All other terms and conditions of the Original Agreement remain in full force and effect.

Respectfully submitted,



Vince McCaw
Real Property Manager

RESOLUTION NO. 2017-50

A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ESCONDIDO, CALIFORNIA,
AUTHORIZING THE REAL PROPERTY
MANAGER AND THE CITY CLERK TO
EXECUTE, ON BEHALF OF THE CITY, A
SECOND AMENDMENT TO LEASE
AGREEMENT WITH THE ESCONDIDO
EDUCATION COMPACT

(220 South Broadway)

WHEREAS, the City of Escondido ("City") and the Escondido Education Compact ("Compact") entered into a lease agreement dated June 27, 2013, for the operation of youth workforce development and at-risk support programs and services ("Original Lease"); and

WHEREAS, the Original Lease expired on July 31, 2016, but contains two options to extend the term for an additional one-year each; and

WHEREAS, the Lessee has requested an extension of the revised rent schedule to provide temporary relief due to an unanticipated funding shortfall; and

WHEREAS, the City Council desires at this time and deems it to be in the best public interest to approve the Second Amendment to Lease Agreement extending the terms of the lease and adjusting the rent schedule.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.

2. The Real Property Manager and the City Clerk are authorized to execute, on behalf of the City, the Second Amendment to Lease Agreement with the Escondido Education Compact, which is attached hereto as Exhibit "1" and incorporated by this reference.

**SECOND AMENDMENT TO LEASE AGREEMENT
(220 South Broadway)**

This Second Amendment ("Second Amendment") to the Lease Agreement between the City of Escondido and Escondido Education Compact dated August 1, 2013 ("Lease") is made as of this _____ day of _____, 2017.

Between: City of Escondido,
201 North Broadway
Escondido, California 92025
("City")

And: Escondido Education Compact
220 South Broadway
Escondido, CA 92025
("Lessee")

WITNESSES THAT WHEREAS:

- A. City and Lessee entered into a First Amendment to the Lease on June 28, 2016 that extended the term of the Lease for an additional year ("First Amendment"); and
- B. The term, as extended by the First Amendment, expires on July 31, 2017; and
- C. Lessee desires to exercise its second option to extend the term of the Lease for one year, through July 31, 2018; and
- D. Lessee has encountered an unanticipated loss in its grant revenue for the upcoming fiscal year, which has impacted its workforce development program and requires operational cutbacks; and
- E. In order to secure time for fund raising and additional grant writing efforts, Lessee has requested a temporary decrease in rent from \$1903/month to \$858/month, effective March 1, 2017 and continuing through July 31, 2018.

NOW THEREFORE, it is mutually agreed by and between City and Lessee as follows:

- 1. The term of the Lease as specified in Section 3 of the Lease shall be extended to July 31, 2018.
- 2. Section 7.1 of the Lease is deleted in its entirety and replaced with the following:

Base Rental Rate. In consideration of the possession and use of the Premises, Lessee shall deliver and pay rent to the City a temporary reduced

rent in the amount of \$858/month for the period of March 1, 2017 through July 31, 2018.

3. Section 14.5 of the Lease is deleted in its entirety.
4. All other terms and conditions of the Lease, together with any changes in the First Amendment, shall remain in full force and effect. In the event there is any inconsistency between the terms in this Second Amendment and the Lease or First Amendment, this Second Amendment shall control.
5. This Second Amendment, the First Amendment and the Lease, together with their respective attachments, are the entire understanding of the parties, and there are no other terms or conditions, written or oral, controlling this matter.

IN WITNESS WHEREOF, the parties have executed this agreement as of the day and year first above written.

CITY OF ESCONDIDO

Date: _____

Vince McCaw
Real Property Manager

Date: _____

Diane Halverson
City Clerk

ESCONDIDO EDUCATION COMPACT

Date: _____

Patricia Huerta, Executive Director

Approved as to Form:

Office of the City Attorney
MICHAEL R. MCGUINNESS, Interim City Attorney

By: _____

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 10
Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Christopher W. McKinney, Director of Utilities

SUBJECT: Continuing Emergency and Need to Repair the Sewer Pipeline in Green Tree Mobile Home Estates

RECOMMENDATION:

It is requested that the City Council adopt Resolution No. 2017-51, declaring that pursuant to the terms of Section 22050 of the California Public Contract Code, the City Council finds there is a need to continue the emergency action and pass a resolution by four-fifths vote declaring that public interest and necessity demand the expenditure to safeguard life, health, or property.

FISCAL ANALYSIS:

Funding for this emergency sewer pipeline work is available in the Wastewater Fund. The contract is a time and materials contract, meaning that the contractor will bill for staff time, equipment, and construction materials necessary to complete the repairs. The contract value is not to exceed \$570,000 without further Council approval.

BACKGROUND:

On March 8, 2017, the City Council adopted Resolution No. 2017-39, approving an emergency public improvement agreement with Southland Paving, Inc. to immediately begin repairs on the 27-inch sewer pipeline in Green Tree Mobile Home Estates.


On March 22, 2017, the City Council adopted Resolution No. 2017-43, authorizing the continuation of the emergency action for the repair of the sewer pipeline in Green Tree Mobile Home Estates.

This pipeline conveys raw sewage from approximately 40 percent of the City of Escondido to the Hale Avenue Resource Recovery Facility. Emergency action is required to replace approximately 400 feet

Continuing Emergency and Need to Repair the Sewer Pipeline in North Hale Avenue
April 5, 2017
Page 2

of damaged and deteriorated sewer pipeline. Work is progressing and completion is expected in late April 2017.

Respectfully submitted,

A handwritten signature in black ink that reads "Christopher W. McKinney". The signature is written in a cursive style with a large, stylized initial "C" and "M".

Christopher W. McKinney
Director of Utilities

RESOLUTION NO. 2017-51

A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ESCONDIDO, CALIFORNIA,
FINDING THAT AN EMERGENCY CONTINUES
TO REQUIRE THE IMMEDIATE REPAIR OF
THE ESCONDIDO SEWER PIPELINE IN
GREEN TREE MOBILE HOME ESTATES

WHEREAS, the City Council recognizes that a portion of the 27-inch sewer pipeline in Green Tree Mobile Home Estates near Pineapple Way has suffered a catastrophic failure; and

WHEREAS, work has commenced on the replacement of the sewer pipeline; and

WHEREAS, pursuant to Resolution No. 2017-39, the City Council previously found that the damage to the 27-inch sewer pipeline was an emergency and approved a Public Improvement Agreement ("Agreement") with Southland Paving, Inc. in an amount not to exceed five hundred seventy thousand dollars (\$570,000); and

WHEREAS, pursuant to Resolution No. 2017-43, the City Council found it to be in the best public interest to continue the emergency action; and

WHEREAS, pursuant to Section 22050 of the Public Contract Code, the City Council must review the emergency action every 14 days and determine by a four-fifths vote there is a need to continue the action; and

WHEREAS, this City Council desires at this time and deems it to be in the best public interest to continue the emergency action.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the Mayor and City Council finds the damage to the sewer pipeline in Green Tree Mobile Home Estates is a public health and safety emergency, that this emergency will not permit the delay that would result from a competitive bidding process, and that the action is still necessary to respond to the emergency requiring immediate repair of the sewer pipeline.

CITY COUNCIL

For City Clerk's Use:

APPROVED DENIED

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 11

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Jeffrey R. Epp, Interim City Manager

SUBJECT: California Assembly Bill AB 805

RECOMMENDATION:

It is requested that the City Council take a position on behalf of the City of Escondido on California Assembly Bill No. 805, and provide staff with direction on further advocacy.

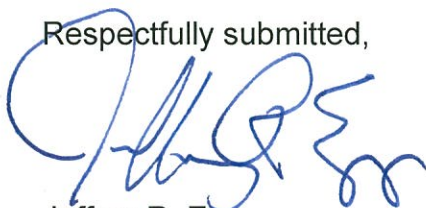
BACKGROUND:

AB 805, authored by Assemblywoman Lorena Gonzalez, would amend various provisions in the California Public Utilities Code. Amended provisions include, among other things, changes to the agency voting weight and membership of the San Diego Association of Governments (SANDAG) board members and changes to the board representation and voting weight of the San Diego Metropolitan Transit System (MTS) and North County Transit District (NCTD) member agencies.

Information provided by the City of Escondido's legislative advocate indicates that AB 805 will change the balance of power, disfranchise many cities from the collective decision making process and give selected few cities on the board a disproportionate majority voting advantage.

SANDAG, since its formation, has been effective in building consensus to plan and improve infrastructure and public transportation for the San Diego region. SANDAG's board members, who are elected officials representing 18 cities and the County of San Diego, have worked well together to serve the region's needs. SANDAG is viewed as a successful model throughout California and the nation. Nineteen SANDAG board members, including the mayors of Carlsbad, Escondido, Oceanside, San Marcos and Vista, have signed a petition opposing AB 805.

Respectfully submitted,



Jeffrey R. Epp
Interim City Manager

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 12

Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Jeffrey R. Epp, Interim City Manager

SUBJECT: California Senate Bill SB 54

RECOMMENDATION:

It is requested that the City Council take a position on behalf of the City of Escondido on California Senate Bill No. 54, and provide staff with direction on further advocacy.

Resolution No. 2017-55 has been prepared for your consideration.

BACKGROUND:

Currently, in California, local law enforcement agencies have the discretion to partner with Immigration and Customs Enforcement (ICE), and do so through targeted operations to apprehend identified criminals. Additionally, local law enforcement engages in joint task forces with various federal law enforcement agencies, including ICE.

Under SB 54, ICE will have limited access to local jails for immigration enforcement purposes and law enforcement officers would be prohibited, except in very limited circumstances, from communicating with any federal immigration authorities as to the status of apprehended undocumented persons. As amended on March 29, 2017, ICE would be required to obtain a judicial warrant in order to interview an individual being held in custody by a local agency or state department. Additionally, the amendments prohibit local law enforcement from transferring an individual in custody unless authorized by a judicial warrant, or if an individual is subject to removal for an aggravated felony and that individual has a prior conviction for a violent felony.

The California Police Chiefs Association opposes SB 54 on the grounds that it will make it more difficult to work with federal law enforcement in apprehending dangerous criminals.

SB 54, authored by Senate President Pro Tem Kevin de Leon, passed the senate floor on April 3, 2017 by a vote of 27-12 with all Democrats voting yes and all Republicans voting no. SB 54 will go to the assembly floor in late April.

Possible SANDAG Funding Measure
April 6, 2016
Page 2

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'JRE', is positioned above the printed name.

Jeffrey R. Epp
Interim City Manager

RESOLUTION NO. 2017-55

A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ESCONDIDO, CALIFORNIA,
EXPRESSING OPPOSITION TO THE
PASSAGE OF CALIFORNIA SENATE BILL
54 TITLED THE "CALIFORNIA VALUES ACT"

WHEREAS, on December 5, 2016, Senate President Pro Tem Kevin de Leon introduced Senate Bill 54 ("SB 54"), an Act to add Chapter 17.25 to Division 7 of Title 1 of the Government Code, to repeal Section 11369 of the Health and Safety Code, and to add Sections 3058.10 and 3058.11 to the Penal Code relating to law enforcement; and

WHEREAS, SB 54 would, among other things, prohibit state and local law enforcement agencies and personnel, including school police and security departments, from using resources to investigate, interrogate, detain, detect or arrest persons for immigration enforcement purposes to include: any and all efforts to investigate, enforce, or assist in the investigation or enforcement of any federal civil immigration law, and any and all efforts to investigate, enforce, or assist in the investigation or enforcement of any federal criminal immigration law that penalizes a person's presence in, entry, or reentry to, or employment in, the United States except in very limited circumstances; and

WHEREAS, local law enforcement agency cooperation with all agencies of the federal government to deport violent and serious felony offenders is critical to ensuring safe communities locally and across the state; and

WHEREAS, SB 54 does not protect citizens of this state but instead, wrongly provides safe harbor from federal immigration authorities fulfilling federal law by obstructing their ability to remove individuals who are unlawfully in the state and are a danger to the community; and

WHEREAS, SB 54 does not provide protection for local communities because it expressly prohibits local law enforcement, who are most likely to come into contact with violent offenders unlawfully in the United States, from communicating effectively with federal authorities who are the only agencies who have the authority to remove these individuals from the country; and

WHEREAS, without cooperation from local law enforcement agencies, SB 54 could force federal immigration officers into nontraditional locations for immigration enforcement, such as schools and neighborhoods, to find undocumented felons; and

WHEREAS, passage and implementation of SB 54 has the potential for adversely affecting opportunities for grants and other funding from the federal government which the City needs to fulfill its mission of providing safe neighborhoods to its constituents.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Escondido, California, as follows:

1. That the above recitations are true.
2. That the Mayor and City Council Members believe the passage of SB 54 poses an immediate threat to the health, welfare and safety of the citizens of this City.
3. That the Mayor and City Council Members resolutely oppose the passage and implementation of SB 54 as it takes away from local law enforcement agencies and the cities they serve, the ability to work and communicate with federal authorities to remove violent undocumented persons from their communities.

CITY COUNCIL

For City Clerk's Use:

APPROVED **DENIED**

Reso No. _____ File No. _____

Ord No. _____

Agenda Item No.: 13
Date: April 5, 2017

TO: Honorable Mayor and Members of the City Council

FROM: Jay Petrek, Assistant City Manager
Michelle Geller, Economic Development Manager

SUBJECT: 2017-2018 Draft City Council Action Plan Update

RECOMMENDATION:

It is requested that the City Council review the Draft 2017-2018 City Council Action Plan and provide input regarding strategies aimed at accomplishing goals.

FISCAL ANALYSIS:

None

PREVIOUS ACTION:

The City Council held a workshop for the development of the 2017-2018 City Council Action Plan on February 15, 2017. The prior Action Plan was approved by the City Council in August 2015 that encompassed the 2015-2016 calendar years.

BACKGROUND:

The Action Plan represents the City Council's collective vision for Escondido's future. The Plan is developed biannually following a workshop where goals are identified and discussed. Four Priority Areas were identified for inclusion in the 2017-2018 Action Plan, consistent with the prior Action Plan. Staff proposes a single overarching goal to accompany each Priority Area:

Priority Area: Economic Development

GOAL: Ensure the long term vitality of Escondido's local economy.

Priority Area: Fiscal Management

GOAL: Approve a balanced budget each year, as required by state law, that ensures the City's fiscal stability.

Priority Area: Community Improvement

GOAL: Improve aesthetics, design, land uses, services and accessibility to support community needs.

Priority Area: Public Safety

GOAL: Maintain a safe environment for Escondido with high quality emergency services.

The Priority Areas are associated with multiple 'Current Realities' describing an existing condition or situation. Immediately following February's City Council Action Plan workshop, department staff commenced meetings to develop strategies for implementing the City Council's vision. There are a total of 68 strategies and sub-strategies included in the Draft 2017-2018 Action Plan for the City Council's consideration.

RECOMMENDATION / NEXT STEPS IN THE PROCESS:

Staff recommends that the City Council review the Draft Action Plan and provide input regarding the proposed goals, current realities, and strategies for implementation to ensure they meet the topics discussed at the workshop. Upon receiving additional input, staff will return to the City Council with a final Action Plan for adoption that includes information from this meeting, as well as timeframes and staffing delegated for implementation. Staff will provide periodic updates to the City Council regarding the status of implementing the 2017-2018 Action Plan over the next two years.

Respectfully submitted,



Jay Petrek
Assistant City Manager



Michelle Geller
Economic Development Manager

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: ECONOMIC DEVELOPMENT	
<i>GOAL: Ensure the long term vitality of Escondido's local economy</i>	
STRATEGY	CURRENT REALITY
<ol style="list-style-type: none"> 1. Expand the Comprehensive Economic Development Strategy (CEDS) to target specific geographic areas based on current data and emerging economic trends. 2. Utilize the OppSites online tool to promote target geographic development areas for economic investment. 3. Leverage resources available through the Innovate 78 partnership to market target development areas. 4. Identify business attraction and expansion opportunities for non-retail businesses that generate sales tax revenue. 	<p>The City developed its first Comprehensive Economic Development Strategy (CEDS) in 2013. The CEDS included target development areas identified in the 2012 General Plan. The CEDS will expire in February 2018, and staff are vetting consulting firms to develop the updated CEDS.</p> <p>President Trump's proposed budget includes elimination of the Economic Development Administration, which is the approving agency for the CEDS. Staff will continue to stay apprised of new developments on this topic.</p> <p>In December 2016, an Economic Development Manager position was created in the City Manager's Office to focus on proactive economic development.</p>
<ol style="list-style-type: none"> 5. Establish the South Centre City Area Plan to improve residential and employment opportunities; update the existing land use matrix to attract new and expanded uses. 	<p>Four interrelated General Plan Target Areas along Centre City Parkway south of Escondido's Downtown have been identified for consolidation in a single Area Plan intended to guide future development. This area is within the City's urban core, in close proximity to infrastructure and transit, but contains underperforming land uses that would support an increase of densities and intensities.</p>
<ol style="list-style-type: none"> 6. Evaluate and, if appropriate, develop funding mechanism(s) to improve inadequate infrastructure hindering development in the urban core. 	<p>Aging utilities combined with increased fire flow requirements hinder downtown redevelopment by requiring extensive off-site improvements. The City has contracted with a consultant to explore the feasibility of establishing an EIFD in the urban core which could provide a funding source for infrastructure improvements.</p>
<ol style="list-style-type: none"> 7. Continue prioritize and focus on the high profile projects currently in the entitlement process, evaluate opportunities for streamlining their processing, and work to attract additional development. 	<p>Thirty-five significant projects are currently in the entitlement process representing significant private investment for the community.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: ECONOMIC DEVELOPMENT	
<i>GOAL: Ensure the long term vitality of Escondido's local economy</i>	
STRATEGY	CURRENT REALITY
<p>8. Involve the Escondido Chamber of Commerce in establishing business districts or groups to address the unique needs of business clusters.</p> <p>9. Assess whether business districts/groups would support a formalized structure to fund enhancements such as holiday decorations, lighting, landscaping, and security.</p>	<p>Business districts and clusters in Escondido (Downtown, South Escondido Boulevard, East Valley Parkway, Craft Breweries, Auto Dealerships, etc.) have unique needs that may be better served by more a formal structure to address issues.</p>
<p>10. Improve the competitiveness of our grant applications for funding the Citracado Parkway extension, including incorporating transit and affordable housing to the project.</p> <p>11. Continue working closely with resource agencies to obtain permits for completing the project.</p>	<p>There is a \$12.5M shortfall for funding the Citracado Parkway extension, a crucial infrastructure project that will fill a critical gap in Escondido's transportation network and stimulate private investment in undeveloped industrial land. Cultural artifacts at the project site have complicated the permitting process with the resource agencies.</p> <p>The Federal Economic Development Administration (EDA) has provided positive feedback on a \$3M grant once permits are obtained; however, the current proposed federal budget proposes elimination of the EDA.</p>
<p>12. Amend Escondido's Climate Action Plan (E-CAP) to be consistent with updated methodologies and standards to reduce potential litigation threats.</p>	<p>Escondido's Climate Action Plan (E-CAP) is outdated and legal challenges to its methodologies could hinder opportunities for future development. The E-CAP anticipated a 2017 update to address post-2020 targets.</p>
<p>13. Work with the Escondido Chamber of Commerce to gather feedback from the business community on temporary sign regulations.</p> <p>14. Conduct a Council workshop to present business feedback regarding temporary sign regulations for commercial areas. Consider modifying the sign ordinance to better reflect current business needs while preserving aesthetics.</p>	<p>Temporary sign standards conflict with the needs of the business community. Enforcement of temporary sign standards for banners and flags leads to complaints from businesses.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: ECONOMIC DEVELOPMENT	
<i>GOAL: Ensure the long term vitality of Escondido's local economy</i>	
STRATEGY	CURRENT REALITY
<p>15. Evaluate whether self-storage facilities should be a permitted land use. Consider amending the zoning code and industrial specific plans as needed.</p> <p>16. Consider requiring self-storage applications to include an economic analysis substantiating community need and benefits.</p>	<p>Escondido has a limited inventory of land that can accommodate job-intensive uses. Self-storage facilities are permitted in certain zones, occupy large parcels, and create few employment opportunities. Approximately 300,000 SF of self-storage facilities have recently been approved; there are 17+ other facilities already in the City, which is the highest among all cities in North County.</p>
<p>17. Evaluate transferring responsibility for ensuring adequate parking in existing multi-tenant commercial and industrial properties to property owners and leasing agents.</p>	<p>The process for obtaining a business license in multi-tenant establishments is lengthened due to extensive review by the Planning Division to ensure adequate parking.</p>
<p>18. Facilitate re-development of former Palomar downtown hospital site with land uses that support the City's long-term vision. Actions include:</p> <ul style="list-style-type: none"> a. Streamlining the entitlement process and work with developer to ensure a quality project that provides benefits to the downtown area and serves as a landmark for the East Valley Parkway and Grand Avenue Gateways. b. Assessing opportunities for incorporating a transit hub, as well as vacating adjacent streets to maximize development potential. c. Balancing residential and commercial densities and intensities to strengthen the customer base for downtown. 	<p>Palomar Hospital's 13+ acre downtown medical center campus was sold by the Palomar Health District. The property's central location and proximity to Escondido's downtown are key components in establishing a vibrant mixed use/transit oriented project that furthers the goals and vision for development in the urban core.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: ECONOMIC DEVELOPMENT	
<i>GOAL: Ensure the long term vitality of Escondido's local economy</i>	
STRATEGY	CURRENT REALITY
<p>19. Establish an alternative compliance program as an opportunity for enhancing the development potential of projects seeking off-site storm water treatment compliance. Actions include:</p> <ul style="list-style-type: none"> a. Participating in the development of a regional program. b. Providing project areas for alternative compliance in Escondido. <ul style="list-style-type: none"> i. Seek Proposition 1 funding for projects included in the Storm Water Resource Plan for the San Diego Region. ii. Implement other projects that will support alternative compliance implementation, for example, hydrology/hydraulic studies of stream segments where restoration would be beneficial. 	<p>Storm water treatment facilities must be provided for all significant development, which can adversely affect the build-out potential if provided on-site.</p> <p>Regional efforts have resulted in the development of water quality equivalency guidelines for projects within the storm drain system and preliminary framework for an alternative compliance program.</p> <p>A Hydraulic Study was completed and presented to the Technical Advisory Committee in Fall 2016. The three highest prioritized projects from the study have been included in the Regional Storm Water Resource Plan, a prerequisite for Proposition 1 funding.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: FISCAL MANAGEMENT

GOAL: Approve a balanced budget each year, as required by state law, that ensures the City's fiscal stability

STRATEGY	CURRENT REALITY
<ol style="list-style-type: none"> 1. Establish regulations that limit the proliferation of targeted non-residential land uses that do not serve the broader interest of enhancing city revenues. 2. Focus staff efforts and encourage applicants and owners towards employment-intensive and revenue generating land uses. 3. Increase Transient Occupancy Tax revenues by assisting in the completion of Marriott Springhill Suites, and seek additional high-quality lodging opportunities. 4. Conduct more periodic audits of Transient Occupancy Tax (TOT), franchise fees, and other revenues and agreements. Explore updated TOT collection regulations. 5. Pursue negotiations with the County to increase the City's apportionment of property taxes for future annexations. 6. Actively seek and apply for grants and other third source funding whenever possible. 7. Evaluate opportunities for outsourcing city operations. 	<p>Opportunities to optimize revenues require additional focus to ensure Escondido generates adequate funding for its operational and capital improvement needs.</p> <p>President Trump's proposed budget may affect grant applications in future funding cycles (Community Development Block Grant, HOME funds, TIGER grants, etc.).</p>
<ol style="list-style-type: none"> 8. Address the PERS unfunded liability through all appropriate measures including separate funding, budgeting, and reducing exposure. 9. Schedule actuary John Bartel to present options to Council for addressing pension obligations and reduce the City's unfunded liabilities in a fixed timeframe. 	<p>As of June 30, 2015, the Miscellaneous Employee Plan's funded ratio is 70.3% and the Safety Employee Plan's ratio is 73.7%. These ratios are a measurement of how well-funded a plan is with respect to assets vs. accrued liabilities. The City will receive its annual CalPERS valuation reports in Summer 2017.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: FISCAL MANAGEMENT

GOAL: Approve a balanced budget each year, as required by state law, that ensures the City's fiscal stability

STRATEGY	CURRENT REALITY
<p>10. Evaluate Development Impact and Processing fees and consider adjustments to more closely align with regional averages, cost recovery, and build-out needs.</p> <p>11. Continue to annually evaluate fees for services for full cost recovery.</p> <p>12. Identify cost-reducing and revenue-generating opportunities.</p> <p>13. Continue to update the City's long-term financial plan utilizing the most recent financial information.</p> <p>14. Adopt financial policies to safeguard resources and strive to achieve target reserve balance.</p>	<p>The General Fund target reserve balance is 25% of the General Fund operating revenue. This balance provides the City with the ability to manage risk when faced with external and internal financial pressures. The City has established a long-term financial plan that enables proactive management of its financial resources in the future.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: COMMUNITY IMPROVEMENT

GOAL: Improve aesthetics, design, land uses, services, and accessibility to support community needs

STRATEGY	CURRENT REALITY
<p>1. Continue the Neighborhood Transformation Project (NTP) through a variety of efforts:</p> <ul style="list-style-type: none"> a. Conduct a City Manager’s meeting with department heads affirming the NTP as a citywide priority to ensure its overall effectiveness and to incorporate any updated Council direction; b. Hold quarterly meetings and document measurable NTP goals in an Executive Summary Progress Report; c. Continue to explore funding sources/grants; d. Expand outreach with other city departments to explore opportunities for furthering the identified goals and objectives of the NTP. 	<p>The Neighborhood Transformation Program has successfully involved multiple departments collaborating with residents in targeted areas to improve neighborhood aesthetics, security, communication, and cooperation.</p>
<p>2. Continue to reorganize Code Enforcement staff to full time staffing and secure additional funding to facilitate the hiring of two new Code Enforcement Officers (CEO).</p> <p>3. Explore opportunities for implementing a code enforcement model where full time CEO are assigned to districts that correspond to the Police Officer districts, allowing greater coordination with PD and a more COPS-oriented approach for Code Enforcement.</p>	<p>Code Enforcement has approximately 500 active cases assigned to staff. Current staffing levels have limited enforcement capability focused primarily on servicing incoming complaints and requests.</p> <p>Reliance on part-time code enforcement staff has resulted in retention challenges.</p>
<p>4. Establish a proactive commercial district street light conversion and replacement program with a goal of five conversions per week in targeted commercial districts.</p>	<p>Public Works’ street light maintenance and repair plan is reactive rather than proactive. Street light outages in commercial districts are less likely to be reported to Public Works than outages in residential districts.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: COMMUNITY IMPROVEMENT	
GOAL: Improve aesthetics, design, land uses, services, and accessibility to support community needs	
STRATEGY	CURRENT REALITY
<p>5. Continue aggressive graffiti removal and consider eradication through a variety of efforts:</p> <ul style="list-style-type: none"> a. Re-institute reward program for arrest and convictions of violators; b. Partner with middle and high schools to assist with gathering data on tagger monikers and identification; c. Partner with neighborhood groups and property owners to address graffiti in their neighborhoods; d. Transfer obligation to remove graffiti to property owners in circumstances where repeat offenses occur; e. Utilize community volunteers for removal; f. Establish performance standards for removing graffiti within a certain time period; g. Establish a program that allows community volunteers to conduct removal in public areas; h. Consider contracting for graffiti removal; i. Reinitiate proactive distribution of graffiti removal kits at meetings and forums; j. Promote graffiti removal kits in newsletter and at neighborhood meetings. 	<p>Graffiti is escalating and eradication is costly in materials and labor hours.</p> <p>In 2013, staff began promoting City graffiti removal kits to neighborhood group meetings to increase accessibility to the kits and promote proactive approaches to graffiti removal by residents. Over time, fewer kits were distributed in this manner.</p>
<p>6. Conduct targeted mini-sweeps in specific neighborhoods with higher numbers of appearance issues.</p> <p>7. Focus code enforcement resources on the most egregious violations that impact safety and aesthetics.</p> <p>8. Involve a variety of outreach opportunities, including utility bill inserts, Chamber of Commerce publications, neighborhood newsletters, etc., to convey the importance of appropriate property maintenance.</p>	<p>Several residential neighborhoods in the city core have a proliferation of graffiti, trash, debris, illegal parking and inoperable vehicles. This is partly addressed through the Storm Water Residential Inspection program that requires inspections to address potential water quality issues, which also overlap with other concerns (trash, debris, poor maintenance).</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: COMMUNITY IMPROVEMENT	
GOAL: Improve aesthetics, design, land uses, services, and accessibility to support community needs	
STRATEGY	CURRENT REALITY
<p>9. Subject to available funding, establish a goal of completing signal synchronization of one corridor per year.</p> <p>10. Investigate the application of adaptive signal timing and potential grant funding for its implementation.</p> <p>11. Continue including the County and Caltrans with the City's traffic synchronization efforts in areas where the coordinated timing would provide the most benefit.</p>	<p>Traffic signal synchronization has been completed on four major corridors. The cost to coordinate each corridor is \$30,000 and there is no designated funding source. Signal synchronization is calibrated to address peak hour conditions, but disruption occurs during/after pedestrian and emergency calls.</p>
<p>12. Conduct a City Council workshop to review the City's utility undergrounding policy to determine its appropriateness.</p>	<p>City policy allows developments to pay a fee in lieu of undergrounding overhead utilities when the cost is excessive or unfeasible. These fees are accumulated to fund the undergrounding of overhead utilities in priority areas that provide the most aesthetic value.</p>
<p>13. Create a fact sheet for residents explaining options for the completion of sidewalk improvements in their area through assessment districts.</p>	<p>Many older neighborhoods lack sidewalk improvements.</p>
<p>14. Implement the Spruce Street Channel Improvement Project.</p>	<p>The Spruce Street Channel Improvement Project Engineering design is underway to remedy an Escondido Creek tributary that experiences flooding of adjacent properties. The City has successfully applied for grants to assist in project implementation.</p>
<p>15. Implement approved Watershed Quality Improvement Plans that identify strategies for improving water quality.</p>	<p>Escondido has Watershed Quality Improvement Plans accepted by the Regional Water Quality Control Board that focus on minimizing trash, debris, and pathogens from entering creeks and storm drains.</p>
<p>16. Prioritize and implement additional improvements along Escondido Creek following City Council direction.</p>	<p>A hydraulic study completed in 2016 included preliminary calculations for Escondido Creek within El Caballo Park and Grape Day Park to potentially incorporate naturalized features that would improve aesthetics.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: COMMUNITY IMPROVEMENT	
<i>GOAL: Improve aesthetics, design, land uses, services, and accessibility to support community needs</i>	
STRATEGY	CURRENT REALITY
<p>17. Improve the appearance and functionality of City parks and older neighborhoods through implementation of the CIP program to enhance or convert existing park features and to add sidewalks and improve lighting in CDBG eligible areas.</p>	<p>Older neighborhoods have infrastructure deficiencies, including gaps in sidewalks and poor street lighting. Older parks also have some underutilized facilities that can be repurposed or enhanced to maximize use and improve users' experiences.</p>
<p>18. Improve and maintain current parks through a variety of efforts:</p> <ul style="list-style-type: none"> a. Consider conditioning development projects to provide public outdoor meeting and recreational spaces that are privately maintained; b. Evaluate "Adopt-a-Park" and other volunteer-based programs for maintenance at existing parks; c. Continue to improve existing park facilities through Housing Related Parks grant program; d. Complete new features and facilities in parks focused on requiring minimal maintenance. 	<p>Current budget constraints create challenges for maintaining park facilities.</p>
<p>19. Present Council with a fundraising plan for a new skate park at Washington Park.</p>	<p>The City Council directed staff in January 2017, to develop a funding strategy for the potential development of a skate park in Washington Park, with future development plans for skate spots in various city parks.</p>
<p>20. Continue development of vision for Library/Grape Day Park. Identify next concerted steps to take to move vision to reality.</p>	<p>Council has requested community input on the proposed new Library site prior to issuing a Request for Qualifications.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: COMMUNITY IMPROVEMENT	
<i>GOAL: Improve aesthetics, design, land uses, services, and accessibility to support community needs</i>	
STRATEGY	CURRENT REALITY
<p>21. Consider community surveys to assess community satisfaction. If directed by the City Council, release a Request for Proposals (RFP) to solicit consultant bids for conducting a resident satisfaction survey.</p>	<p>The City has never formally conducted a resident satisfaction survey. Other comparable cities conduct professionally developed resident satisfaction surveys on a regular basis. Escondido reviewed proposals from firms to conduct a resident satisfaction survey in 2011, but did not move forward with the project due to cost concerns.</p>
<p>22. Develop a comprehensive Communications Plan for the City, including strategies for social media and other engagement tools.</p> <p>23. Develop and launch a new City of Escondido website.</p>	<p>The City created a Communications Officer position in December 2016, to enhance external City communications channels including website and social media.</p>
<p>24. Continue partnering Project NEAT with NTP efforts in targeted areas of the community.</p> <p>25. Continue to distribute educational material and attend meetings to educate residents about code violations.</p> <p>26. Include code violation information in the monthly neighborhood newsletter and in neighborhood group agendas.</p> <p>27. Continue to prepare a NEAT Sweep schedule to ensure all groups are proactively inspected prior to their cleanup date.</p> <p>28. Continue to work towards decreasing the number of violations in neighborhood groups through Project NEAT.</p>	<p>Since 2012, Project NEAT (Neighborhood Enhancement, Awareness and Training) has implemented “NEAT Sweeps,” a proactive approach to identify and resolve code violations in Escondido’s 18 organized neighborhood groups in anticipation of neighborhood group cleanups, thus maximizing the opportunities to correct violations, especially those related to blight. Project NEAT staff attends meetings to educate residents on common code violations and to distribute educational material aimed at preventing additional code violations. Staff has seen a significant decrease in the number of code violations in neighborhood groups year after year.</p> <p>In April 2014, Project NEAT began collaborating with the Escondido Police Department’s NTP project to identify, resolve and educate the residents within about code violations.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: COMMUNITY IMPROVEMENT	
<i>GOAL: Improve aesthetics, design, land uses, services, and accessibility to support community needs</i>	
STRATEGY	CURRENT REALITY
<p>29. Monitor the Rose to Foxdale parking district for parking and neighborhood appearance issues during the pilot program period and report findings to the City Council.</p> <p>30. Consider efficacy and success of the RTF parking district and determine if requests from other neighborhood groups warrant additional parking districts.</p>	<p>Neighborhood Transformation Program 2 identified a neighborhood with extreme parking issues. Neighbors daily placed trash cans and other items along the street to reserve parking, degrading neighborhood appearance. Staff worked with the residents to form the “Rose to Foxdale (RTF) Neighborhood Group” in 2015 and a parking district in 2016/2017.</p>
<p>31. Consider expanding the Façade & Property Improvement Grant Program to include murals and CPTED (Crime Prevention Through Environmental Design) elements as stand-alone, eligible improvements.</p>	<p>The Façade & Property Improvement program has successfully assisted businesses since 1989 to improve non-residential properties resulting in increased customer activity. Only comprehensive exterior improvement projects are eligible for grant funds. Business owners have recommended expanding the program’s eligible improvements to better meet their needs. Currently, there are no unencumbered funds remaining in the budget.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: PUBLIC SAFETY

GOAL: Maintain a safe environment for Escondido with high quality emergency services

STRATEGY	CURRENT REALITY
<p>1. Develop a Strategic Plan for Homelessness through a variety of efforts:</p> <ul style="list-style-type: none"> a. Collaborate with other agencies and program providers to discover best practices; b. Coordinate with PERT (Psychiatric Emergency Response Team) regarding homeless issues; c. Continue to liaison with local business groups; d. Participate in regional efforts (Alliance for Regional Solutions, Continuum of Care, Project One for All); e. Fund a range of homeless services - from homelessness prevention to shelter care to rapid rehousing (with case management) with CDBG and ESG funds and permanent housing with HOME funds; f. Continue to consider applications for site improvements from non-profit organizations working with homeless/at-risk (including domestic violence shelters) populations; g. Consider an increase in funding to the Alliance for Regional Solutions to address regional homelessness. 	<p>Homelessness requires a large commitment of resources and constitutes a significant portion of overall calls for service.</p> <p>A Community Oriented Policing (COPS) Unit, consisting of four officers and one sergeant, was formed in January 2017 dedicated to addressing homelessness issues.</p> <p>Non-profit organizations working with homeless populations, and those at risk of homelessness, cannot meet the needs of people requiring assistance.</p>
<p>2. Leverage our current police officers to have more presence through a variety of efforts:</p> <ul style="list-style-type: none"> a. Schedule briefings with Police Chief and the City Council regarding staffing deployment; b. Increase proactive patrol time; <ul style="list-style-type: none"> i. Continue to explore calls for service and increased efficiency; ii. Continue to explore new technologies to improve effectiveness; c. Continue pursuing grants to increase police staffing. 	<p>High call volumes prohibit police officers' ability to conduct proactive enforcement.</p> <p>Two additional part-time custody transport officers were hired in February 2017 for a total of five.</p>

2017-2018 DRAFT CITY COUNCIL ACTION PLAN

PRIORITY AREA: PUBLIC SAFETY	
GOAL: Maintain a safe environment for Escondido with high quality emergency services	
STRATEGY	CURRENT REALITY
<p>3. Address the current gang issues through a variety of efforts:</p> <ul style="list-style-type: none"> a. Increase proactive patrol time; b. Continue the NTP in high crime areas; c. Enhance PAL (Police Athletic League), FIT (Family Intervention Team), EGRIP (Escondido Gang Reduction and Intervention Program), Girls Rock, etc.; d. Maintain excellent partnerships with outside law enforcement agencies; e. Include all community partners in solving gang problems. 	<p>The police department continues to conduct proactive gang enforcement and investigations.</p>
<p>4. Evaluate opportunities of establishing a long-term contract with another law enforcement agency that provides funding for expanding the Range including:</p> <ul style="list-style-type: none"> a. Determining whether the Range expansion is sustainable, and identifying what would be needed to meet the anticipated return on investment; b. Identifying opportunities and challenges with City of Escondido stakeholders to accommodate the expansion; c. Approaching community stakeholders to discuss needs, expectations, and commitments for additional capital so further improvements can be made. 	<p>The Police Firing Range Training Facility (Range) has a previously adopted Master Plan that describes its future build-out. The City contracts with multiple law enforcement agencies who use the Range for training purposes. The Range is annually generating approximately \$50,000 from contracts with these outside agencies.</p> <p>The Range’s current capacity, and inadequate funding, constrains opportunities for building out the facility and maximizing its potential as a regional training facility and revenue generator.</p> <p>The Escondido Police Department has been approached by a law enforcement agency who currently trains at the Range with an opportunity for a substantial long-term contract that could provide funding to expand the facility.</p>
<p>5. Explore regional partnerships to increase efficiencies and enhance services.</p>	<p>Escondido Police and Fire Departments’ call volumes are outpacing available resources resulting in ever increasing staffing needs for responding to emergency demands.</p>



FUTURE CITY COUNCIL AGENDA ITEMS
Updated March 29, 2017

*AGENDA ITEMS AND CITY COUNCIL MEETING DATES ARE SUBJECT TO CHANGE.
CHECK WITH THE CITY CLERK'S OFFICE AT 839-4617*

April 12, 2017
NO MEETING (Spring Break)

April 19, 2017
NO MEETING



City Manager's **WEEKLY UPDATE** to City Council

March 30, 2017

SPECIAL EVENTS

- **Cal South State Cup Youth Soccer Tournament**
Saturday, April 1 and Sunday, April 2 -- Ryan Park

The tournament will be hosting 64, 32, and 16 single elimination rounds. Over 1,100 families will be traveling to Escondido from all over Southern California for the tournament. Cal South will be using all 8 fields for the 15 and up boy's divisions. Families will be dining, shopping and lodging in Escondido during the tournament.

INFORMATIONAL ITEMS

SDG&E Electric Vehicle Charging

The City is aiming to partner with SDG&E to bring electric vehicle charging stations to certain City facilities and large businesses. These stations assist in the goal of becoming a Smart City and help Escondido remain environmentally friendly. Information on electric vehicle charging is available at:

<http://www.sdge.com/clean-energy/residential/charge-while-you%E2%80%99re-away>

Notice of Treatment for the Asian Citrus Psyllid

The Asian citrus psyllids, an exotic pest affecting citrus trees, was identified for the community of San Pasqual in San Diego County. The pests are susceptible to the California Department of Food and Agriculture's treatment plan. Residents of affected properties are notified 48 hours in advance of any treatment that will occur. Treatment information is available at the following link: https://www.cdfa.ca.gov/plant/acp/treatment_maps.html

Affordable Housing – Community Housing Works

A recent news article by KPBS highlighted Community Housing Works and their renovation of the Manzanita Apartments at 260 North Midway Drive. The City of Escondido invested federal HOME funds in the project and aided in preserving 200 affordable housing units. The full article is available at: <http://www.kpbs.org/news/2017/mar/24/non-profit-developers-compete-profit-developers-pr/>

Ruby Award Nomination – City of Escondido

The City of Escondido has been nominated for a Ruby Award by the San Diego Housing Federation for its support in assisting Community Housing Works. The nomination project preserved and rehabilitated 200 affordable housing units that are located at the Manzanita Apartments (formerly the Cypress Cove Apartments). Award information is available at: <http://housingsandiego.org/events-training/ruby-awards/>



City Manager's **WEEKLY UPDATE** to City Council

ECONOMIC DEVELOPMENT

San Diego's Economic Pulse

The San Diego Economic Pulse is a monthly update providing an insight into our local economy. The report provides unemployment data, new business information and vital information about the San Diego region. The full monthly report is available at: <http://www.sandiegobusiness.org/sites/default/files/San%20Diego's%20Economic%20Pulse%20-%20March%202017.pdf>

COMMUNITY DEVELOPMENT

Major Projects Update

Commercial / Office:

1. Escondido Research and Technology Center – East (ERTC) (Developer: James McCann) – Project review and communications with the applicant are on-going but there are no new milestones to report this week: This is a 72,000 square foot medical office building proposed on the east side of Citracado Parkway across from Palomar Medical Center located at 2130 Citracado Parkway. A grading permit has been issued by the Engineering Division. Building plans have been submitted for plan check. A grading plan for a temporary parking lot to serve the hospital was approved June 13, 2016, and the parking lot is now under construction.
2. Escondido Research and Technology Center – West (ERTC) (Developer: James McCann) – Project review and communications with the applicant are on-going but there are no new milestones to report this week: This is a 144,000 sq. ft. development involving two medical office buildings proposed on the west side of Citracado Parkway across from Palomar Medical Center located at 2097 – 2175 Citracado Parkway. A grading permit has been issued by the Engineering Division. Esgil and the Planning Division have approved the building plans. A modified building permit to add a linear accelerator has been approved. A fee deferral agreement has been signed and the building permit was issued June 23, 2016. A revised grading plan recently has been approved and grading is underway.
3. Centerpointe 78 Commercial (Developer: Lars Andersen, Pacific Development) – This project is a 45,650 sq. ft. supermarket and drive-thru restaurant located at 925 N. Broadway. The project was approved by the City Council on December 9, 2015. Demolition of the former auto dealership has been completed down to the foundation. Grading plans have been submitted to Engineering and Planning for review. Engineering has provided second plan check comments for the off-site improvements and third plan check comments for the grading plan and are awaiting revised storm water plans prior to approving the grading permit. A building permit for the supermarket is ready to issue once the grading plan is approved. A boundary adjustment application to place the two buildings on separate parcels is currently being reviewed by Planning.

City Manager's WEEKLY UPDATE to City Council

4. Westfield Theater (Developer: Kim Brewer, Westfield) – *This project has been placed on hold by Westfield while they finalize lease negotiations so there is no change from the following update reported last week:* This project is a 10-auditorium movie theater totaling 57,600 sq. ft. located on the north side of the Westfield Mall. The project was approved by the City Council on November 4, 2015. No grading, building or improvement plans have been submitted by the developer at this time.
5. Felicita Development, LLC (Developer: Katherine Park, Creative Design Associates) – *This project is on hold pending further direction and submittal of information from the applicant.* This project is a 140-unit hotel, and a gas station or office/residential care facility at the southeast corner of Felicita Rd. and Gamble Lane. The applicant and staff met with the architect to discuss building elevations, five-story height limitations and site design issues given the existing wetland constraints on the property. The project application remains incomplete as additional technical analysis and coordination is needed to address traffic, biology, water and sewer service, geotechnical and storm water concerns, along with a market study for the proposed uses. Follow-up meetings conducted by the applicant with staff and the wildlife agencies lead staff to believe a revised project is forthcoming. The project is on hold pending further direction and submittal of information from the applicant.
6. Springhill Suites (Developer: Raj Patel, San Bernardino Hospitality LLC) – *The applicant is cleared to start construction so there is no change from the following update reported last week:* This project is a four-story, 105-suite hotel totaling 73,300 sq. ft. located at 200 La Terraza Drive. The hotel includes a small conference room and an enlarged lobby for serving continental breakfast. A revised set of grading plans has been approved since February 2016 and grading for the hotel site has started. Building plans have been approved and permit fees were paid before the end of the year clearing the way for construction to commence. On January 3, 2017, a new ownership group met with the City Council Economic Development Subcommittee and staff to discuss renewing the now-expired Economic Incentive Agreement that had been granted to the original developer. The City Council approved a new Economic Incentive Agreement on January 25, 2017. Construction is expected to commence within the next two months.
7. Escondido Auto Park Association (Developer: Tim Brecht, Escondido Auto Park Association) *The applicant is cleared to start construction so there is no change from the following update reported last week:* The association is proposing to upgrade the existing electronic message sign along I-15. An application for a new regional market sign and an amendment to the Sign Ordinance to increase the allowable display area for a regional market sign was submitted to the Planning Division on May 6, 2016. The proposed sign would be located in the same location as the existing sign at a slightly lower height (73.5 feet) with approximately the same overall dimensions. The Planning Commission recommended approval of the new regional market sign and amendment to the Sign Ordinance on July 12, 2016. The City Council approved the new regional market sign and amendment to the Sign Ordinance on August 17, 2016. A building permit for the sign was issued on January 19, 2017.

City Manager's WEEKLY UPDATE to City Council

8. Downtown Courtyard Marriott Hotel (Developer: Craig Clark) – A modification to a Master Plan and a Precise Plan for a revised downtown hotel design consisting of 154 rooms in four stories over ground-level parking. The majority of the building would be located in the parking lot between City Hall and the CCAE conference center. The primary entry to the hotel would be from a redesigned entry drive with new porte cochere on Escondido Boulevard. The hotel would operate the conference center and would provide a bistro and bar area for guests. The application was submitted on November 18, 2016 for processing and review. During the course of review, City staff transmitted comments incrementally to the applicant. A final letter summarizing all requested revisions and/or corrections was sent to the applicant on December 22, 2016. City staff met with the development team on January 10, 2017 to discuss the staff comment letter. The applicant provided revised conceptual drawings on March 17, 2017 to facilitate future project discussions. Those drawings are currently being reviewed by staff.
9. Centre City Commercial Center (Developer: Todd Dwyer) - This commercial redevelopment project proposes a 15,870 square foot commercial shopping center on the southeast corner of Centre City Parkway and W. Mission Avenue, addressed as 425 W. Mission Avenue (former Wagon Wheel Restaurant and Palm Tree Lodge). The project would include three buildings, two of which contain drive-thru restaurants along with other retail or restaurant tenant spaces. The third building would be a drive-thru self-serve carwash. A Plot Plan and Tentative Parcel Map were submitted on January 31, 2017, and staff review is underway. The applicant's environmental consultant is currently preparing a Draft Initial Study/MND for initial review by staff. A traffic study prepared by the applicant's traffic consultant has been reviewed by Engineering staff and the applicant been notified that additional refinements will be required to appropriately reflect the potential impact and mitigation.

Industrial

1. StorQuest (Developer: The William Warren Group, Inc.) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* This proposed project at 220 W. Mission Avenue involves a 102,500 sq. ft., four-story self-storage facility development with three in-line shops and a small office. The Planning Commission voted to recommend approval of the proposed General Plan Amendment, Planned Development and Zone Change on August 9, 2016. The project was approved by the City Council on September 14, 2016. A grading plan was submitted for review on November 3, 2016. Building plans were submitted during the week of December 19, 2016. Both grading and building plans have been returned to the applicant with staff comments. Staff is awaiting resubmittal of revised plans from the applicant.

City Manager's WEEKLY UPDATE to City Council

2. Victory Industrial Development (Developer: Scott Merry, Badiie Development) – This project involves two industrial buildings totaling 91,000 sq. ft. (one building 55,500 sq. ft., second building 35,500 sq. ft.) located at 2005 Harmony Grove Road and a zone change from residential to Planned Industrial consistent with the updated General Plan. The Planning Commission voted to recommend approval of the proposed General Plan Amendment, Planned Development and Zone Change on August 9, 2016. It was approved by the City Council on September 14, 2016. Building plans were submitted into plan check the following day and have been approved by Esgil while Planning awaits a resubmittal in response to previous comments. Boundary adjustment applications with three property owners in the adjacent Harmony Grove Business Park that are needed to implement the project design were submitted to Planning on February 8, 2017 and are being readied by staff for signature and recording. It is expected the grading permit can be issued once the applicant secures his Army Corps, Regional Board, and CA Fish and Wildlife permits.
3. Escondido Self-Storage Facility (Developer: Brandywine Homes, Inc.) – A modification to a Master and Precise Development Plan for revisions to the design of a previously approved, but not yet constructed, self-storage facility at 2319 Cranston Drive. The project proposes approximately 77,500 SF of storage area in two buildings. The larger building is two stories over a basement with all interior loading. The smaller building is one-story with some exterior roll-up doors. The project was recommended for approval by the Planning Commission on September 13, 2016, and the City Council approved the project on October 12, 2016. Building plans were submitted the week of December 11, 2016, and all departments have provided comments. Grading plans, landscape plans and the final map also have been submitted and comments have been provided by staff.
4. Innovative Industrial Development (Developer: Scott Merry, Badiie Development) – This project involves a unique proposal in which two potential industrial development scenarios were analyzed for the 5.76-acre site located at 1925 Harmony Grove Road, directly in front of the “Victory Industrial Development” described above. The first development scenario involves a single tenant building with 98,500 square feet and 197 parking spaces. The alternative scenario envisions three industrial buildings roughly within the same footprint as the single tenant proposal. The three industrial buildings would include a total of 86,000 square feet with 234 parking spaces. The Planning Commission voted to recommend approval of this project on December 13, 2016. The City Council approved the proposal as recommended by the Planning Commission on January 11, 2017. The applicant has notified staff that he intends to move forward with construction of the three-building design. Grading plans were submitted for plan check on February 27, 2017 and comments have been provided back to the applicant. Building plans were submitted on March 29, 2017 and are being reviewed by staff.

City Manager's WEEKLY UPDATE to City Council

5. North American Self-Storage (Developer: Russ Colvin) – This project at 852 Metcalf proposes a 132,556 square foot, self-storage facility consisting of four stories over a full basement level on a 1.12-acre site in the M-1 zone. A Plot Plan application was submitted to Planning on September 14, 2016 and a conditional letter of approval was issued on December 21, 2016. An erosion control and demo permit has been approved. The applicant has submitted grading, building and landscape plans into plan check under the City's "expedited plan- check" pilot program. Staff comments on the first grading plan check were issued 12 working days following the first submittal and staff is awaiting the second plan check submittal from the applicant. The applicant submitted building plans into plan check on March 8, 2017. Those plans are currently being reviewed by Esgil, Planning and Fire under the expedited plan check program. Planning comments have been provided to the applicant.

City Projects

1. Micro-Filtration Reverse Osmosis (Developer: City of Escondido Utilities Department) – *No further updates to this item will be provided while litigation is in progress:* The proposed project involves a Conditional Use Permit (CUP) for the development of a new City facility to provide advanced treatment for recycled water produced at the City of Escondido's Hale Avenue Resource Recovery Facility (HARRF) for agricultural uses with the capacity for future treatment for indirect potable reuse. The facility would be sized for a total production capacity of 2.0 million gallons per day (mgd). A previous proposal for development of the facility at 2512 East Washington Avenue has now been shelved while staff pursues development of the facility on an alternative site located on the southeastern corner of Washington Avenue and Ash Street. On July 20, 2016, the City Council approved a first-phase design contract with Black and Veatch for the design effort need to bring the new site design to the Planning Commission for CUP consideration. Site and building design concepts have been developed and two neighborhood meetings were held on October 12, 2016 and November 3, 2016. A 30-day public review period for the proposed Mitigated Negative Declaration ended on November 27, 2016. The Planning Commission approved the proposed CUP on December 13, 2016. An appeal of that decision was filed and the City Council denied the appeal on January 11, 2017 and affirmed the Planning Commission's decision to approve the project.
2. Wastewater Collections Yard Expansion (Developer: City of Escondido Utilities Department) – *No change from the following update reported last week:* The project involves development of 1.8 acres of a larger, approximately 15.4-acre site for the construction of a new wastewater collections yard and maintenance facility for the City's Hale Avenue Resource Recovery Facility (HARRF) at 1521 S. Hale Avenue. The proposed facilities will consist of three separate pre-fabricated metal buildings 3,735 sq. ft. - 5,670 sq. ft. for collections; work bays and workshops for regular maintenance of vehicles and equipment. The project would require the processing of a Conditional Use Permit (CUP) and rezone. The Planning Commission held a public hearing and recommended approval on May 10, 2016. It was approved by the City Council on June 15, 2016. Grading, building and landscape plans are now being reviewed by staff for permit issuance.

City Manager's **WEEKLY UPDATE** to City Council

3. HARRF Biogas to Energy Project (Developer: City of Escondido Utilities Department) – *Communications with the applicant are on-going but no construction plans have been submitted since the project was approved and there are no new milestones to report this week:* This project is a proposed Conditional Use Permit that will utilize the existing digester gas created during the sewage treatment process to power two generators with a combined output of 1,200 kW of power. The gas which is currently being flared on the site will be redirected for a useful purpose and used to offset the HARRF's demand on utility natural gas and electricity from SDG&E. A Conditional Use Permit for the project was approved by the Planning Commission December 13, 2016.
4. Lake Wohlford Replacement Dam (Developer: City of Escondido Utilities Department) – This project consists of the construction of a replacement dam downstream (west) from the existing dam at Lake Wohlford, as well as partial deconstruction of the existing dam. In 1924, hydraulic fill was added to increase the overall height of the original dam from 76 feet to 100 feet. A 2007 seismic analysis of the dam identified a stability concern for the raised portion of the dam in the event of a major earthquake. As a result, the City reduced the reservoir's water level to limit the risk of a potential failure. The water level reduction decreased the reservoir's capacity to approximately 40% of its prior size. To improve the dam's seismic safety and regain the lost water storage capability, the City is planning to construct the replacement dam so the resultant reservoir level and storage capacity are equal to the elevation and capacity prior to the water level restriction, at 1,480 feet elevation and 6,500 acre feet, respectively. AECOM working under contract to the civil engineer (Black & Veatch) was selected to prepare an Environmental Impact Report for the project. A Draft EIR was prepared and issued for a 45-day public review period that began on October 4, 2016 and closed on November 17, 2016. Staff and AECOM are now in the process of coordinating responses to the comments that were received during the public review period. As part of that effort, Utilities and Planning staff met with representatives of the permitting agencies on March 14, 2017 to discuss biological mitigation requirements. AECOM is now in the process of setting up a field meeting for the permitting agencies to view the site.

Institutional

1. Escondido United Reformed Church (Developer: Brent Cooper) – The project is an expansion for a phased, multi-year, master construction/development plan for a new 12,250 SF two-story sanctuary, conversion of existing buildings to a social hall, demolition of an existing social hall/classroom building (approx. 4,620 SF) and construction of approximately 5,250 SF for a nursery, multi-purpose room, classrooms for Sunday school at 1864 N. Broadway. Revised architectural plans were unanimously approved by the Planning Commission on June 14, 2016. A revised grading plan is close to approval. Building plans have gone through one round of plan check and the applicant is now discussing with Planning the possibility of adding floor area to the classroom building.

City Manager's WEEKLY UPDATE to City Council

2. Emmanuel Faith Community Church (Developer: Jim North, EFCC) – *The applicant is cleared to start construction on the Phase I children's building. No plans have been submitted for any other phases so there is no change from the following update reported last week:* The project is a phased, multi-year construction and renovation program for the Emmanuel Faith campus that includes demolishing the existing children's rooms and constructing a new nursery and children's building for up to 200 children, construction of a two-story training center/youth complex, renovation of the existing high school/college building, conversion of the existing education center into an office and meeting room building, demolition of the existing café and construction of a new café, demolition and construction of a new maintenance building, construction of a new gathering plaza with baptismal outdoor water feature, and reconstruction and expansion of the existing worship center from 1,600 seats to 2,000 seats. The Planning Commission approved the proposed modification to the Conditional Use Permit for the campus on June 9, 2015. Grading, building and landscape plans for the first phase (45,414 square foot new children's building) have been reviewed by staff and Esgil. The grading permit has been approved and the building permit for the children's building was issued on February 28, 2017.
3. Self-Realization Fellowship Center (Developer: John Pyjar, Domusstudio Architecture) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* This proposal to modify the Center's existing CUP would expand the campus by constructing a new 7,424 square foot meditation chapel with seating for 200 persons, a 4,278 square foot multi-purpose building, a 3,929 square foot Sunday school classroom and would convert an existing office/residential building to a bookstore. Additional parking would be provided and some existing buildings on the site would be relocated or demolished. The CUP application was submitted on November 14, 2016. Staff reviewed the initial submittal and sent a letter to the applicant on December 14, 2016, indicating that the application was incomplete and specifying the additional information that was necessary to complete the application.

Residential

1. Oak Creek (Developer: Jason Han, New Urban West) – *This project has been placed on hold by the developer while the City completes construction of the Southwest Sewer Project so there is no change from the following update reported last week:* This project is a 65-unit single family development located at the southeastern corner of Felicita Road and Hamilton Lane approved by the City Council in 2015. The LAFCO Board unanimously approved the annexation on October 5, 2015, and the annexation has been recorded. No grading or improvement plans have been submitted by the developer at this time.
2. Amanda Estates (Developer: Jason Han, New Urban West) – *This project has been placed on hold by the developer while the City completes construction of the Southwest Sewer Project so there is no change from the following update reported last week:* This project is a 22-unit single family development on Amanda Lane approved by the City Council in 2015. The LAFCO Board approved the reorganization (annexation) at their meeting on August 3, 2015,

City Manager's **WEEKLY UPDATE** to City Council

and the annexation has been recorded. No grading or improvement plans have been submitted by the developer at this time.

3. Pradera (Developer: Moses Kim, Lennar Homes) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* This project consists of a 70-unit single family development located at the northeastern corner of Ash Street and Lehner Avenue. The developer has obtained building permits for six phases involving 52 homes and those phases are under construction. Homebuyer interest in the product remains high and sales are progressing. All five final maps in the project have now been recorded. Precise grading plans for all phases have been approved. Phases 7 and 8 for the construction of 11 additional homes were received on December 12, 2016. Improvement plans for the new 20" water line in Conway Street are now being reviewed by the Utilities Department.
4. Lexington (Zenner) (Developer: Eric Johnston, KB Homes) – The project is a 40-unit, single-family development at the northeastern corner of Lehner Avenue and Vista Avenue. A rough grading permit was issued for the project site on August 18, 2016 and grading is underway. The final map has been approved by City Council. Building plans for Phase 1 were submitted into plan check on December 20, 2016 and permits were issued before the end of the year. On January 24, 2017, the Planning Commission approved a variance request from KB Homes to reduce perimeter wall setbacks for five residential lots. The precise grading plan for the remainder of the project site was approved on March 14, 2017. KB Homes is coordinating with Engineering to complete the Vista Avenue street improvements during the two-week school spring break that starts on Saturday, April 8, 2017. The applicant has indicated that he intends to pull Phase 2 building permits this week.
5. Stella Park Condominiums (Developer: Edward Kaen, ETP, LLC) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* This project is a 63-unit, three-story townhome Planned Development located at 2516 S. Escondido Blvd. The project includes three separate recreation areas for residents. The City Council approved the project on April 27, 2016. A Substantial Conformance Tentative Map (TM) and proposed modification to the Precise Development Plan was filed by Lyon Homes on December 12, 2016. The Planning Commission approved a modification to the Precise Development Plan and the substantial conformance TM on February 14, 2017. Lyon Homes is coordinating demo fee credits with staff. A rough grading plan submitted on February 23, 2017 has been returned with comments and staff is awaiting a second submittal.
6. Wohlford (Developer: Jack Henthorne) – This project is a 55-lot single family development located on Bear Valley Parkway east of Encino Drive. A Specific Alignment Plan for Bear Valley Parkway detailing the proposed roadway design is under review. An application for a Development Agreement has been submitted by the applicant. The Draft EIR has been posted on the City website and released for a 45-day public review period commencing on March 27 and ending on May 12, 2017.

City Manager's WEEKLY UPDATE to City Council

7. Latitude II (Developer: Peter Zak, Lyon/NCA) – This project is a 112-unit multi-family development, located at the northeastern corner of Centre City Parkway and Washington Avenue, and was approved by the City Council on August 19, 2015. A boundary adjustment for a property exchange with the adjacent motel owner has been approved and recorded. A grading permit has been issued and the applicant is coordinating installation of BMP's with Engineering. Building plans are nearing approval pending approval of the final map and a sewer reimbursement agreement.
8. Canyon Grove Estates Tract 932 (Developer: John Vance, Shea Homes) – This project is a 179-lot single family residential development on the north side of Vista Avenue east of Conway Drive. The final architectural design and landscaping plans for the Precise Plan application were approved by the Planning Commission on June 14, 2016. Building permits for the construction of eight model homes have been issued and construction is underway. Phase 1 has also received permits. Permits for Phase 11 have been issued and it is expected that Phase 2 of the Estates product will be issued this week. Off-site construction of the traffic signal at Ash Street/Vista Avenue is expected to commence soon.
9. Safari Highlands Ranch (SHR) (Developer: Jeb Hall, Concordia Homes) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* This project is a 550-unit single family development located east of the Rancho San Pasqual community and north of the San Diego Safari Park. The project involves 1,100 acres including annexation and a Sphere of Influence update for a master planned community with parks, trails, recreation center, fire station and open space. Planning and Engineering extensions of staff have been funded by the applicant and retained to assist the City in processing the project. The City Council approved the consultant contract for preparing the EIR on March 23, 2016. The contract planner has been meeting with the consultant, Michael Baker International (MBI), and has started review of first draft sections of the EIR. While the EIR is generally on schedule, there have been some changes to the site plan, which will affect the EIR schedule. The changes include the elimination of the “water factory” for wastewater treatment, elimination of the public park, changes to the entry road which would now be private instead of public, and relocation of the fire station to the former public park site. These changes will require the applicant's civil engineer to make a number of revisions to the tentative map, but are not anticipated to affect the proposed development envelope or the number of proposed lots. A revised tentative map depicting the site plan changes was submitted on October 17, 2016. Staff comments on the Fire Management Plan were sent to the applicant the week of March 13, 2017.
10. High Pointe Tract 693-J (Developer: Russell Schaeffer, True Life Communities) – *The applicant continues to actively market the property and there is no change from the following update reported last week:* This project is a custom-home development with 39 estate lots accessed from Mesa Rock Road. Staff has prepared a bond and fee letter based on the proposed grading and landscape plans, and has sent it to the applicant.

City Manager's WEEKLY UPDATE to City Council

11. Del Prado (Developer: Kerry Garza, Touchstone Communities) – *Communications with the applicant are on-going but there are no new milestones to report this week:* This project is a 113-unit townhome-style Planned Development located at the southwestern corner of Brotherton Road and the Centre City Parkway frontage road. The project includes a recreational facility, pool, and open space areas. Staff worked through various site design and utility issues with the applicant prior to scheduling the project for a public hearing. The City Council approved the project on May 11, 2016. No grading or improvement plans have been submitted by the developer at this time.
12. 701 San Pasqual Valley Rd (Developer: Bob Stewart) – This project is a 19-unit single family development located at 701 San Pasqual Rd/1201 E. 5th Avenue (formerly Tract 898) on 7.2 acres. The application is under review and a letter detailing additional comments and submittal requirements was forwarded to the applicant. Staff has met several times with the applicant to help work through project design and storm water issues. A Draft Mitigated Negative Declaration has been submitted and staff has provided comments to the applicant on the draft and technical studies.
13. Veterans Village (Developer: Veterans Village of San Diego) – This project is a mixed-use development involving a 54-unit affordable multi-family residential apartment project for military veterans and their families. It includes on-site administration office, business center, club house and other support spaces for the residents; and a small commercial component to support training opportunities offered at the facility at 1556 S. Escondido Boulevard. The grading plans and landscaping plans have been approved. Demolition has been completed and grading is underway. It is expected the building permit will be issued this week.
14. Escondido Gateway (Developer: Greg Waite, Integral Communities) – This project is a mixed-use development involving 126 residential units within three, 4-5 story buildings with indoor and outdoor recreational areas and an opportunity for a small (1,000 sq. ft.) commercial/flex space on 2.6 acres (48 dwelling units/acre) located at 700 W. Grand Avenue (former Police Station) across the street from the Escondido Transit Center. Plans were submitted for the project involving a Specific Plan Amendment, Tentative Map, Planned Development and Development Agreement. The City Council approved the project on October 12, 2016. The Development Agreement has been recorded. Building plans were submitted into plan check the week of December 11, 2016, and there have been two rounds of comments provided by staff. Grading plans were resubmitted (3rd review) on March 20, 2017. Planning is awaiting resubmittal of revised CC&Rs and the parking management plan. The City's former tenant has vacated the old building and the applicant is moving swiftly towards issuance of a demo permit with bidding underway for asbestos and lead-based paint removal.

City Manager's WEEKLY UPDATE to City Council

15. The Villages at Escondido Country Club (Developer: Jason Han, New Urban West, Inc.) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* The project would redevelop the former 109.3-acre Escondido Country Club golf course property with a new residential development consisting of 392 dwelling units including single-family detached and attached duplex units. The proposed project density is 3.6 dwelling units per acre with a minimum residential lot size of 2,555 square feet. The development would include 48 acres of open space including a landscaped greenbelt with a four-mile trail system linking park features. Other proposed amenities include a new clubhouse building, swimming pool, gym, tennis/pickle ball court, restaurant and bar and banquet facilities. The proposed General Plan Amendment, Specific Plan, Vesting Tentative Map and Zone Change applications and plans were submitted to the Planning Division on October 31, 2016. The developer has retained Dudek to prepare the Draft EIR for the project. The developer has provided funding for a contract planner working under the direction of the Planning Division to assist the City in processing the project. A kick-off meeting was held on November 15, 2016, to commence project-related discussions between Planning staff and their contract planner, the applicant and the EIR consultant. A letter indicating the project application is incomplete was sent to the applicant on November 30, 2016. City staff met with the applicant on December 22, 2016 to review the comment letter. A Notice of Preparation (NOP) for the EIR was issued on January 25, 2017 for a 30-day review period ending on February 24, 2017. The NOP includes notification of a public scoping meeting that was held on February 13, 2017. A project resubmittal in response to the City's November 30, 2016 letter was received on March 16, 2017. The complete resubmittal will include additional information for the proposed specific alignment plan for Country Club Lane. Planning staff has developed a new section on the City's website for ECC project-related documents and plans. The information can be accessed at the following link: [ECC - City of Escondido](#)
16. Ivy/Valley Parkway Mixed-Use Development (Developer: Abad Rahan Pars Inc./ Norm Wieme, Architect) – *Project review and communications with the applicant are on-going but there are no new milestones to report this week:* This project at 113 N. Ivy consists of a plot plan application to construct a four-story building with 20 two-bedroom apartment units and approximately 3,000 square feet of commercial space on a vacant 0.5-acre parcel located at 113 N. Ivy Street. The conditional letter of approval for the plot plan was approved and issued on September 19, 2016. The applicant has indicated that grading and building plans are expected to be submitted into plan check soon. Utilities staff is currently working on a reimbursement agreement for new water infrastructure that will be installed on the project in the adjoining alley.

City Manager's WEEKLY UPDATE to City Council

Building Division:

1. The Building Division issued 63 permits for a total valuation of \$589,778. Issued permits included a new Popeye's restaurant located at 1541 East Valley Parkway.
2. Twenty-three photovoltaic permits were issued for the week. The Building Division has issued 217 solar permits this year compared to 322 issued for the same time last year.
3. Counter technicians assisted, on average, 32 customers per day with 26 customers on Friday.
4. Building inspections averaged 39 inspections per day with 24 inspections on Friday.
5. The total building valuation for all issued permits issued this year through the 24th of March is \$13,707,702 compared with \$8,778,071 for the same time last year. Building has processed 717 projects to date compared with 902 projects for the same time period in 2016.
6. Projects nearing permit issuance are:
 - a. Latitude 2, a 112-unit apartment complex consisting of six, three-story buildings at 610-660 Centre City Pkwy.
 - b. Veterans Village, at 1540 S. Escondido Blvd., a 40,000 square foot, three-story apartment building providing affordable housing for veterans and their families.
 - c. Westminster Seminary student housing, 1725 Bear Valley Parkway, consisting of ten buildings with 72 residential units for students and their families.
7. The construction of the City Plaza three-story mixed use building at 300 S. Escondido Blvd. has completed the podium slab and fourth floor wall framing is progressing.
8. Roof framing is proceeding at The Meadowbrook three-story apartment building with underground garage at 2081 Garden Valley Glen.
9. Escondido Disposal is proceeding with the tenant improvement for the existing building and has completed the drywall. Roof framing on their new transfer building also has been completed.
10. Demolition is almost complete but progressing slowly at the former bank building at 444 S. Escondido Blvd. due to demolished materials being recycled and salvaged for reuse.
11. The Talk of the Town carwash building at 400 Brotherton Road will be approved for occupancy soon. The plans for the interior of the restaurant building have been submitted and are under review.

City Manager's WEEKLY UPDATE to City Council

12. The model homes at Canyon Grove (Shea Homes) are nearing completion.
13. The Church of the Resurrection at 14445 Conway is ready for foundation inspection.
14. KB Homes is requesting foundation inspection for the first seven homes in their Lexington development on Vista Avenue/Ash Street.

Code Enforcement:

1. As of March 27, the total number of open code enforcement cases is 516. During the prior week, 100 new cases were opened, and 60 cases were closed, with a backlog of an additional 44 cases not yet opened for assignment and investigation.
2. A total of 106 illegal signs were confiscated during the weekend.
3. Last week, the Business License Division issued 27 new licenses and received 36 new applications, in addition to 192 renewals. Twenty businesses closed and/or closed out their business licenses.

ENGINEERING

CAPITAL IMPROVEMENTS

2015/2016 Street Rehabilitation and Maintenance Project

The contractor began to work on Punch List items on Wednesday of this week. The installation of traffic signs and legends is ongoing throughout the project.

Encino Street Emergency Storm Drain Repair

Competitive bids have been received and are under review. The apparent low bidder will be contacted later this week to finalize the Public Service Agreement.

Neighborhood Parking District

The project is moving forward with the manufacturing of signs to be placed along the project streets. The installation date is tentatively set for April 10, 2017.

PRIVATE DEVELOPMENT

Pradera - Lennar Communities

The developer is working on a schedule for the completion of new striping and signage along the area streets. Installation of a missing 2" water service for the project landscape irrigation is set to be installed this Thursday.



City Manager's **WEEKLY UPDATE** to City Council

Lexington Model Homes - KB Homes

The preconstruction meeting was held on Tuesday of this week to plan for the closure of Vista Avenue between Ash Street and Lehner Avenue during Spring Break next month. A detour route as well as door hangers and electronic message boards will be in place to assist residences. House pads for the first 8 homes were poured this week.

Escondido Boulevard at 3rd Avenue

No changes from the following reported last week: The contractor is using a crane to deliver materials to the third floor, and lane closures along 3rd Avenue will be a regular occurrence to allow for the lifting of construction materials to the newly completed floor.

Tract 932 - Canyon Grove Shea Homes Community

No changes from the following reported last week: The traffic signal for El Norte Parkway at Vista Verde is continuing with the pot holing of utilities, onsite construction of the water quality basin as well as the construction of a new water main pipe is continuing this week.

Quantum Academy at Falconer Road

Escondido Elementary School District is continuing with the completion of the new water main to the existing facility.

Latitude II Condominiums by a Lyon Homes Partnership: Washington Avenue at Centre City Parkway

Construction activity has started on the 12" sewer main replacement on site. The contractor is required to install by-pass pumps to allow for the replacement 12" clay sewer main.

Westminster Theological Seminary Graduate Student Housing: Boyle Avenue at Bear Valley Parkway

The contractor is continuing with the installation of dry utility conduits within the project limits.

Talk of the Town

The project is nearing completion; the contractor is working on the punch list. Staff anticipates the release of the project for occupancy by Friday of this week.

Veterans Village

The project submitted traffic control plans and an Encroachment permit for review. The permits are for the construction of the offsite improvement along Escondido Boulevard as well as 15th Avenue.

Tract 877 – Bernardo Ave. by Ambient Communities

No changes from the following reported last week: This is a 13 lot single family residential project located at the cul-de-sac end of Bernardo Ave. The construction of the 16' high sound wall along the freeway is ongoing this week. The developer has not notified the City when the grading operations will resume.

City Manager's **WEEKLY UPDATE** to City Council

Palomar Medical Center

The project engineer has resolved the sewer main conflict and construction has resumed. The replacement of the Emergency Room Access driveway which has been impacted during construction should begin to be replaced this week. All emergency vehicles will be permitted to use the driveway by Thursday of next week.

Rincon Water/Ash Street By-Pas project

A preconstruction meeting was held on Wednesday of this week to discuss the project which is slated to begin during Spring Break next month. The construction zone is along Ash Street between Vista Avenue and Hubbard Avenue.

Rincon Water/Harmony Grove Water Main Upgrade

The contractor is continuing with the construction of a new recycled water main along Harmony Grove Road at Kauana Loa Drive. The project is encountering rock which is limiting installation to 20' a day. There is a daytime closure of the roadway and traffic control which includes detour route signs and electronic message boards in place to assist residences.

CAPITAL IMPROVEMENT PROJECTS

Neighborhood Streetlight Project

This project will add new streetlights to meet current lighting standards and retrofit existing streetlights with LED fixtures at five established communities throughout the City. Pending City Attorney approval of updated Federal specifications, project plans and specifications will be submitted to the City Engineer for review and approval prior to advertising for bids. Staff anticipates advertising for bids in April 2017.

Jim Stone Pool

This project will renovate both existing pools and update pool equipment required to meet current County Health standards. Connection of the mechanical building to the facility sewer lateral is currently underway. Demolition of the existing mechanical building has been pushed back a week to start on April 3, 2017, with reconstruction to be completed by the end of May 2017. Construction to re-plaster the pools is anticipated to begin in early to mid-April and be completed by early June 2017. The contractor is continuing with the installation of the new 6" sewer lateral this week, the connection to the main sewer is set for Wednesday of this week.

POLICE

INCIDENTS:

- On 03/21/17 at 08:30 hours, Detectives from the Family Protection Unit arrested Spicer Conant, a 46-year-old San Marcos resident, for attempting to kidnap 9 females in Escondido over a 10-month period (2 in May 2016 and 7 in March 2017). A search warrant was served at his residence on 03/22/17.

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- On 3/22/17 at 02:17 hours, an ICEOPLEX employee working in the back of the business heard a loud banging sound coming from the main lobby/entrance. The reporting party saw two males hitting the ATM in the front lobby with hammers, and their faces were covered with towels. The suspects forced entry into the business and left with the bottom (cash) portion of the ATM. The suspects possibly fled in a green truck with a camper shell.
- On 03/23/17 at 09:11 hours, an officer received a LoJack hit in the area of Centre City Parkway and Highway 78. The vehicle was located parked at the Transit Center with no occupants. Detectives responded and observed the vehicle. A short time later a male suspect was seen entering the vehicle and drove through the parking lot. Officers converged on the vehicle before it could exit the lot and took the driver into custody without incident for Auto Theft.
- On 03/25/17 at 20:50 hours, officers responded to a radio call of an attempted kidnapping. The 18-year-old victim stated she was walking south on the sidewalk of N. Escondido Blvd from El Norte Pkwy. The victim noticed an older white four door Acura approach from behind. The front seat passenger (suspect) began talking to her. He was described as a Hispanic male adult in his 30's, heavy set, wearing a white long sleeve shirt and dark shorts. The vehicle stopped and the suspect exited the vehicle, grabbed the victim on her right forearm, and attempted to pull her into the car. The victim punched the suspect on the right side of the face with her keys and was able to run away. The victim identified a partial plate of AD2. She was not injured and can identify the suspect.

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