

PLANNING COMMISSION

Agenda Item No.: G.1

Date: May 14, 2013

CASE NUMBER: PHG 13-0008

APPLICANT: Toyota of Escondido

LOCATION: 231 Lincoln Parkway

TYPE OF PROJECT: Modification to a Precise Development Plan

PROJECT DESCRIPTION: A modification to a Precise Development Plan for Toyota of Escondido to remodel the facade of the main showroom building and add a new freestanding entry portal.

STAFF RECOMMENDATION: Approval

GENERAL PLAN DESIGNATION/TIER: GC (General Commercial)

ZONING: PD-C (Planned Development-Commercial)

BACKGROUND/SUMMARY OF ISSUES: The City Council originally approved a Master and Precise Development Plan (2001-50-PD) for the main Toyota auto dealership facility in 2002, and subsequently approved several modifications to the plan to add a multi-story parking structure in 2002 and a separate truck center in 2005. Toyota now is proposing to update the facade of the main auto dealership facility to incorporate current corporate branding elements to include a new freestanding entry portal and exterior metal panel elements.

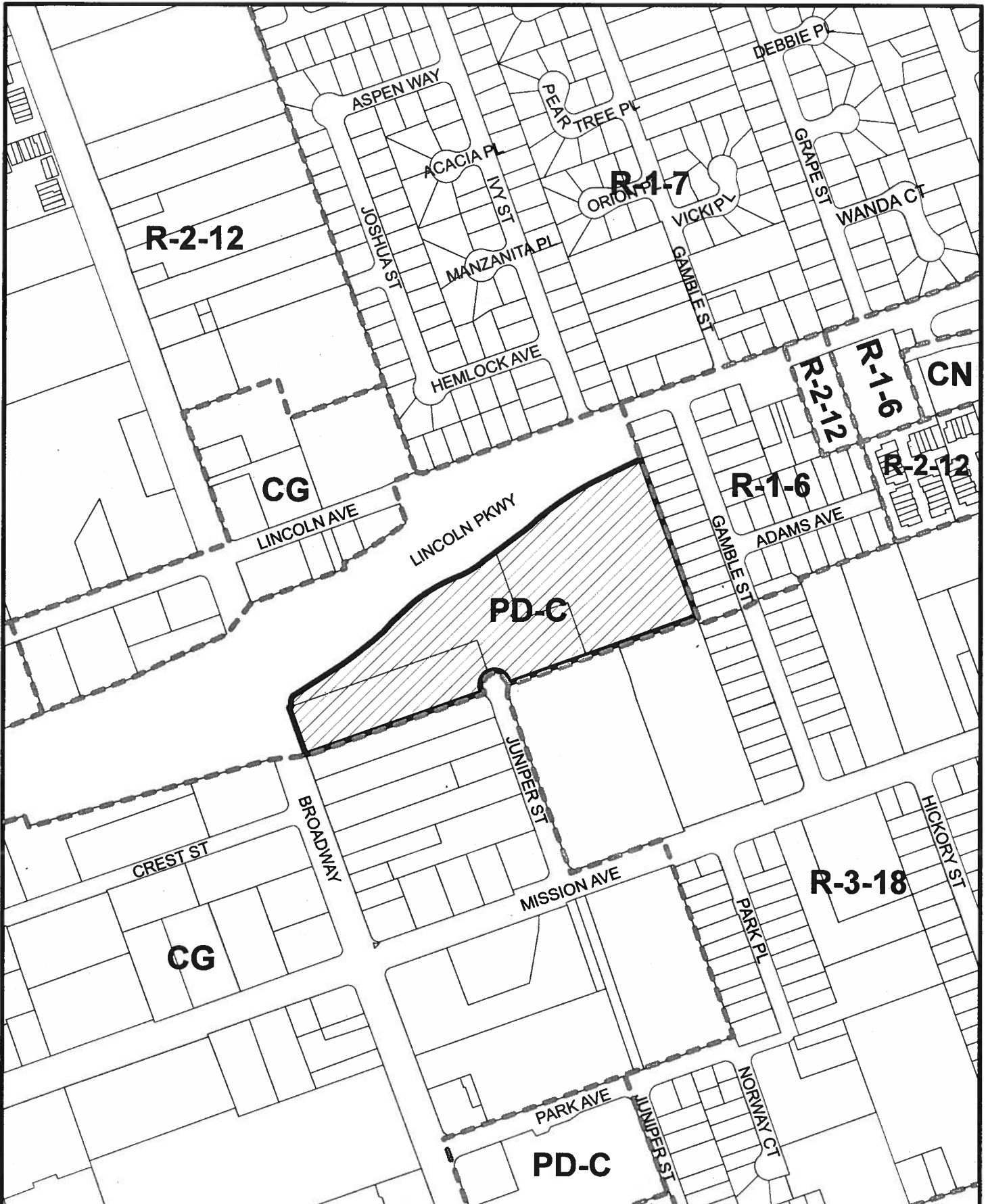
Staff has not identified any issues related to this proposal.

REASONS FOR STAFF RECOMMENDATION:

1. Staff feels the proposed new portal addition and facade modifications are appropriate since they would complement the contemporary design of the existing buildings on the site and also would be compatible with surrounding commercial development.

Respectfully Submitted,


Jay Paul
Associate Planner

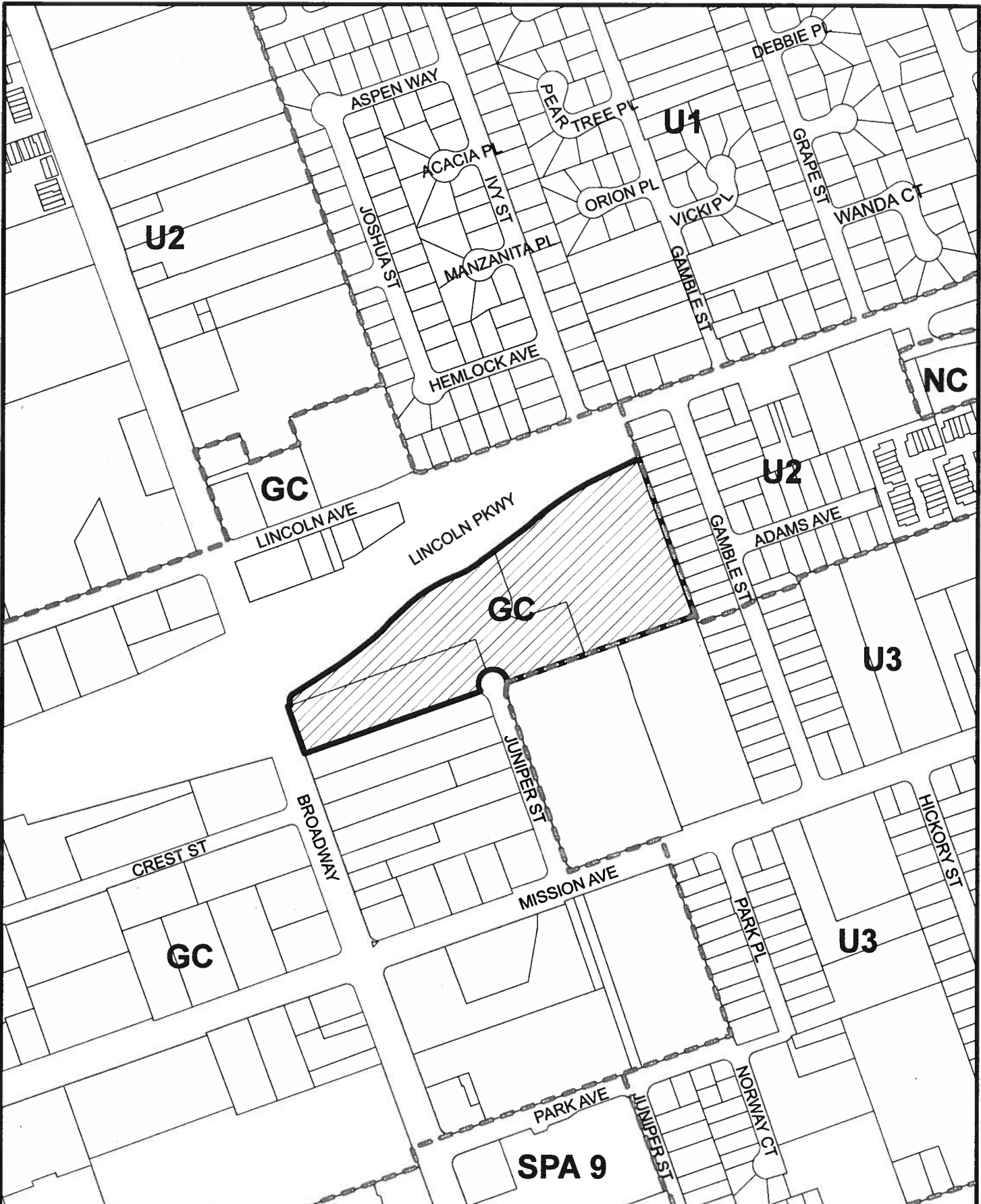


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**PROPOSED PROJECT
PHG 13-0008**



LOCATION/ZONING

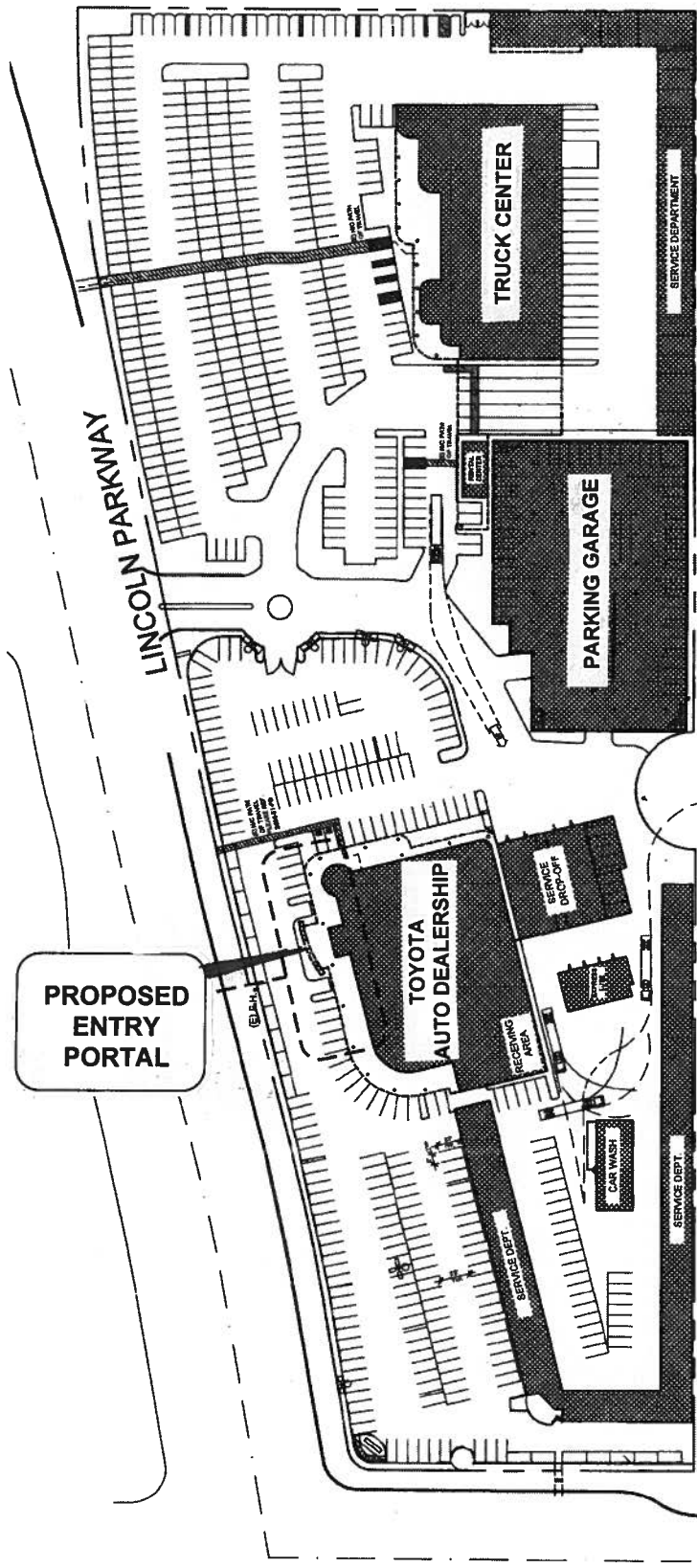


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**PROPOSED PROJECT
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GENERAL PLAN



PROPOSED SITE PLAN

**PROPOSED
ENTRY
PORTAL**

**PROPOSED PROJECT
PHG 13-0008**

NOTE: ALL PROPERTY LINES, EASEMENTS AND BUILDINGS ARE EXISTING REFER TO EXISTING PLANS FOR REFERENCES.



SITE PLAN

**PROPOSED
ENTRY
PORTAL**

AREA OF IMPROVEMENTS THIS
PERMIT- NEW PORTAL AND
VEHICLE DELIVERY

EXISTING PARKING LOT

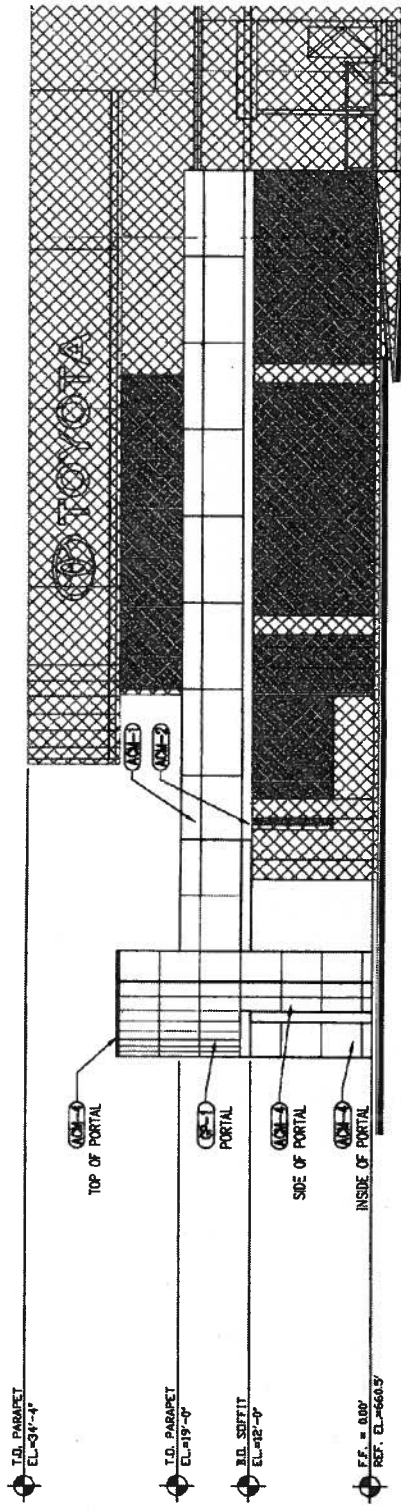


PROPOSED PARTIAL ENLARGED SITE PLAN

**PROPOSED PROJECT
PHG 13-0008**



SITE PLAN



PROPOSED PARTIAL WEST ELEVATION

EXTERIOR FINISH SCHEDULE	
SYM	MANUFACTURE DESCRIPTION
000-1	<p>MANUFACTURED BY: NOVAM STRUCTURES INC.</p> <p>DESCRIPTION: PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL.</p>
001-1	<p>MANUFACTURED BY: NOVAM STRUCTURES INC.</p> <p>DESCRIPTION: PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL.</p>
002-1	<p>MANUFACTURED BY: NOVAM STRUCTURES INC.</p> <p>DESCRIPTION: PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL.</p>
003-1	<p>MANUFACTURED BY: NOVAM STRUCTURES INC.</p> <p>DESCRIPTION: PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL. PORTAL FINISHES BY NOVAM STRUCTURES INC. WITH CHAIN LINK FENCE ATTACHED TO TOP OF PORTAL.</p>

PROPOSED PROJECT
PHG 13-0008



ELEVATIONS

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH - CG zoning (General Commercial) / Auto sales and auto repair uses, offices and single-family residences are located north of the site across Lincoln Parkway.

SOUTH - CG and R-3-18 zoning (General Commercial and Multi-Family Residential-up to 18 du/ac) / Several retail and service uses, and multi-family residential apartments are located south of the site.

EAST - R-1-6 zoning (Single-Family Residential – 6,000 SF min. lot size) / Single-family residences on lots of approximately 6,750 SF in size are located east of the Truck Center building.

WEST - CG zoning (General Commercial) / Auto repair and a park-and-ride lot are located west across Broadway.

B. ENVIRONMENTAL STATUS

1. In accordance with CEQA Section 15301 (Minor Alteration of Existing Facilities) the proposed project is exempt from environmental review.

C. GENERAL PLAN ANALYSIS:

The General Plan land use designation for the site is General Commercial, which allows a broad range of retail and service activities, including auto sales and service. The existing automobile dealership and proposed modifications to the building would be consistent with the General Commercial designation.

D. PROJECT ANALYSIS

Appropriateness of the Proposed Building Modifications

Toyota of Escondido Toyota is requesting to modify the exterior design of the main dealership building to include installation of a freestanding entry portal element in front of the existing main entry to the auto dealership building. The approximately 26-foot-high architectural element would be attached to the lower parapet element of the main building and would be clad in white metal panels, with black trim along the top of the parapet and a red metal accent band along the lower edge of the entry. Silver metal panels would be applied to the lower horizontal parapet feature of the existing building and the red metal access band would be installed along the lower edge of the parapet. The existing dealership building is painted white with a narrow red accent horizontal reveal, which would remain the same. The existing entry along the eastern elevation of the building also is proposed to be clad in the new white metal panels. The existing 'Toyota' logo and channel letter sign along the north elevation and 'Scion' sign along the western elevation would be removed and replaced with new signage on the entry portal and lower front building parapet.

Up to ten of the vehicle display/parking spaces in front of the entrance would be removed to accommodate the new architectural feature. New landscape finger islands would be installed at either end of the remaining parking spaces. There are sufficient parking spaces on site to accommodate the proposed facility and building modifications since the existing three-story parking garage provides an excess of available spaces. Therefore, staff feels the proposed new facade improvements would be appropriate for the site and in character with the contemporary architecture of the existing buildings and surrounding commercial development.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The site consists of three parcels totaling approximately 11.7 acres and contains a multi-story Toyota auto dealership, parking garage and separate truck center sales building. The site is bounded by Broadway on the west and Lincoln Parkway on the north. Access is provided by a signalized driveway from Lincoln. Additional access is provided from N. Juniper on the south to the parking structure. There is no native vegetation or sensitive resources located on the site.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: 11.7 acres
 - Existing Toyota Dealership 6.6 acres
 - Existing Toyota Truck Center: 5.1 acres

2. Building Size:
 - Main Building: 48,285 SF (1st Floor 29,947 SF, 2nd Floor 18,338 SF)
 - Service Buildings: 23,878 SF (Main Bldg., Oil Change Bldg., Detail/Wash Bldg.)
 - Truck Center: 28,062 SF (1st Floor 22,160 SF, 2nd Floor 5,902 SF)
 - Car Rental Building: 747 SF

3. Proposed Portal Addition: 3'-4" W x 48' L x 26' H

4. Building Height:
 - Main Toyota Dealership: 33.5 feet
 - Service Building: 20.5 feet

 - Truck Center Building: 30 feet
 - Service Building: 24 feet (south elevation) and 17'4" (east elevation)

 - Parking Garage: 37 feet top of roof, 30 top of parapet

5. Building Colors and Materials: Existing white stucco exterior walls, red accent fascia banding, glass storefront windows and doors.

6. Parking:

The proposed improvements do not affect any existing parking or trigger any additional parking requirements. The proposed portal would remove approx. ten existing spaces used for vehicle display.

 - Main Dealership and Parking Garage: 175 required spaces per parking code and PD conditions – 185 spaces provided plus an additional 113 spaces located in the off-site Crest Avenue lot)

 - Truck Center: 125 required per parking code and PD conditions - 125 on-site spaces provided through a combination of 95 surface spaces and write-up waiting area spaces, plus available spaces within the parking garage.

 - Parking/Storage Garage: 392 total spaces are provided for employee parking and vehicle inventory in the three-story parking garage.

7. Landscaping: The project site is currently landscaped. No new landscaping is proposed except for the new parking finger islands at the new front entry.

8. Signage: Existing Toyota channel letter and logo above entrance to be removed and a new Toyota channel letter sign and logo to be installed on entry portal along with one 'Escondido' channel letter sign. The existing channel letter 'Scion' sign along the western elevation to be removed and replaced with a painted 'Scion' sign along the northern elevation.

Previous Case Files:

- 2005-51-PD Modification to a Master and Precise Development Plan for the construction of a new truck center on the 5.1 acre vacant portion of the site east of the main dealership, and additional modifications to the existing Toyota dealership to include a 6,380 SF second-story addition above the service entrance, four new service writer booths and a new 747 SF car rental office.
- 2002-43-PD Modification to the Master and Precise Development Plan to construct a three-story, 111,000 SF parking garage with approx. 392 spaces for employees and inventory. Access to the parking structure is provided by a gated entrance from Juniper Street cul-de-sac.
- 2001-50-PD Master and Precise Development Plan to construct a Toyota Dealership consisting of approx. 6,734 SF of sales and service buildings, and a 15-foot-high electronic message sign. Additional wall signage also was approved through the PD process.

EXHIBIT "A"

FINDINGS OF FACT PHG 13-0008

Precise Plan Modification

1. The location and design of the proposed development is consistent with the goals and policies of the Escondido General Plan which specifically states that automobile sales and service is an appropriate use within the General Commercial designation.
2. The proposed development will be well integrated with its surrounding since the proposal involves a remodel of the exterior of the auto dealership which would be compatible with the existing contemporary architecture of the dealership complex. The proposed exterior modifications also would be compatible with the other auto dealerships located throughout the immediate area. The project will not be visually obstructive or disharmonious with surrounding areas, or harm major views from adjacent properties, since the auto dealership building is existing and adjacent to other commercial uses. The overall design of the proposed addition produces an attractive and efficient business environment that utilizes quality building materials and adequate on-site parking.
3. The proposed Precise Plan modification shall have a beneficial effect by providing services needed/requested by city residents and the business community.
4. In accordance with CEQA Section 15301 (Minor Alteration of Existing Facilities) the proposed project is exempt from environmental review. The project would not result in any adverse impacts to the environment and the site does not contain any sensitive or protected habitat onsite or on any adjacent parcels.

EXHIBIT "B"

CONDITIONS OF APPROVAL

PHG 13-0008

General

1. This development shall be subject to all conditions of the original Toyota of Escondido Master and Previsé Development Plan (2001-50-PD) and any subsequent modifications to the Master and Precise Development Plan (2002-43-PD and 2005-51-PD) approved for the project/site, unless specifically modified herein.
2. The developer shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits are issued, including any applicable City Wide Facilities fees.
3. All construction and grading shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Engineering Department, Building Division, and Fire Department. Fire sprinklers may be required, as determined by the Fire Department.
4. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
5. All exterior lighting shall conform to the requirements of Article 35, Outdoor Lighting (Ordinance No. 86-75).
6. Parking for the two auto center on the site shall be as required in the previous Master and Precise Plan approvals. Parking for disabled persons shall be provided/maintained (including "Van Accessible" spaces) in full compliance with chapter 2-71, Part 2 of Title 24 of the State Building Code, including signage.
7. Colors, materials and design of the project shall conform to the exhibits and references in the staff report, to the satisfaction of the Planning Division.
8. A separate sign permit and building permit shall be required prior to the installation of any signs. All proposed signage shall be consistent with the and the City of Escondido Sign Ordinance (Ord. 92-47) and details of request for the project.
9. All new utilities shall be underground.
10. All project generated noise shall comply with the City's Noise Ordinance (Ord. 90-08) to the satisfaction of the Planning Division.
11. The City of Escondido hereby notifies the applicant that the County Clerk's Office requires a documentary handling fee of \$50.00 in order to file a Notice of Exemption for the project (environmental determination for the project). In order to file the Notice of Exemption with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Section 15062, the applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the project (the final approval being the hearing date of the Planning Commission or City Council, if applicable) a certified check payable to the "County Clerk" in the amount of \$50.00. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35 day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180 day statute of limitations will apply.



CITY OF ESCONDIDO
 PLANNING DIVISION
 201 NORTH BROADWAY
 ESCONDIDO, CA 92025-2798
 (760) 839-4671

Notice of Exemption

To: San Diego County Recorder's Office
 Attn: Deputy County Clerk
 P.O. Box 121750
 San Diego, CA 92112-1750

From: City of Escondido
 201 North Broadway
 Escondido, CA 92025

Project Title/Case No.: Precise Plan Modification (Case No. PHG 13-0008)

Project Location - Specific: 231 Lincoln Parkway, Escondido California

Project Location - City: Escondido **Project Location - County:** San Diego

Description of Project: A modification to a Precise Development Plan for Toyota of Escondido to remodel the facade of the main showroom building and add a new freestanding entry portal.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project

Name Scott Whitehead, Toyota of Escondido Telephone (760) 796-3821

Address 231 Lincoln Parkway, Escondido, CA 92026

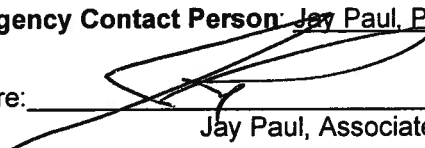
Private entity School district Local public agency State agency Other special district

Exempt Status: Categorical Exemption. Section 15301, "Existing Facilities."

Reasons why project is exempt:

1. In staff's opinion, the request does not have the potential for causing a significant effect on the environment since the auto dealership is an existing facility and the project only involves a minor addition to the main entry to the building and some facade modifications. No new floor area would be added.
2. The site is in an area where all public services and facilities are available to allow for the proposed use.
3. The project site is not in an area that is environmentally sensitive.
4. The project would not create any significant increase in vehicle trips, nor impact vehicular circulation on or around the site. Appropriate parking would be provided to serve the proposed use. The project would not result in the destruction of desirable natural features, nor be visibly obtrusive or disharmonious with surrounding areas.

Lead Agency Contact Person: Jay Paul, Planning Division Area Code/Telephone/Extension (760) 839-4537

Signature: 
 Jay Paul, Associate Planner

May 8, 2013
 Date

Signed by Lead Agency

Date received for filing at OPR: N/A