

PLANNING COMMISSION

Agenda Item No.: 6.1
Date: June 22, 2010

CASE NUMBER: PHG 10-0008

APPLICANT: Peg Lion LLC, Bill Engle

LOCATION: An approximately 0.76-acre parcel located within a larger shopping center (Sports Authority Center) on the northwestern corner of West Valley Parkway and Ninth Avenue, addressed as 1366 W. Valley Parkway (APN 232-542-41).

TYPE OF PROJECT: Modification to a Master and Precise Development Plan

PROJECT DESCRIPTION: Modification to a previously approved Master and Precise Development Plan to convert an existing 5,014 SF freestanding retail building to a 2,832 SF El Pollo Loco restaurant with a drive-through. The project also includes a sign program for the new restaurant including up to 100 SF of wall signage.

STAFF RECOMMENDATION: Approval

GENERAL PLAN DESIGNATION/TIER: Planned Commercial; Tier 1- Vineyard subarea

ZONING: PD-C (Planned Development-Commercial)

BACKGROUND/SUMMARY OF ISSUES:

The proposed project includes a modification to the previously approved Master and Precise Development Plan for the commercial center to convert an existing retail building into an El Pollo Loco restaurant with a drive-through facility. In order to accommodate the drive-through lane, 13 parking spaces (along the western and northern sides of the building) would be removed and the southern and eastern walls of the building moved further inwards to provide sufficient area for the drive-through lane. Relocation of the exterior walls would reduce the enclosed floor area of the freestanding building from 5,014 SF to 2,832 SF. However, the exterior columns, tower features and roof area and other architectural features would remain in place. The project also includes a request to allow four wall signs (one on each elevation) up to a maximum of 100 SF total wall signage based on the existing square footage of the building rather than the modified floor area of the building.

Staff feels the issues are as follows:

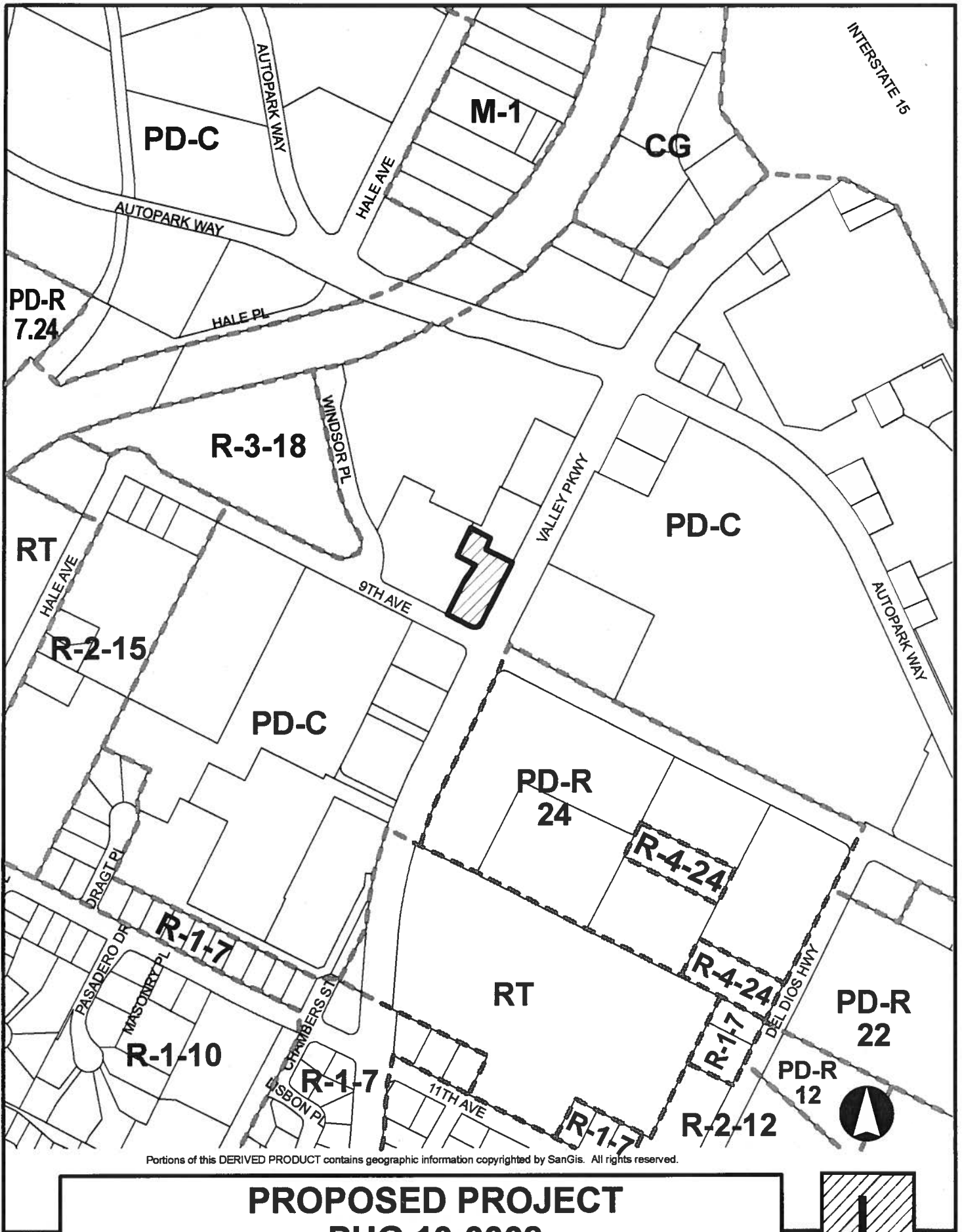
1. Whether adequate parking spaces will exist in the shopping center after 13 parking spaces are removed to accommodate the drive-through lane.
2. The appropriateness of the proposed design of the modified building and amount of signage requested.

REASONS FOR STAFF RECOMMENDATION:

1. The previous modifications to the project site and parking lot currently provides a total of 681 parking spaces, 11 more than required. Although the project would remove up to 13 parking spaces, the reduction in floor area of the building would require less parking spaces. Therefore, there still would be a surplus of 9 parking spaces available throughout the center with the development of this project.
2. The proposed design of the new restaurant would be consistent with the design theme throughout the center and also would utilize the same color scheme and exterior materials. Staff feels the proposed signage (including wall signage) would be appropriate for the mass and scale of the building, and also would be in conformance with the City's Sign Ordinance.

Respectfully submitted,


Jay Paul
Associate Planner

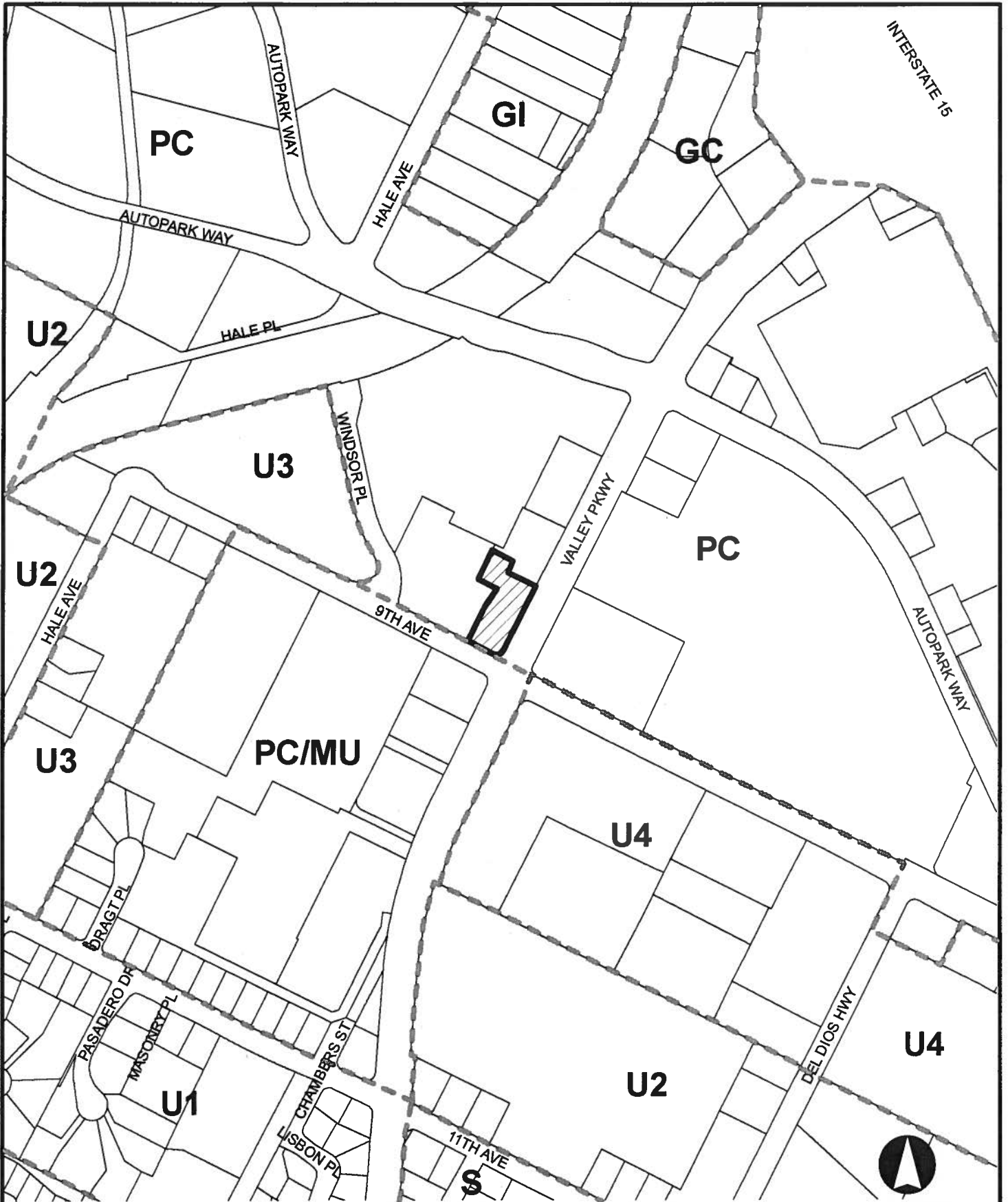


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**PROPOSED PROJECT
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LOCATION/ZONING

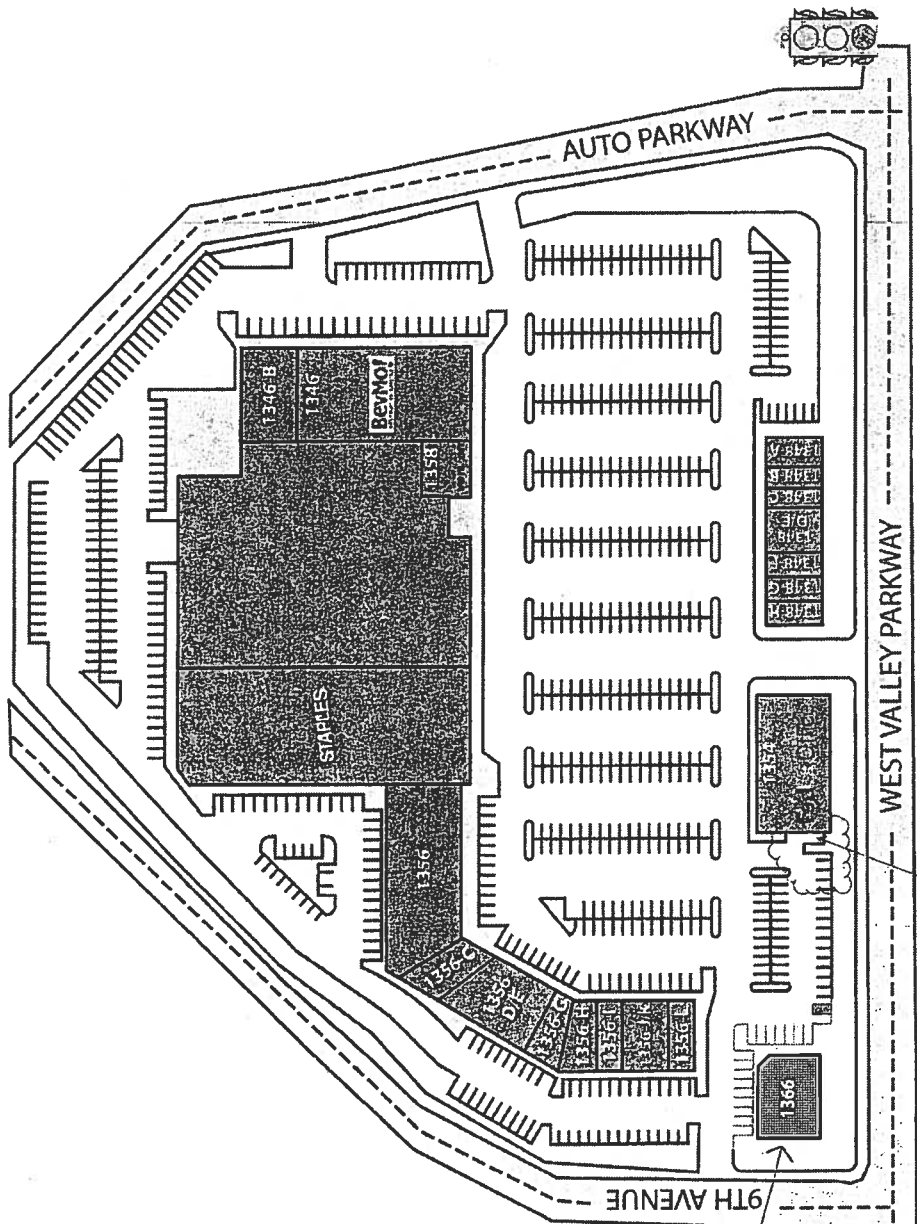


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**PROPOSED PROJECT
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GENERAL PLAN



EXISTING TRASH ENCLOSURE
 TO BE ENLARGED FOR (2)
 TWO ADDITIONAL 6-8 CO.
 10. TRASH BINS, 884
 SEPARATIONS, SHT. A1
 FOR INFORMATION.

PROPOSED
 EL/PAVEMENT
 DRIVE TRU
 FOR EXISTING SITE PLAN
 SEE SHEET A-1A.
 FOR PROPOSED SITE PLAN
 SEE SHEET A-1.

**PROPOSED PROJECT
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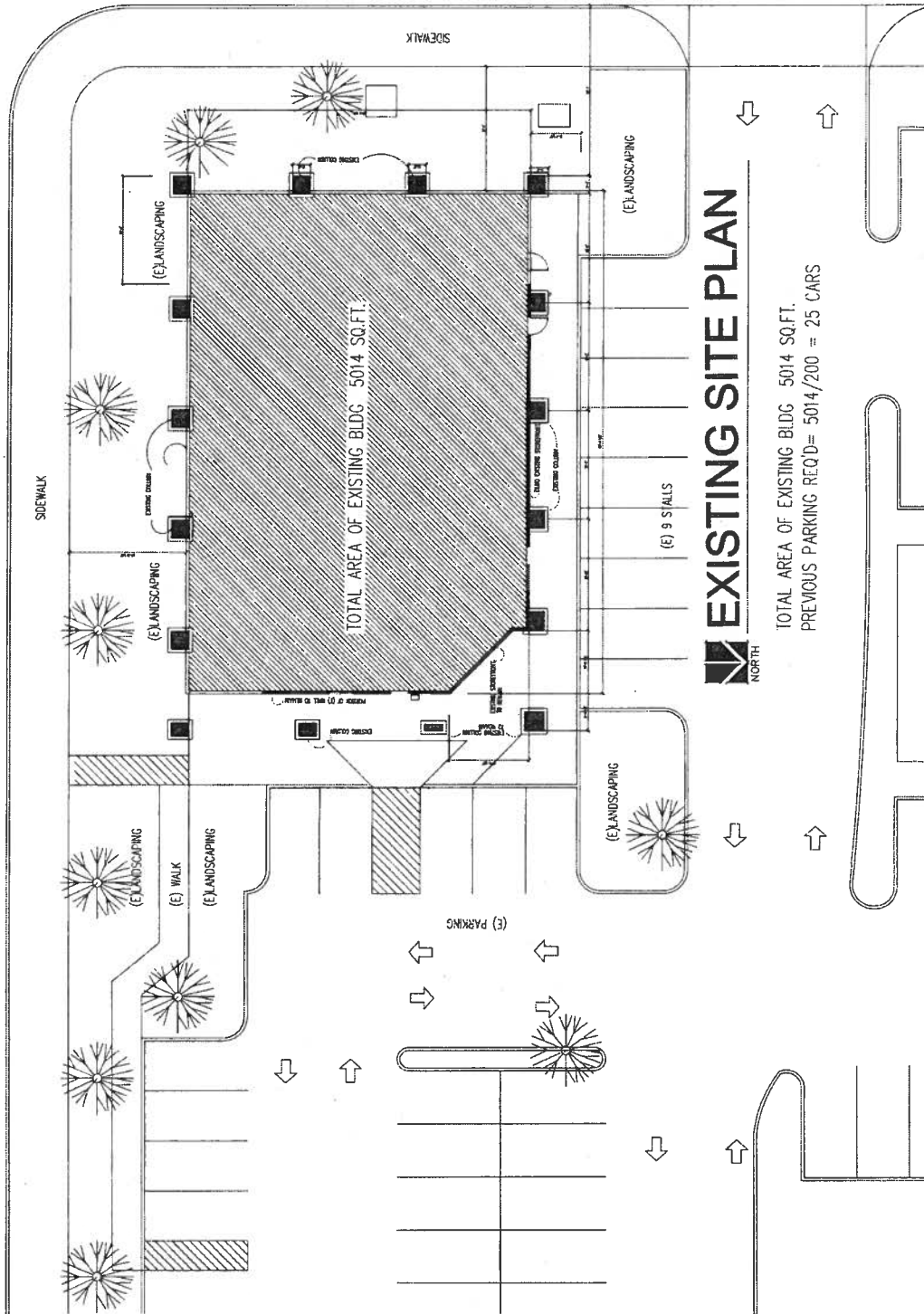
SITE PLAN

OVERALL SHOPPING CENTER PLAN

SCALE: NTS

WEST VALLEY PARKWAY

WEST NINTH AVENUE



EXISTING SITE PLAN

TOTAL AREA OF EXISTING BLDG - 5014 SQ.FT.
PREVIOUS PARKING REQ'D= 5014/200 = 25 CARS

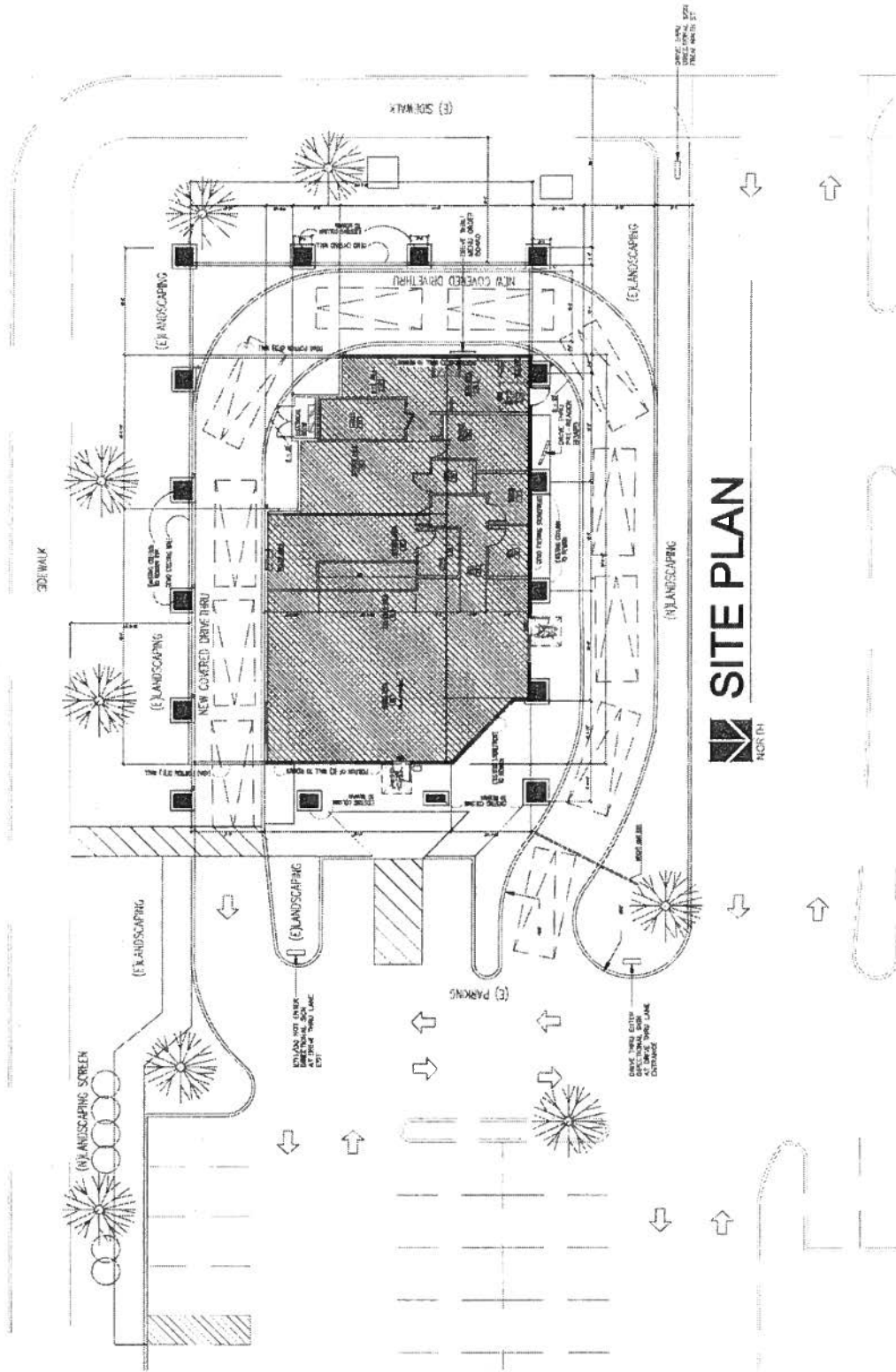
**PROPOSED PROJECT
PHG 10-0008**



SITE PLAN

WEST NINTH AVENUE

WEST VALLEY PARKWAY

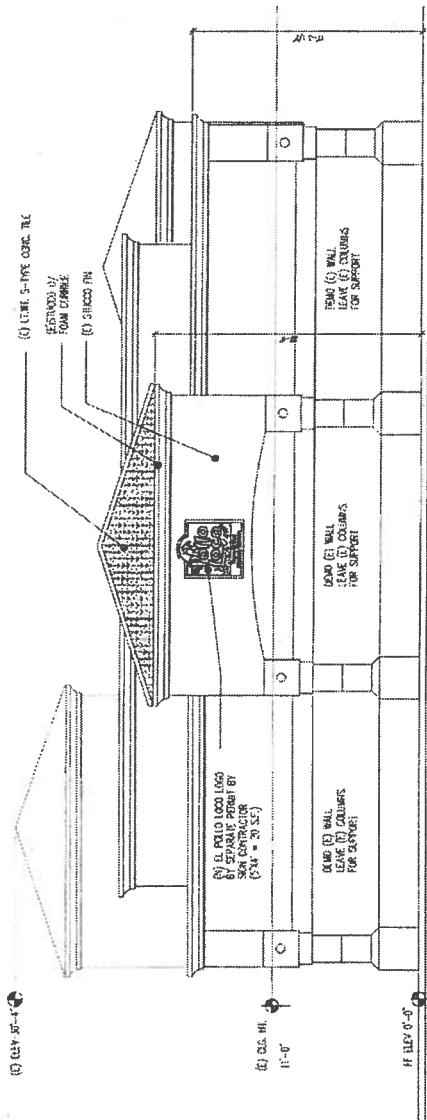


 **SITE PLAN**
RGR EN

**PROPOSED PROJECT
PHG 10-0008**



SITE PLAN



B SOUTH ELEVATION

SOIL STAMBE EXTERIOR CALCULATION

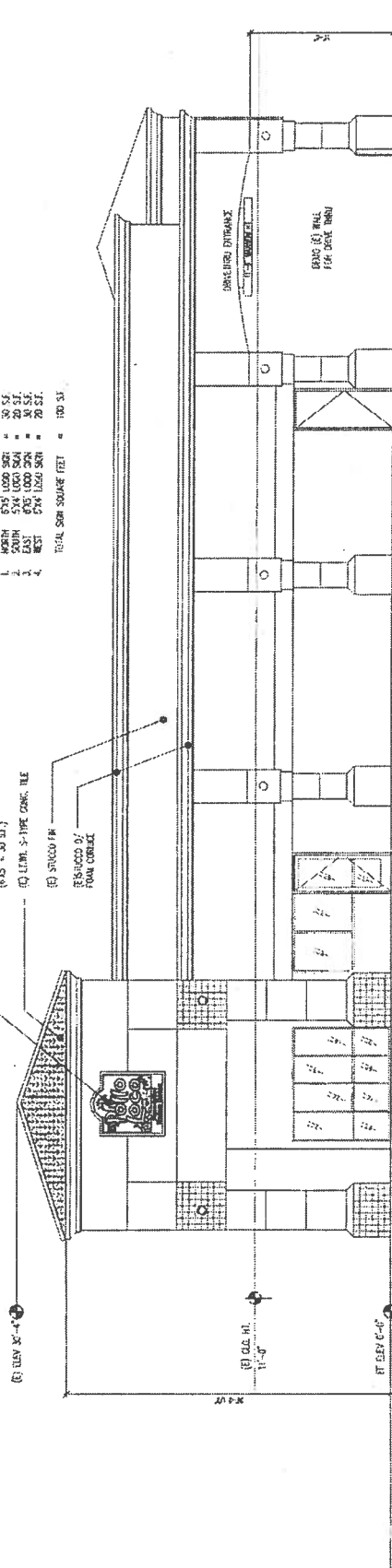
1. NORTH	25% LOAD SUR	=	30 SF
2. EAST	25% LOAD SUR	=	30 SF
3. WEST	25% LOAD SUR	=	30 SF
4. SOUTH	25% LOAD SUR	=	30 SF
TOTAL SOIL STAMBE FEET		=	120 SF

(E) 1/2" POLY LOAD LINDO
BY SEPARATE FORM BY
S&B CONTRACTOR
(2" x 2" x 20 SF)

(E) 1/2" LIME 5-TYPE CONC. TILE

(E) STUCCO FIN

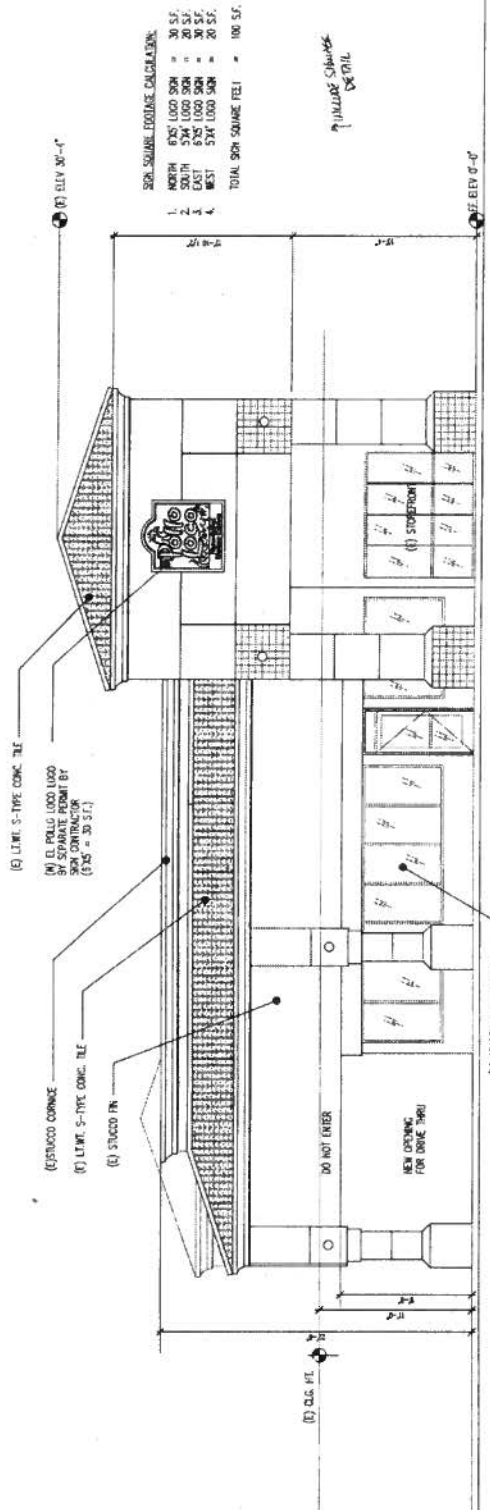
RES-SCD BY
FOAM CONCRETE



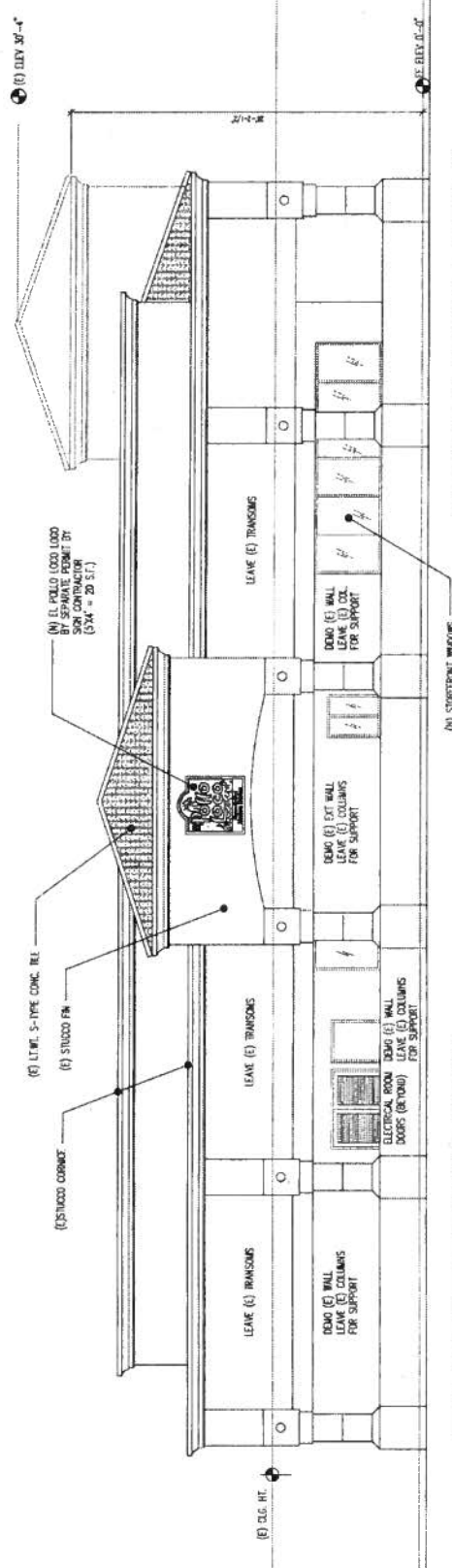
A WEST ELEVATION

**PROPOSED PROJECT
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NORTH ELEVATION



EAST ELEVATION

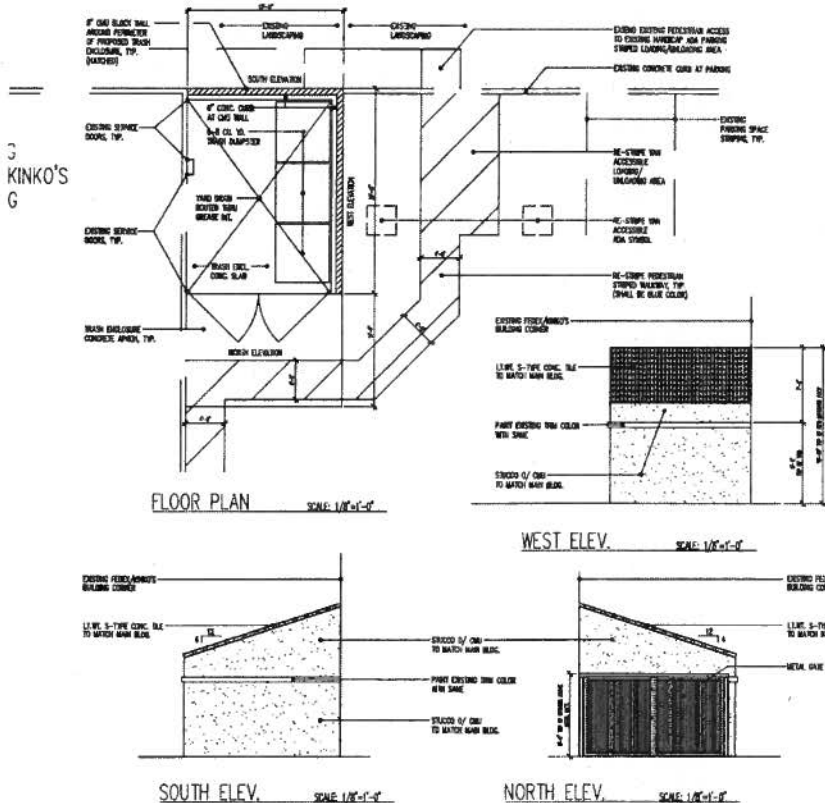
(PRELIMINARY)

NOTE: SQUARE BY SEPARATE PERMIT BY SHI CONTRACTOR.

**PROPOSED PROJECT
PHG 10-0008**



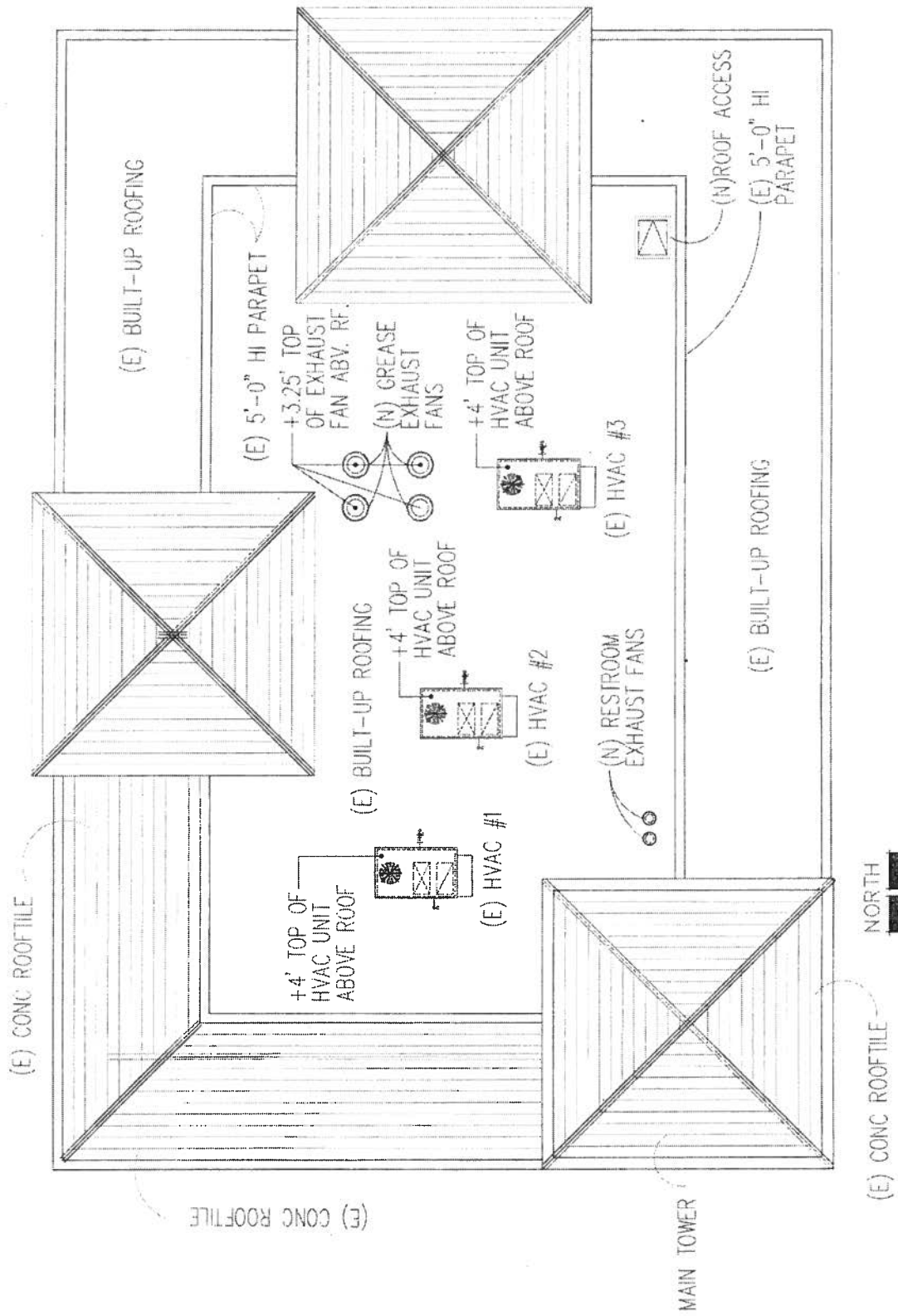
ELEVATIONS



© TRASH/RECYC. ENCL.

**PROPOSED PROJECT
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ROOF PLAN



**PROPOSED PROJECT
PHG 10-0008**



ROOF PLAN



CLEET

PROJECT
 EL POLLO LOCO #XXXX

LOCATION
 VARIOUS

WALL TYPE
 WALL SIGNS

ADVERTISER
 CHRISSE GIBSON

DESIGNER
 JEREMY READ

DATE
 08/20/08

STATUS
 NOTED

CUSTOMER APPROVAL

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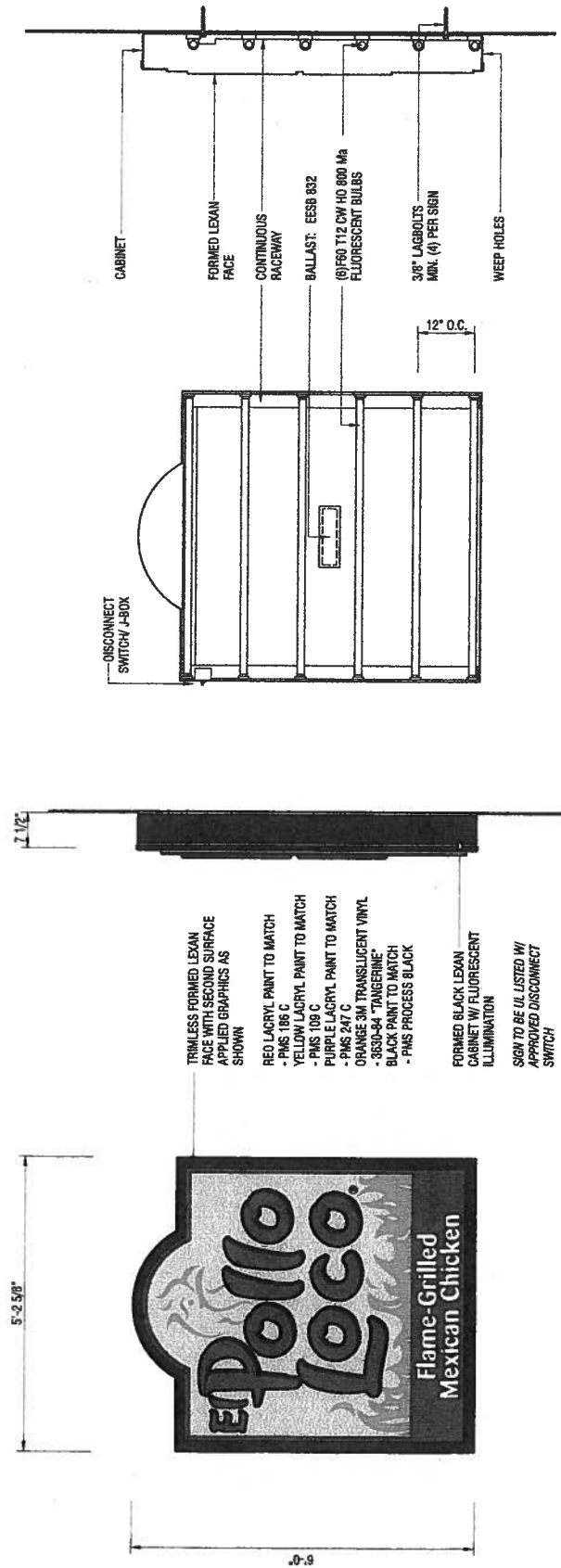
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PROJECT #	305502
REVISIONS	0
DATE	08/20/08
BY	000000

REVISIONS	1	7
	2	8
	3	9
	4	10
	5	11
	6	12

KEY PLAN	B1	B2	B3	B4
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1 of 1



S/F TRIMLESS WALL SIGN @ 37.3 SQUARE FEET
 SCALE: 1/4" = 1'-0"

DRB REVIEWED JUN 10 2010

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH - PD-C zoning (Planned Development Commercial) / A commercial development is located north of the site on the northern side of Auto Park Way.

SOUTH - PD-C zoning (Planned Development Commercial) / A commercial development is located south of the site on the southern side of Ninth Avenue. A multi-family residential apartment complex is located southeast of the project site on the southeastern corner of West Valley Parkway and Ninth Avenue.

EAST - PD-C zoning (Planned Development Commercial) / Del Dios Middle School is located east of the project site on the eastern side of West Valley Parkway. The school's recreation fields are located along the street frontage.

WEST - R-3-18 zoning / (Multi-Family Residential, up to 18 du/ac) / A multi-family residential development is located west of the project site on the western side of Windsor Place. A masonry block wall is located around the perimeter of the property adjacent this residential development.

B. ENVIRONMENTAL STATUS

1. The proposal is exempt from the requirements of the California Environmental Quality Act (CEQA) in conformance with Section 15301, Class 1, "Existing Facilities." In staff's opinion, the request does not have the potential for causing a significant effect on the environment

C. AVAILABILITY OF PUBLIC SERVICES

1. Effect on Police Service -- The Police Department expressed no concern regarding the proposed development and their ability to serve the site.

2. Effect on Fire Service -- The Fire Department indicated that adequate services can be provided to the site and the proposed project would not impact levels of service.

3. Traffic -- The existing shopping center fronts onto and takes access from West Valley Parkway, Ninth Avenue and Auto Park Way, which are Circulation Element Streets. The Engineering Department indicated the proposed project would not materially degrade the levels of service of the adjacent streets or intersection, nor require any off-site traffic-related improvements.

4. Utilities – Water and sewer is available from existing mains in the adjoining street or easements. The Engineering Department indicated the project would not result in a significant impact to public services or utilities.

5. Drainage – There are no significant drainage courses within or adjoining the property. Runoff from the project would be directed to the adjoining public street or other drainage facility. There current are storm drain facilities located within the existing public right-of-way. The Engineering Department has determined the project would not materially degrade the levels of service of the existing drainage facilities.

D. GENERAL PLAN ANALYSIS:

The site is located within the Planned Commercial design of the General Plan, which permits a wide variety of commercial uses with this Master Planned center, including restaurants.

E. PROJECT ANALYSIS

Appropriateness of the Proposed Building Modifications

The proposed restaurant would be located in a freestanding building within the larger commercial shopping center. The building previously was used for retail purposes by a single tenant. The El Pollo Loco restaurant is proposing to modify the building in order to accommodate a drive-through lane, which would require removal of several of the parking spaces

around the building and relocation of two of the exterior walls (along the southern and eastern elevations) to accommodate the drive-through lane. Relocation of the exterior walls would reduce the enclosed floor area of the freestanding building from 5,014 SF to 2,832 SF. However, the exterior columns, tower features and roof area would remain in place and the drive-through lane would be located under the existing building roofline along the southern and eastern elevations. The applicant indicated that it is more cost effective to modify the existing building rather than to demo it and construct a new building. The new walls and building would be designed to match the architecture of the existing building, and additional landscaping added adjacent to the western and southern sides of the building. A low screen wall would be constructed around the southern and eastern perimeters of the drive-through lane to provide appropriate visual screening and also to block the headlights of the cars. The existing landscaping along the southern and eastern elevations also would be upgraded to include additional trees and shrubs. The applicant is proposing to share the existing trash enclosure immediately north of the building adjacent to the Kinko's/FedX building. This is a larger enclosure area capable of accommodating several bins, but would be upgraded to conform to current storm water requirements, which includes the addition of a solid roof structure with a concrete tile roof to match the architecture of the existing buildings.

The Design Review Board felt the proposed building modifications, drive-through lane, landscaping and low screen walls were appropriate. The Boardmembers also discussed the proposed color scheme for the building and preferred the building colors to remain the same (which would match the other adjacent buildings and inline shops) rather than altering the colors to match the more muted shades on the Staples and Sports Authority Building. The DRB recommended approval of the project on June 10, 2010, vote 6-1 (Karl Ulle voting no.).

Whether Adequate Parking Spaces will exist in the Shopping Center.

The Master Plan for the shopping center established a parking requirement of 1 space per 200 SF of floor area, a standard parking ratio for a comprehensive shopping center of three acres or more. There currently are 681 parking spaces available throughout the site and a minimum of 670 spaces are required based on the previous approved modifications to the center (Staples and Dow Stereo/Tweeter), and existing uses. In order to accommodate the drive-through lane for the El Pollo Restaurant, up to 13 parking spaces located around the existing building would be removed. The existing square footage of the subject building requires a minimum of 25 parking spaces. However, the floor area of the building would be reduced from 5,014 SF to approximately 2,832 SF, which also reduces the parking requirement to 14 spaces instead of 25. With the reduction in floor area, the minimum number of spaces required for the center from would now be 659. With the loss of 13 parking spaces, there still would be 668 spaces available in the center, which would leave nine excess spaces. Therefore, staff feels that adequate parking spaces will still be provided in the shopping center.

Appropriateness of the Requested Signage

Staff typically applies the current Sign Ordinance requirements when reviewing signage for commercial and planned development projects along with any additional signage standards adopted for the project. The center's sign criteria calls for individual channel letters to be used and generally restricts the amount of wall signs to a maximum of two for individual suites provided the total square footage does not exceed the City's requirements of 1 SF of signage per 50 SF of building area. However, deviations from the criteria are allowed when approved by the City and landlord, and the sign program also allows certain tenants to use their 'usual' recognized signage installed on similar buildings throughout California. El Pollo Loco typically installs a shaped can type logo sign and/or combination of the logo sign and channel letters on their buildings. The applicant is requesting up to four wall signs (one on each building elevation) and for the allowable wall signage (1 SF per 50 SF of building area) to be based on the existing 5,014 SF building area which would allow up to 100 SF of wall signage. The modified interior floor area of 2,832 SF only would allow up to 56 SF of wall signage. The applicant feels that although the floor area of the building is being reduced to accommodate the drive-through lane, the overall size of the exterior of the building and roof area would remain the same, and the size of the signs would be designed to fit into the existing tower structures.

The Design Review Board considered the request and felt the can type logo signs would be appropriate for this building and in scale with the exterior wall dimensions, and the size of the wall signs (up to 100 SF in total area) also would be appropriate for the size of the building and recommended approval of the request. Staff also feels the requested number and size of the signs would be appropriate since the restaurant would utilize the entire freestanding building rather than just a single suite in one of the inline shops or only a portion of the building. The center's sign program does not specifically address drive-through restaurants and their related signage, which includes directional signs and menu boards. Therefore, the project would be subject to the City's Sign Ordinance, which allows drive-through restaurants to install up to two menu signs (up to 32 SF in area and 6 feet in height), along with various smaller directional/information type signs. The proposed restaurant is proposing to install two menu type signs along the drive-through lane and three directional signs, which would be consistent with other drive-through restaurants throughout the City and similar to the existing El Pollo Loco restaurant located along East Valley Parkway.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The site is relatively flat and completely developed with an existing commercial center, parking and ornamental landscaping. The center front fronts onto and takes access from W. Valley Parkway, Ninth Avenue and Auto Park Way, which are Circulation Element Streets. The subject building/pad is located a couple of feet above Ninth Avenue and West Valley Parkway.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: 0.76 acres within larger 11.3-acre commercial center (Old Home Depot Center)
2. Building Size:
Existing: 5,014 SF (floor area)
Proposed: 2,832 SF (floor area) Roof area to remain the same.
3. Building Height: 30'-4" top of tallest tower feature (existing, no change proposed)
22'-6" top of parapet (existing, no change proposed)
4. Exterior Materials: Stucco exterior with varied rooflines and towers; decorative stucco cornice features; tile accents on columns and column base; S-type concrete tile roof; glass storefront doors and windows.
5. Building Colors: Exterior stucco painted white, yellow and beige/tan. The new drive-through screen wall conditioned to be painted white. Accent tiles brown/red tone and light tan. S-type tile roof orange/red.
6. Signage: Four individual can-type walls signs up to 100 SF total wall sign area per 5,014 SF building. The new El Pollo Loco logo type can sign is proposed which includes two, 6' x 5' signs (30 SF each) and two, 5' x 4' signs (20 SF each). Wall signs to be located on existing tower features.

Three directional signs up to 2 SF in area and not to exceed 3 feet in height per City's Sign Ordinance. One along the Ninth Avenue entrance, one at the drive-through entrance and one at the drive-through exit.

Two Menu Boards to include one pre-reader board and one menu board. Menu boards not to exceed 32 SF max, and 6 feet in height per Escondido Sign Ordinance.
7. Hours of Operation: Typ. 10:00 a.m. – 10:00 p.m. However, hours may vary as required by the applicant.
8. Landscaping: Existing planter areas to be modified to accommodate building improvements. New planter area to be provided along the western drive-through isle to provide separation from adjacent drive aisle. Additional specimen sized trees to be added to the eastern and southern elevations.

Proposed

Per Approved Master Plan

- | | | |
|-------------|--|--|
| 9. Parking: | 668 (681 existing minus 13 to be removed by applicant)

Surplus of 9 spaces still provided | 659 required based on current building area, uses and reduction in the El Pollo floor area from 5,014 SF to 2,832 SF
1 space per 200 SF floor area with 7,790 SF of Staples area utilized for storage, at a ratio of 1 space per 600 SF |
|-------------|--|--|

EXHIBIT "A"
FINDINGS OF FACT
PHG 10-0008

Master and Precise Plan

1. Granting the Modification to the Master and Precise Development Plan to allow a conversion of an existing retail building to a restaurant with a drive-through lane would be in conformance with the City's General Plan land-use designation of Planned Commercial, which permits a wide variety of commercial uses (including restaurants) within the master planned commercial center. The proposed project would be in conformance with General Plan Economic Policies (page II-23) which encourage economic activities that are clean and nonpolluting to expand or locate in Escondido; provide additional employment opportunities; reduce the need for Escondido resident to commute out of the area; will maintain the City's fiscal stability; and are aesthetically superior. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided to the site.
2. The proposed location of the new restaurant would be well integrated with its surroundings and would not result in a substantial alteration of the present or planned land use since the property is developed with a commercial center that includes other restaurants. The project design, architecture and colors and landscaping are consistent with the center's overall design theme and other buildings within the center. Upgraded landscaping will be provided along the southern and eastern perimeter of the site to provide additional visual relief.
3. The proposed facility would be adequately served by existing public facilities since City sewer and water service is available from existing mains in the adjacent streets or easements, and the project would not adversely impacts these facilities nor require significant upgrades to the existing infrastructure.
4. The overall design of the proposed conversion of the existing building to a restaurant with a drive-through lane produces an attractive efficient and stable environment for shopping or working, and the design of the project would be consistent with the previously approved Master Plan. The project has been considered in relationship to its effect on the community, and the request would be in compliance with the General Plan Policies and would not result in a negative impact to the adjacent neighborhood for the reasons stated above and detailed in the Planning Commission staff report.
5. The proposal is exempt from the requirements of the California Environmental Quality Act (CEQA) in conformance with Section 15301, "Existing Facilities" and a Notice of Exemption was prepared for the proposed project. In staff's opinion, the request does not have the potential for causing a significant effect on the environment due to the project's design and conformance with the commercial zoning designation and standards established for the site.

EXHIBIT "B"

CONDITIONS OF APPROVAL PHG 10-0008

General

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Director of Building, and the Fire Chief.
2. Access for use of heavy fire fighting equipment as required by the Fire Chief shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshal.
3. Appropriate access shall be provided to the project site, to the satisfaction of the Fire Department.
4. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
5. All requirements of the Public Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program
6. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Planning and Building.
7. The development shall be subject to all conditions of the previously approved Master and Precise Development Plans for the center, except as modified herein.
8. All new utilities and utility runs shall be underground.
9. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75). All lighting shall contain appropriate shielding to prevent potential light or glare from spilling onto adjacent properties or negatively affecting vehicles traveling along the adjacent roadways.
10. A minimum of 668 parking spaces shall be provided in conjunction with this development. Parking shall be provided at a ratio of 1 space per 200 SF for the interior floor area of the existing buildings, and one space per 600 SF for the warehouse/storage area of the Staples Building per previously approved Planned Development Modifications (City File Nos. 99-49-PD and 2004-34-PD). Said parking spaces shall be striped and dimensioned per City standards. The striping shall be drawn on the plan or a note shall be included on the plan indicating the intent to stripe per City standards. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with Chapter 2-71, Part 2 of Title 24 of the State Building Code, including signage
11. As proposed, the design, colors and materials of the proposed facility shall be in accordance with the staff report, exhibits and the project's Details of Request, including the following to the satisfaction of the Planning Division.
 - a. The proposed low screen wall shall be continuous along the southern and eastern elevations of the drive-through lane and shall be of sufficient height to screen vehicle lights from shining onto the adjacent roadways (Ninth Avenue and West Valley Parkway). The final design of the lane shall provide appropriate turning radius at the corners, to the satisfaction of the Engineering and Planning Divisions. The low screen wall shall be painted the lightest of the proposed building colors and appropriate landscaping (including a row of shrubs, min. 15 gallon in size) also shall be planted along the southern and eastern drive aisles to further screen the cars in the drive-through lane and soften the views of the screen wall.
 - b. Landscape planter areas shall be installed around the trash enclosure area to provide appropriate screening. This shall be detailed in the landscape plan for the project.

- c. The building plans for the project shall include details regarding the upgrade of the trash enclosure area, including appropriate roof elements designed to conform to the architectural theme of the center. The enclosure shall be designed or modified to conform to current storm water requirements, to the satisfaction of the Engineering Division.
12. All proposed signage associated with the project must comply with the City of Escondido Sign Ordinance (Ord. 92-47) and the exhibits included in the staff report(s), to the satisfaction of the Planning Division. A separate sign permit shall be submitted along with the corresponding application fee. The final sign plan shall be approved by the property owner and the Auto Park Design Committee as required by the approved sign program.
13. All project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
14. The project shall install appropriate fire sprinkler and other necessary systems as required by the Fire Department.
15. Any new rooftop equipment must be fully screened from all public view utilizing materials and colors which match the building(s). The method of screening and cross sections shall be included with the building plans.
16. Five (5) copies of a complete landscape and irrigation plan(s) shall be submitted to the Planning Division prior to issuance of grading or building permits, and shall be equivalent or superior to the concept plan attached as an exhibit to the Planning Division. The plans shall be prepared by, or under the supervision of a licensed landscape architect. The landscape plans shall include the following:
 - a. Additional specimen sized trees (min. 24" box) shall be incorporated into the western and southern elevations of the building. Accent trees shall be incorporated into the landscape planters.
 - b. The drive-through entrance landscape planter shall incorporate appropriate mounding at the entrance.
17. All landscape improvements shall be installed and all vegetation growing in an established, flourishing manner prior to occupancy. All irrigation shall be maintained in fully operational condition.
18. A separate permit shall be required prior to the installation of any signs. The final design of the signs shall be reviewed and approved by the property owner, and Auto Park Design Committee, as may be required by the project's sign program and CC&Rs.
19. The Master and Precise Plan modification shall be null and void if not utilized within twelve months of the effective date of approval, as determined by the Planning Division.
20. This item may be referred back to the Planning Commission upon recommendation of the Director of Community Development for review and possible revocation or modification of the Master and Precise Plan modification upon receipt of nuisance complaints regarding the facility or non-compliance with the Conditions of Approval.
21. A copy of these Conditions of Approval shall be submitted with the submittal of the building plans indicating compliance with all of the Conditions and Details of Request and exhibits contained in the Planning Commission staff report.
22. An inspection by the Planning Division will be required prior to operation of the project. Everything should be installed prior to calling for an inspection, although preliminary inspections may be requested. Contact the project planner at (760) 839-4671 to arrange a final inspection.
23. The City of Escondido hereby notifies the applicant that the County Clerk's Office requires a documentary handling fee of \$50.00 in order to file a Notice of Exemption for the project (environmental determination for the project). The applicant shall remit to the City of Escondido Planning Division, within two working days of the final approval of the project (the final approval being the hearing date of the Planning Commission or City Council, if applicable) a check payable to the "San Diego County Clerk" in the amount of \$50.00. In accordance with California Environmental Quality Act (CEQA) section 15062, the filing of a Notice of Exemption and the posting with the County Clerk starts a 35 day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180 day statute of limitations will apply.

ENGINEERING CONDITIONS OF APPROVAL
1366 W. Valley Parkway PHG10-0008

STREET IMPROVEMENTS AND TRAFFIC

1. As surety for the construction of required off-site and/or on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of plans and the issuance of Building Permits.
2. All improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
3. All damaged and broken sidewalk, curb and driveways adjacent to the project on West Valley Parkway and Ninth Ave, shall be removed and replaced in accordance with City standards, and to the satisfaction of the Field Engineering Inspector.
4. Adequate horizontal sight distance shall be provided at the driveway entrance. Increased parkway widths, open space easements, and restrictions on landscaping may be required at the discretion of the City Engineer.
5. Pedestrian access routes shall be provided into the project to the satisfaction of the City Engineer. An engineered improvement plan is required for all public improvements (unless only sidewalks, driveways and/or streetlights are required). The developer shall post security for these improvements and an improvement plan shall be approved by the City of Escondido prior to issuance of any building permits. All required improvements shall be constructed prior to final acceptance of subject construction by the City.

GRADING

1. A site drainage and erosion control plan shall be submitted to and approved by the Engineering Department prior to issuance of building permits.
2. *All private driveways and parking areas shall be paved with a minimum of 3" AC over 6" of AB or 5 1/2" PCC over 6" AB. All paved areas exceeding 15% slope or less than 1.0% shall be paved with PCC.*
3. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
4. Erosion control, including riprap, interim sloping planting, gravel bags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the development of the project.

*All site grading and erosion control plans shall be prepared by a Registered Civil Engineer. A separate submittal to the Engineering Department is required for the site grading and erosion control plans. Plans will **not** be forwarded from the Building Department.*

DRAINAGE

1. A Final Water Quality Technical Report in compliance with City's latest adopted Storm Water Management Requirements shall be prepared and submitted together with the final improvement and grading plans. The Water Quality Technical Report shall include post construction storm water treatment measures and maintenance requirements.
2. All site drainage with emphasis on the parking and drive way areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of landscaped bio-retention basins as the primary method of storm water treatment and to maintain predevelopment run-off flows. The landscape plans will need to reflect these areas of storm water treatment.
3. The site trash enclosure area shall drain toward a landscaped area and include a roof over the enclosure in accordance with the City's Storm Water Management requirements and to the satisfaction of the City Engineer.
4. All on-site storm drains not in public easements are private. The responsibility for maintenance of these storm drains shall be that of the property owner.

WATER SUPPLY

1. Fire hydrants together with an adequate water supply shall be installed at locations approved by the Fire Marshal.

SEWER

1. All on-site sewer mains not in public easements and the sewer laterals to each building will be considered a private sewer system. The property owner will be responsible for all maintenance of these mains and laterals.
2. The sewer lateral for the building shall be 6" PVC minimum with a standard clean-out at the property line.

EASEMENTS AND DEDICATIONS

1. All easements, both private and public, affecting subject property shall be shown and labeled on the drainage plans.

CASH SECURITY AND FEES

1. A cash security or other security satisfactory to the City Engineer shall be posted to pay any costs incurred by the City for cleanup or damage caused by erosion of any type, related to project grading. Any moneys used by the City for cleanup or damage will be drawn from this security. The remaining portion of this cleanup security shall be released upon final acceptance of the grading for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading, drainage, and best management practices items of work with a minimum of

\$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the City Engineer.

2. The developer will be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued.

SURVEYING AND MONUMENTATION

1. A current preliminary title report shall be submitted with the grading/drainage plans.



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
(760) 839-4671

Notice of Exemption

To: San Diego County Recorder's Office
Attn: Linda Kesian
P.O. Box 121750
San Diego, CA 92112-1750

From: City of Escondido
201 North Broadway
Escondido, CA 92025

Project Title/Case No.: PHG 10-0008

Project Location - Specific: An approximately 0.76-acre parcel located within a larger shopping center (Sports Authority Center) on the northwestern corner of West Valley Parkway and Ninth Avenue, addressed as 1366 W. Valley Parkway (APN 232-542-41).

Project Location - City: Escondido, **Project Location - County:** San Diego

Description of Project: Modification to a previously approved Master and Precise Development Plan to convert an existing 5,014 SF freestanding retail building to a 2,832 SF El Pollo Loco restaurant with a drive-through. The project also includes a sign program for the new restaurant including up to 100 SF of wall signage.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name Scott Kavthekar Telephone (562) 631-6274
Address 21042 E. Arrow Highway, #145 Covina, CA 91724

Private entity School district Local public agency State agency Other special district

Exempt Status: Categorical Exemption. Section 15301 "Existing Facilities."

Reasons why project is exempt:

1. The project only involves a modification to the existing commercial building to allow a restaurant with a drive-through lane. The commercial center is developed with a variety of commercial uses, including restaurants. No physical expansion of the site or buildings are proposed.
2. The site is in an area where all public services and facilities are available to allow for the proposed use.
3. The project site is not in an area that is environmentally sensitive, and would have no impact to fish and wildlife.
4. The project would not create any significant increase in vehicle trips, nor impact vehicular circulation on or around the site. Appropriate parking is provided on the site to accommodate all uses. The project is located within a commercial zone and is surrounded by a variety of commercial uses. The project would not generate any significant noise impacts to adjacent uses through the project design and compliance with the project Conditions of Approval. The project would not result in the destruction of desirable natural features, nor be visibly obtrusive or disharmonious with surrounding areas.

Lead Agency Contact Person: Jay Paul, Planning Division Area Code/Telephone/Extension (760) 839-4537

Signature:  June 7, 2010
Jay Paul, Associate Planner Date

Signed by Lead Agency Date received for filing at OPR: N/A