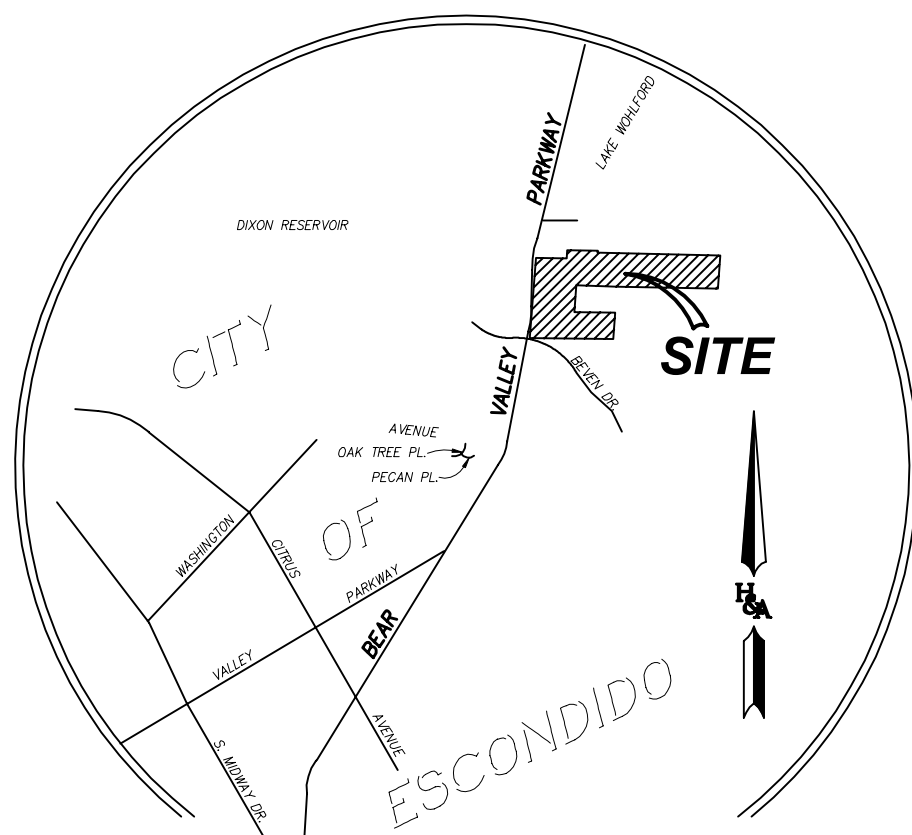


TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN
SUB. NO. 22-0000

NORTHEAST GATEWAY
City of Escondido, California



VICINITY MAP

LEGEND

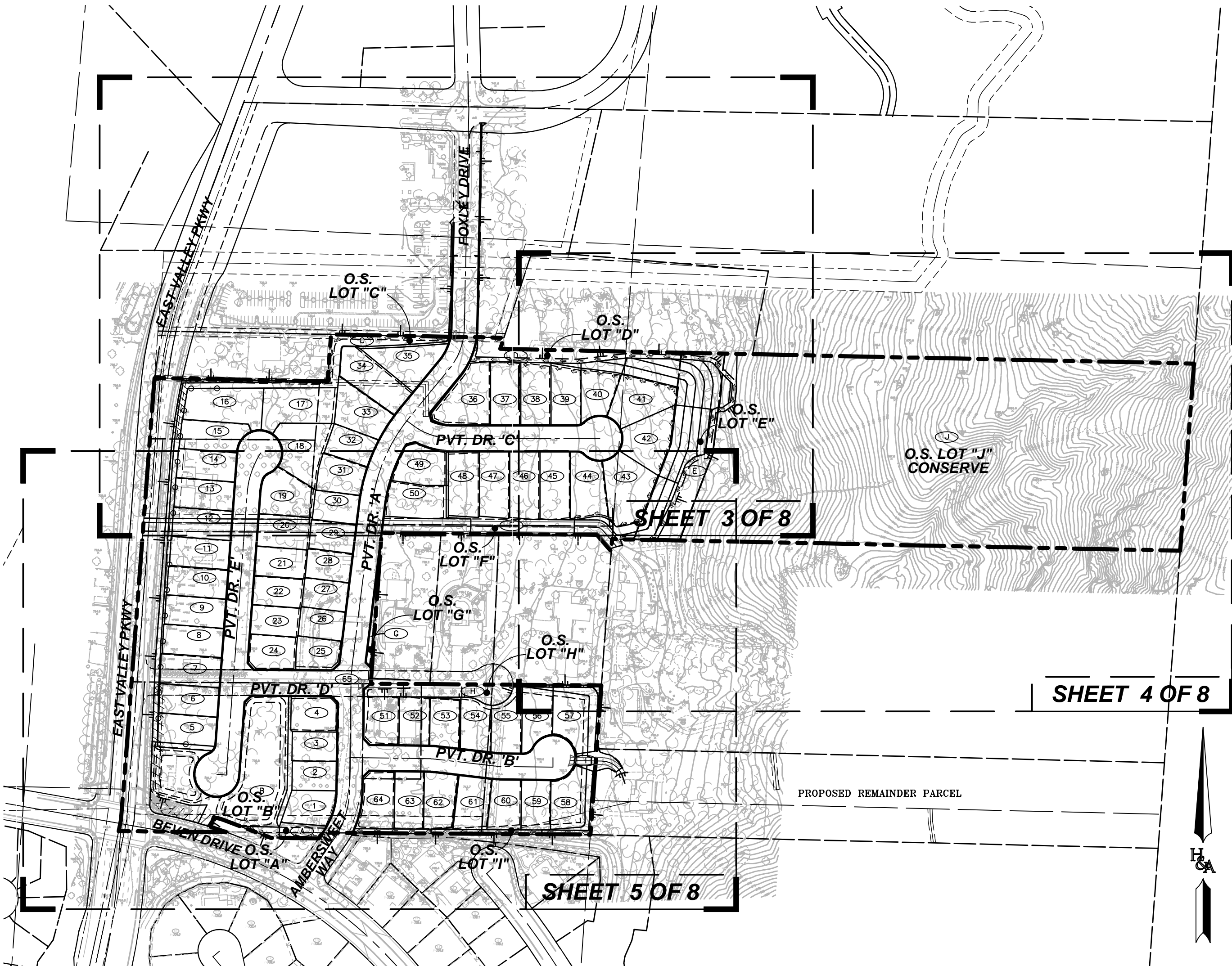
PROJECT BOUNDARY	NTS
LOT NUMBER & PAD ELEVATION	LOT P=PAD
PROPOSED LOT LINE	
PROPOSED EASEMENT LINE	
PROPOSED SEWER MAIN WITH MANHOLE	
EXISTING SEWER MAIN WITH MANHOLE	
PROPOSED WATER MAIN (8" PVC UNLESS OTHERWISE NOTED)	W
EXISTING WATER MAIN	W
PROPOSED FIRE HYDRANT	
EXISTING FIRE HYDRANT	
PROPOSED PVT. ST. LIGHT	
PROPOSED STORM DRAIN SYSTEM	CLEANOUT HEADWALL RIP-RAP CATCH BASIN/INLET 1.27%
% OF GRADE	
PROPOSED CENTERLINE PVT. ST. ELEVATION	602.0
EXISTING CONTOURS	
PROPOSED CONTOURS	600
PROPOSED SLOPE (2:1 MAX.)	
LIMITS OF PROPOSED GRADING/DAYLIGHT	
CUT/FILL LINE	
PROPOSED FUEL MODIFICATION ZONE	
PROPOSED FUEL MODIFICATION ZONE	

ABBREVIATIONS

FL	FLOW LINE	R/W	RIGHT OF WAY
TW	TOP OF WALL	PL	PROPERTY LINE
BW	BOTTOM OF WALL	GB	GRADE BREAK
TF	TOP OF FOOTING	GB	GRADE BREAK
FS	FINISH SURFACE	PI	POINT OF INTERSECTION (V.C.)
S	SEWER	P	PAD ELEVATION
W	WATER	SF	GROSS SQ. FT.
RW	RECLAIMED WATER	NSF	NET SQ. FT.
SD	STORM DRAIN	FP	FLOOD PLAIN
NTS	NOT TO SCALE	VC	VERTICAL CURVE
ELEV	ELEVATION	MH	MANHOLE
IE	INVERT ELEVATION	RCP	REINFORCED CONCRETE PIPE

PUBLIC UTILITIES AND DISTRICTS

WATER.....	CITY OF ESCONDIDO
SEWER.....	CITY OF ESCONDIDO
POLICE.....	CITY OF ESCONDIDO
FIRE.....	CITY OF ESCONDIDO
GAS AND ELECTRICITY.....	SAN DIEGO GAS AND ELECTRIC
HIGH SCHOOL DISTRICT.....	ESCONDIDO UNION HIGH SCHOOL DISTRICT
ELEMENTARY SCHOOL DISTRICT.....	ESCONDIDO UNION ELEMENTARY SCHOOL DISTRICT



PROJECT MAP

N. T. S.

PROJECT SUMMARY

	SQ. FT.	AC.	% OF SITE
GROSS SITE AREA	1,586,621	36.42	100.00%
EXIST. RIGHT-OF-WAY	62,064	1.42	3.9%
RESIDENTIAL LOT AREA	671,677	15.42	42.3%
PRIVATE STREET AREA (STREETS A-E)	208,222	4.78	13.1%
PRIVATE OS AREA LOTS (A-J)	167,785	3.85	10.6%
OPEN SPACE CONSERVE	476,873	10.95	30.1%

OPEN SPACE SUMMARY

OPEN SPACE DESCRIPTION	SQ. FT.	AC.
PRIVATE OPEN SPACE LOTS A through H	167,785	3.85
OPEN SPACE CONSERVE	476,873	10.95
TOTAL	644,658	14.80

LEGAL DESCRIPTION

SEE SHEETS NO. 10-12 FOR LEGAL DESCRIPTION.

EASEMENT NOTES

SEE SHEETS NO. 10-12 FOR EASEMENT INFORMATION.

TOPOGRAPHY

TOPO SOURCE: R.J. LUNG CO., INC.
FLOWN: JANUARY 19, 2022
BENCHMARK: CITY OF ESCONDIDO BM NO. 793 1-1/2" BRASS
DISK STAMPED "COE DM 793" IN TOP OF CURB, S.W. CORNER
OF VALLEY PARKWAY AND BEVEN DRIVE. ELEV. 723.54'
DATUM: NGVD 29

LOTGING SUMMARY

NORTHEAST GATEWAY			
LOT #	GROSS LOT AREA (SQ FT)	GROSS LOT AREA (ACRES)	NET LOT AREA (EXCLUDES PANHANDLE)*
1	8,587		8,587
2	7,004		7,004
3	7,071		7,071
4	8,803		8,803
5	9,194		9,194
6	9,363		9,363
7	9,803		9,803
8	9,467		9,467
9	9,450		9,450
10	9,426		9,426
11	9,340		9,340
12	9,325		9,325
13	9,308		9,308
14	9,280		9,280
15	9,939		9,939
16 *	14,441		14,084
17 *	14,596		13,363
18	13,647		13,647
19	11,423		11,423
20	9,205		9,205
21	8,081		8,081
22	7,889		7,889
23	7,659		7,659
24	8,707		8,707
25	7,466		7,466
26	7,036		7,036
27	7,032		7,032
28	7,078		7,078
29	7,080		7,080
30	7,050		7,050
31	8,300		8,300
32	7,477		7,477
33	11,298		11,298
34	13,075		13,075
35	11,281		11,281
36	14,651		14,651
37	10,283		10,283
38	10,179		10,179
39	10,070		10,070
40	10,883		10,883
41	31,305		31,305
42	25,052		25,052
43	23,193		23,193
44	12,230		12,230
45	11,081		11,081
46	10,920		10,920
47	10,712		10,712
48	10,856		10,856
49	10,372		10,372
50	11,353		11,353
51	9,177		9,177
52	7,985		7,985
53	8,232		8,232
54	8,287		8,287
55	9,311		9,311
56	9,317		9,317
57	13,673		13,673
58	12,330		12,330
59	7,884		7,884
60	8,551		8,551
61	9,513		9,513
62	9,716		9,716
63	9,076		9,076
64	10,364		10,364
RES. SUBTOTAL SF	671,677		670,567
RES. SUBTOTAL AC	15.42		15.39
MAX	31,305		31,305
MIN	7,004		7,004
RES. AVE. LOT SIZE	10,485		10,477
PVT. INTERNAL ST. SF (LOT 65)	208,222	4.78	PVT. STREET LOT
OS LOT "A"	4,678	0.11	HOA SLOPE LOT
OS LOT "B"	59,894	1.37	BASIN LOT
OS LOT "C"	28,374	0.65	HOA SLOPE LOT
OS LOT "D"	13,486	0.31	HOA SLOPE LOT
OS LOT "E"	18,289	0.42	FMZ MAINT. LOT
OS LOT "F"	19,699	0.45	NORMAN DRIVEWAY ACCESS
OS LOT "G"	2,409	0.06	HOA SLOPE LOT
OS LOT "H"	11,144	0.26	FUTURE STREET LOT
OS LOT "I"	9,812	0.23	HOA SLOPE/DRAINAGE LOT
OS SUBTOTAL	167,785	3.85	HOA MAINTAINED CONSERVATION LOT
OS CONSERVE	476,873	10.95	
OS TOTAL	644,658	14.80	
PROPOSED TOTAL SF	1,524,557	-	-
PROPOSED TOTAL AC	35.00	-	-
EAST VALLEY PARK & BEVEN DR	82,064	1.42	EXIST. RIGHT-OF-WAY
TOTAL SITE SF	1,586,621	36.42	EXIST. R.O.W. & PROP. SITE

* PANHANDLE LOTS

GENERAL NOTES

- TOTAL PROJECT GROSS SITE AREA: 36.42 ACRES
- NUMBER OF LOTS: 75
64 SF RESIDENTIAL LOTS (LOTS 1-55)
1 PRIVATE STREET LOT (LOT 65)
9 OPEN SPACE LOTS (LOTS A-I)
1 OPEN SPACE CONSERVE LOT (LOT J)
- NUMBER OF RESIDENTIAL LOTS: 64
- ASSESSOR'S PARCEL NUMBERS: 240-011-01, 240-011-12, 240-011-13, 240-020-23, 240-020-32, 240-020-33 & PORTION OF 240-020-21
- EXISTING GENERAL PLAN LAND USE DESIGNATION: SPA 5: NORTHEAST GATEWAY SPA
PROPOSED GENERAL PLAN LAND USE DESIGNATION: SPA 5: NORTHEAST GATEWAY SPA
- EXISTING ZONING: S-P
PROPOSED ZONING: S-P
- PROJECT GROSS DENSITY: 1.76 DU/AC (64 UNITS/36.42 AC.)
- THOMAS BROTHERS COORDINATES: 1110 F4 & F5
- INDIVIDUAL TRASH PICKUP IS PROPOSED WITH THIS SUBDIVISION.

GENERAL DESIGN NOTES

- ALL PRIVATE STREET DESIGNS, PRIVATE STREET LIGHTS, AND FIRE HYDRANTS SHALL CONFORM TO CITY OF ESCONDIDO DESIGN STANDARDS AND/OR AS APPROVED BY THE CITY ENGINEER.
- EASEMENTS SHALL BE PER CITY ENGINEER AND PUBLIC UTILITIES AND DISTRICTS.
- CONTOUR INTERVALS: 2 AND 10 FOOT
- FINISHED GRADES ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE IN FINAL DESIGN CONSISTENT WITH THE CITY'S SUBSTANTIAL CONFORMANCE POLICY.
- APPROXIMATE RAW GRADING QUANTITIES
RAW CUT: 72,600 C.Y.
RAW FILL: 72,600 C.Y.
RAW QUANTITIES SHOWN DO NOT INCLUDE THE EFFECTS OF REMEDIAL GRADING. THE PROJECT BALANCES ONSITE AFTER TAKING SHRINKAGE AND BULKING INTO CONSIDERATION BASED ON INFORMATION PROVIDED BY SOILS ENGINEER.
- SOILS REPORT PREPARED BY GEOCON INC. DATED OCTOBER 2021
- CUT AND FILL SLOPES SHALL NOT EXCEED 2:1.
- ALL PROPOSED LOTS SHALL BE ON A SANITARY SEWER SYSTEM.
- ALL PROPOSED SEWER AND WATER IMPROVEMENTS SHOWN ON THIS MAP SHALL BE PUBLIC WITHIN THE PROJECT BOUNDARY AND PUBLIC OUTSIDE OF THE BOUNDARY.
- THIS PROJECT IS A "MULTIPLE PHASE" SUBDIVISION. IT IS THE INTENT THAT MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT. THE FINAL MAP MAY CONSIST OF ONE OR MORE MULTIPLE LOTS AS SHOWN ON THIS TENTATIVE MAP.

OWNER'S CERTIFICATE

I (WE) HEREBY CERTIFY THAT I (WE) AM (ARE) THE RECORD OWNER OF THE PROPERTY SHOWN ON THE TENTATIVE SUBDIVISION MAP AND THAT SAID MAP SHOWS ALL MY (OUR) CONTIGUOUS OWNERSHIP IN WHICH I (WE) HAVE ANY DEED OR TRUST INTEREST. I (WE) UNDERSTAND THAT MY (OUR) PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, PRIVATE STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

APPLICANT/SUBDIVIDER

MERIDIAN DEVELOPMENT LLC
9988 HIBERT STREET
SUITE 210
SAN DIEGO, CA 92131

APPLICANT: GUY ASORO & REY ROSS

DATE

ENGINEER



ALISA S. VIALPANDO R.C.E. 47945 DATE

PREPARED BY:

HUNSAKER & ASSOCIATES
SAN DIEGO, INC.

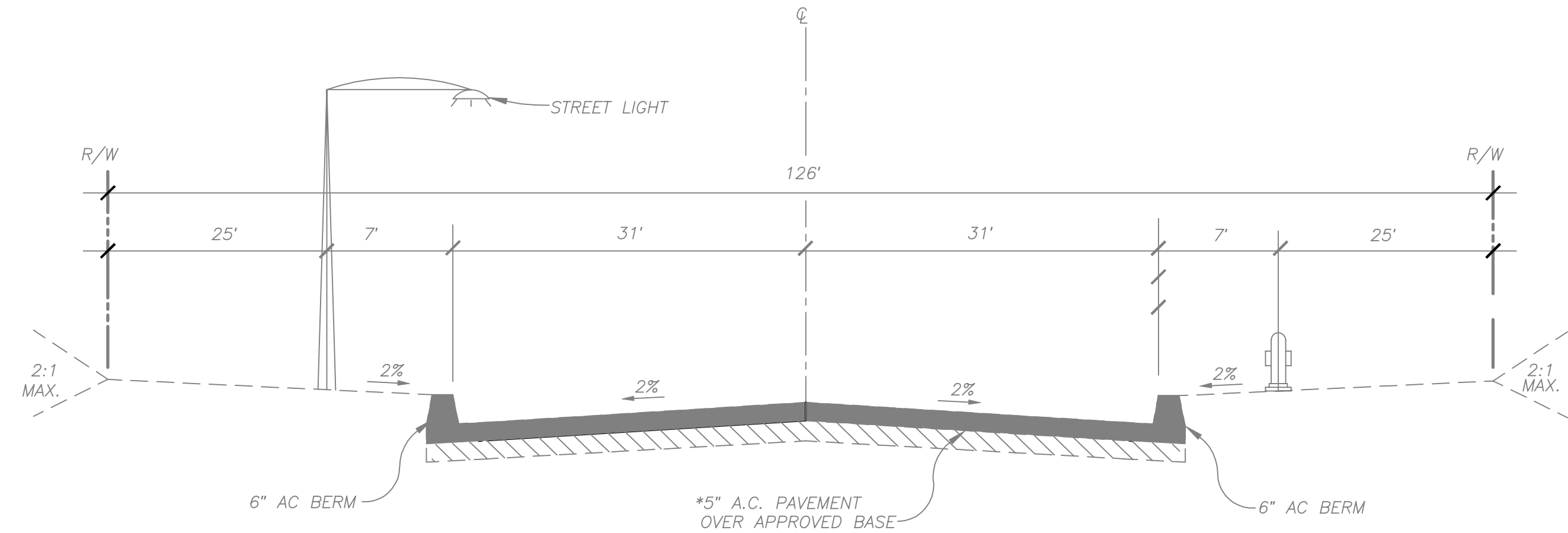
PLANNING: 9707 Waples Street
ENGINEERING: San Diego, CA 92121
SURVEYING: PH(858)558-4500 • FX(858)558-1414

TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN

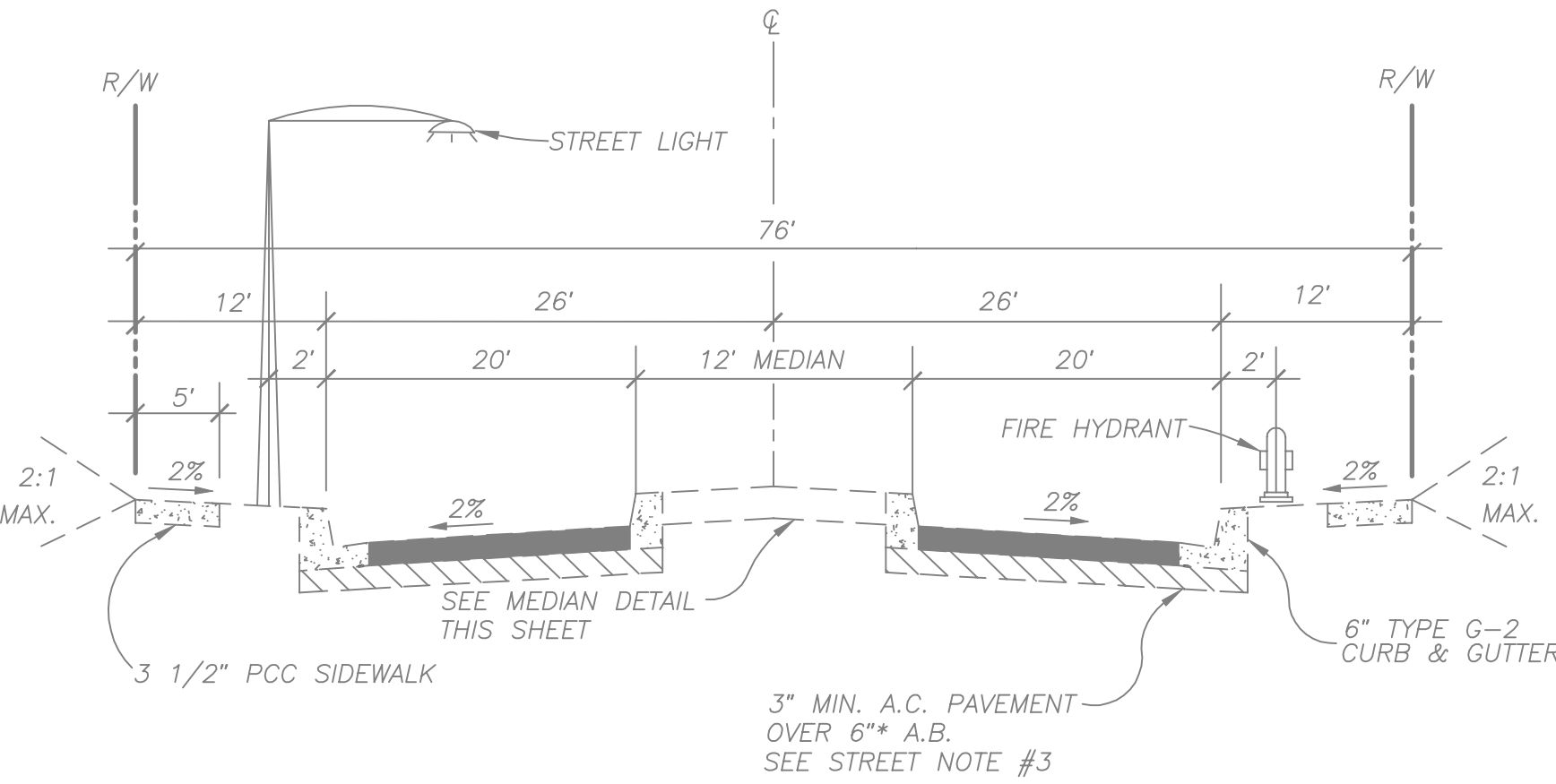
NORTHEAST GATEWAY
City of Escondido, California

SHEET

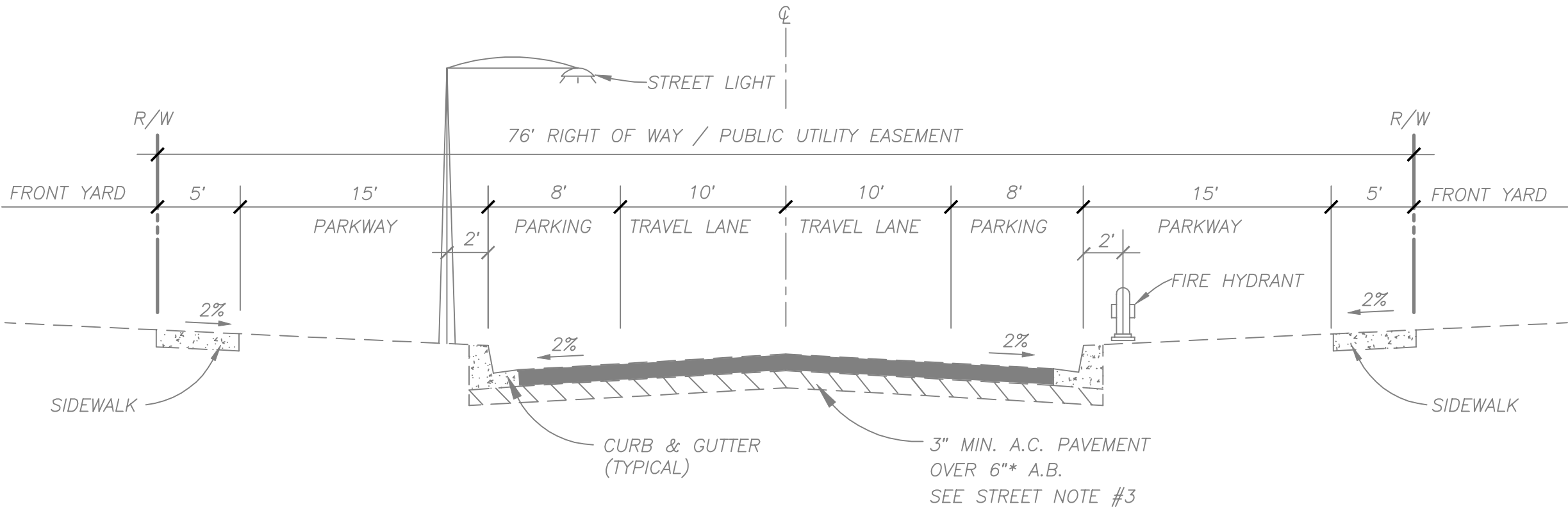
1
OF
13



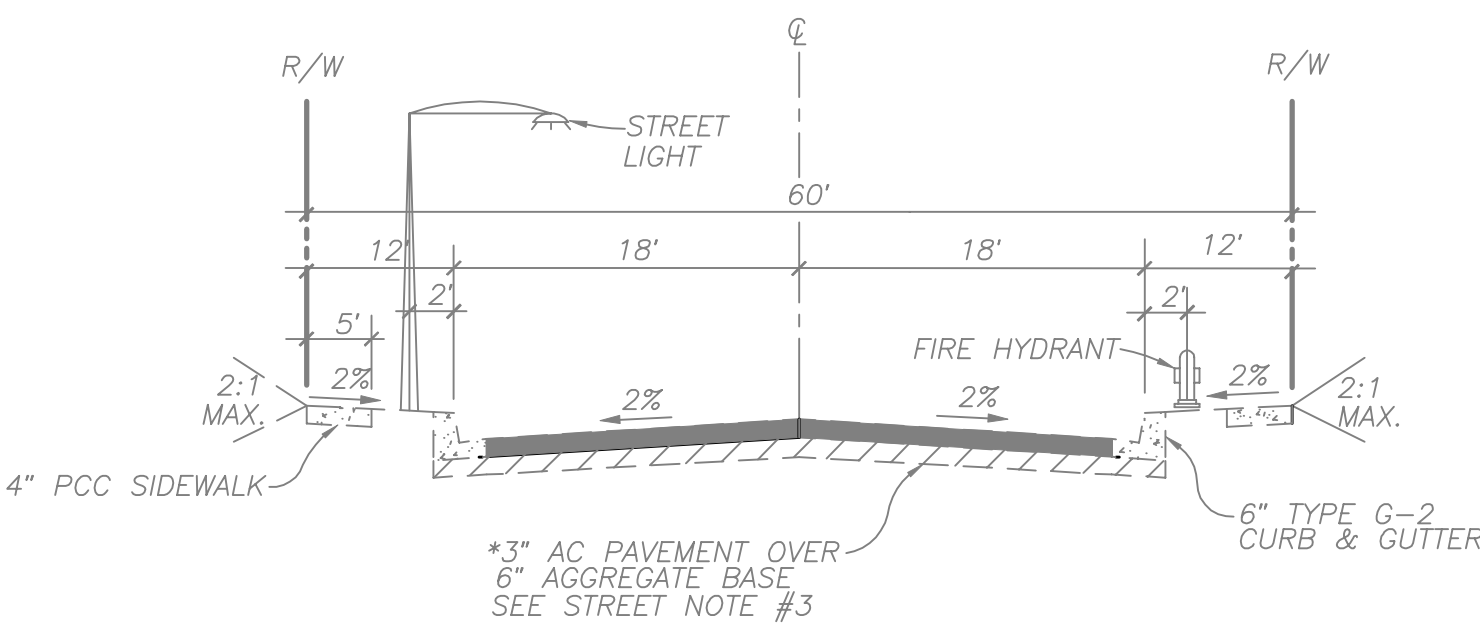
EXISTING EAST VALLEY PARKWAY
N.T.S



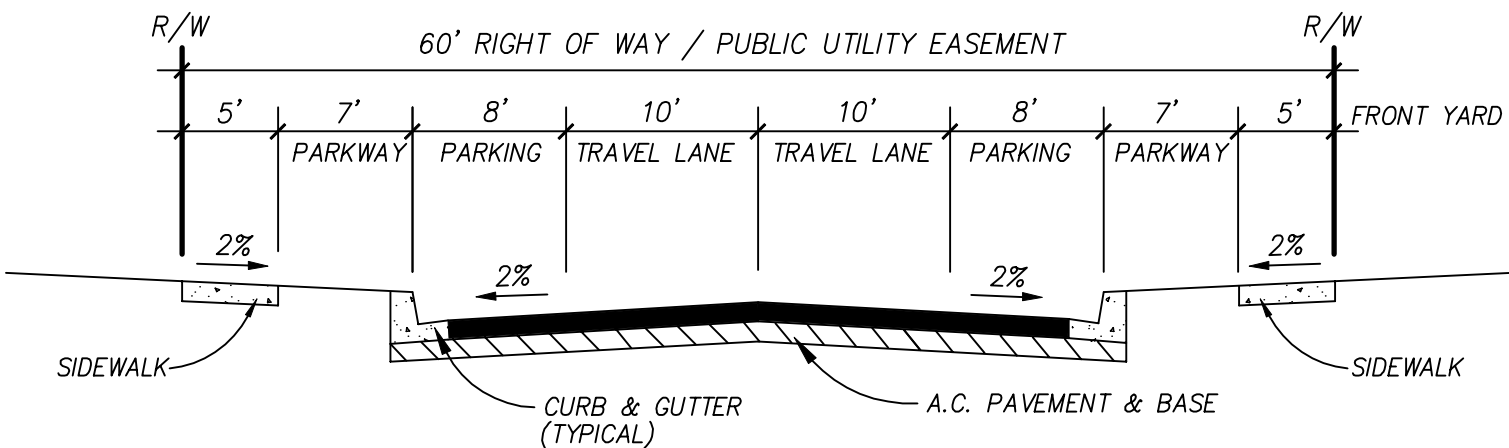
EXISTING BEVEN DRIVE WITH MEDIAN
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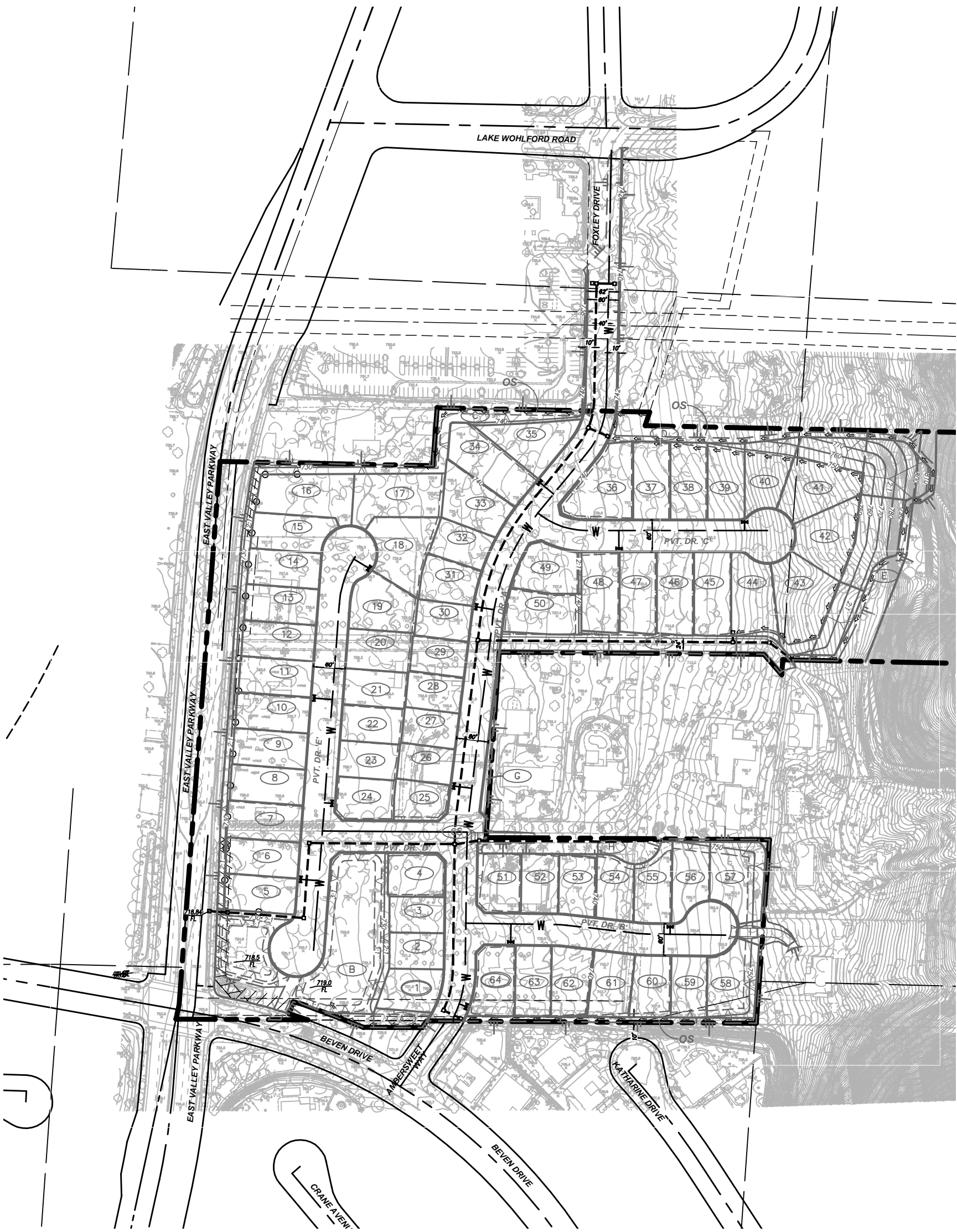
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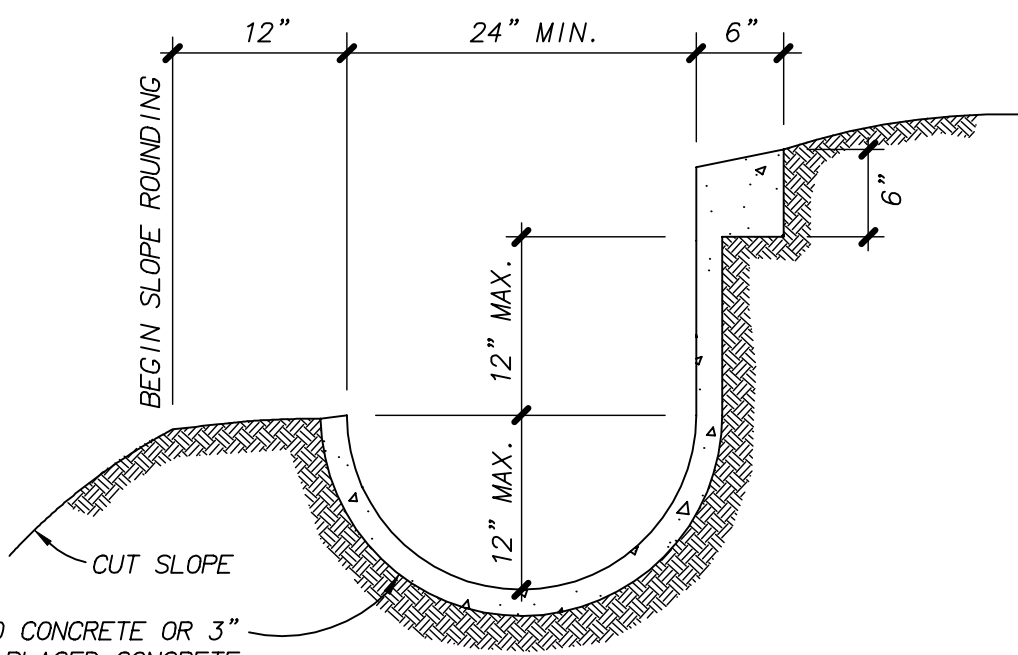
EXISTING AMBERSWEET WAY
N.T.S



PROPOSED RESIDENTIAL STREET SECTION
LOCAL DOUBLE LOADED STREET
STREETS "A" THRU "E"



EXISTING SITE
SCALE: 1"= 200'



"J" BROW DITCH
N.T.S

STREET SECTIONS AND DETAILS

PREPARED BY:



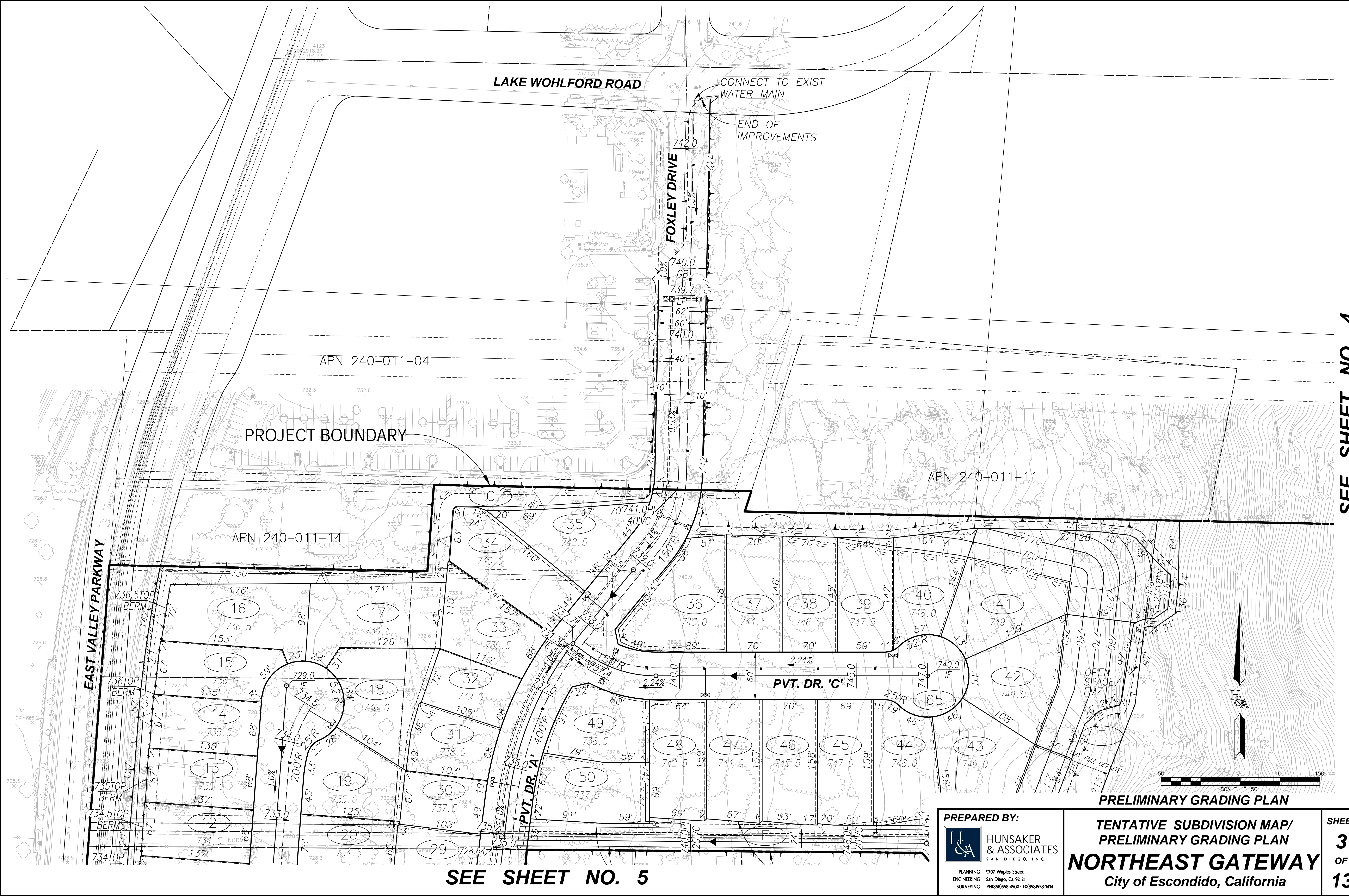
**HUNSAKER
& ASSOCIATES**
SAN DIEGO, INC

PLANNING 9707 Wiggins Street
ENGINEERING San Diego, Ca 92121
SURVEYING PH(658)558-4500 FX(658)558-1414

**TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN**

NORTHEAST GATEWAY
City of Escondido, California

**SHEET
2
OF
13**



SEE SHEET NO. 4

SEE SHEET NO. 5

PREPARED BY:



HUNSAKER
& ASSOCIATES
SAN DIEGO, INC.

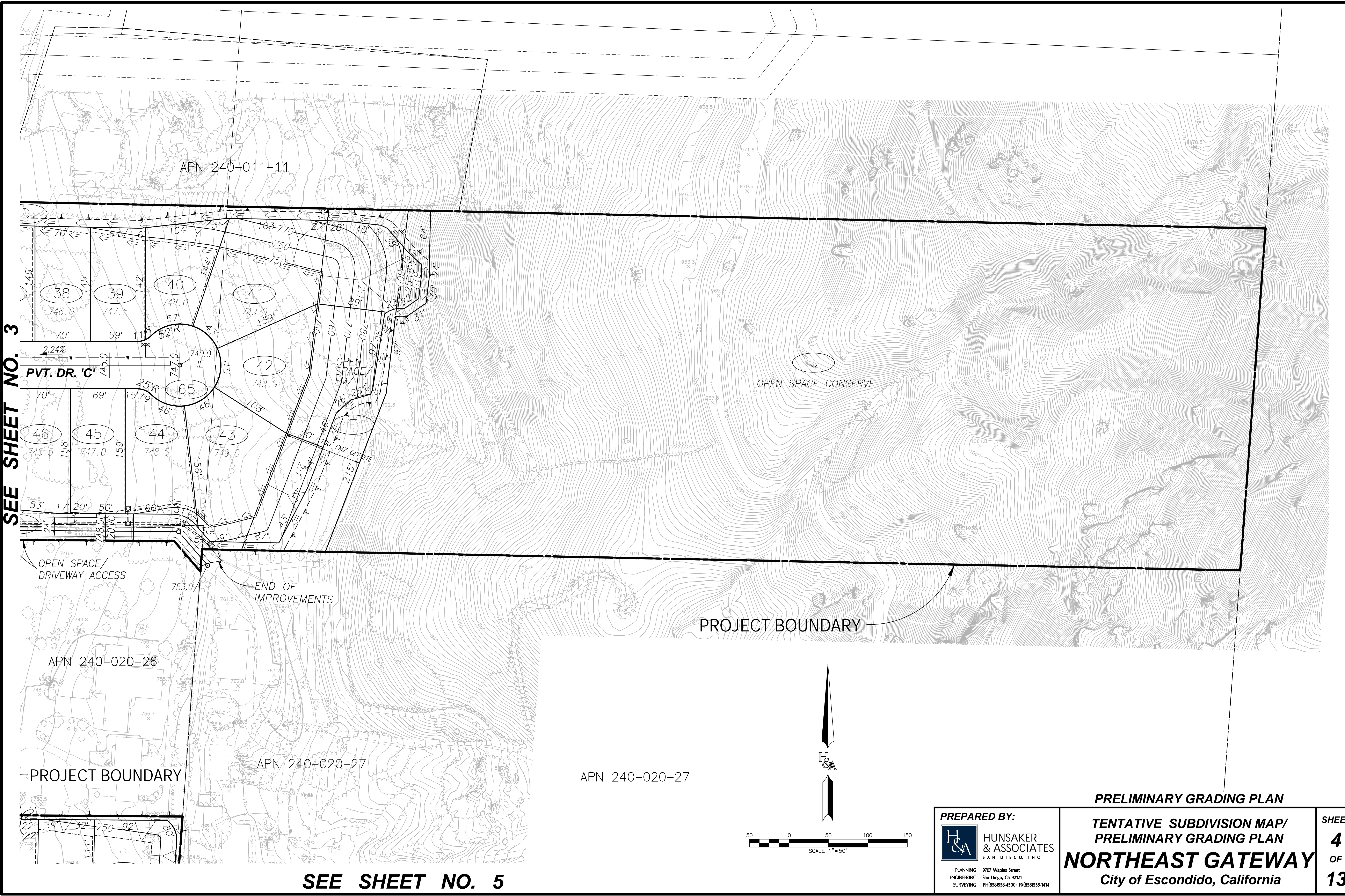
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ENGINEERING San Diego, Ca 92121
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TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN
NORTHEAST GATEWAY
City of Escondido, California

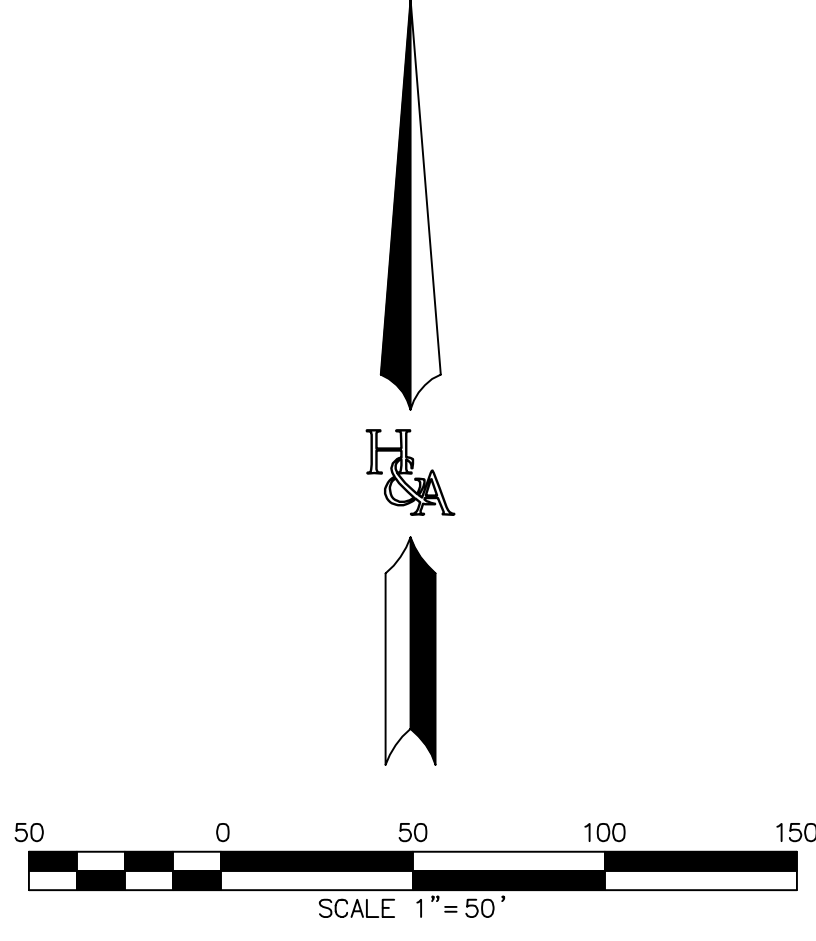
SHEET
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OF
13

SEE SHEET NO. 3

SEE SHEET NO. 5



PROJECT BOUNDARY



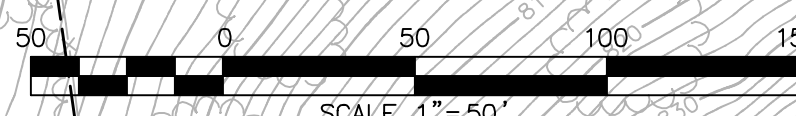
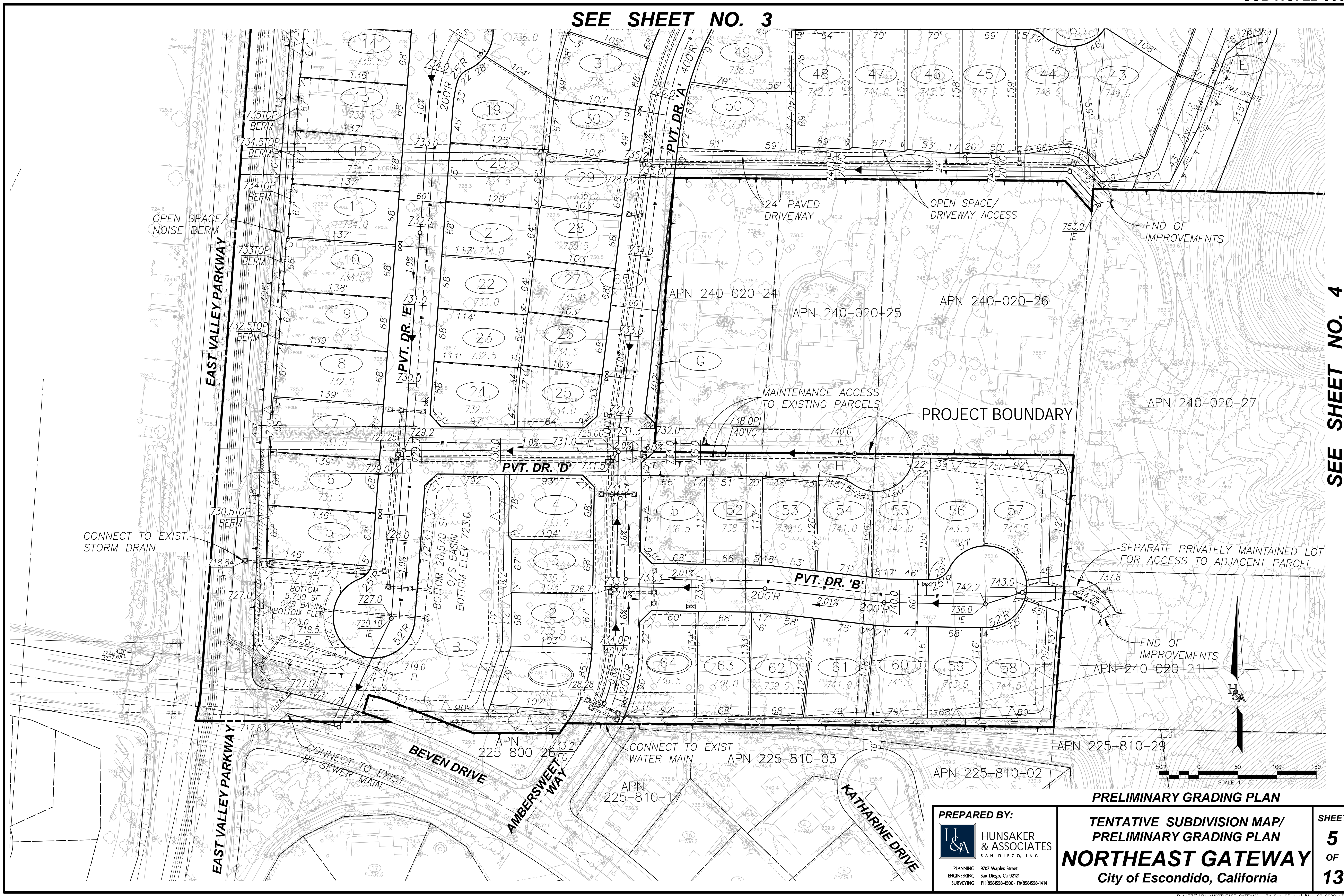
PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, INC.
PLANNING 9707 Waples Street
ENGINEERING San Diego, Ca 92121
SURVEYING PH(658)558-4500 FX(658)558-1414

PRELIMINARY GRADING PLAN
TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN
NORTHEAST GATEWAY
City of Escondido, California

SHEET
4
OF
13

SEE SHEET NO. 3

SEE SHEET NO. 4

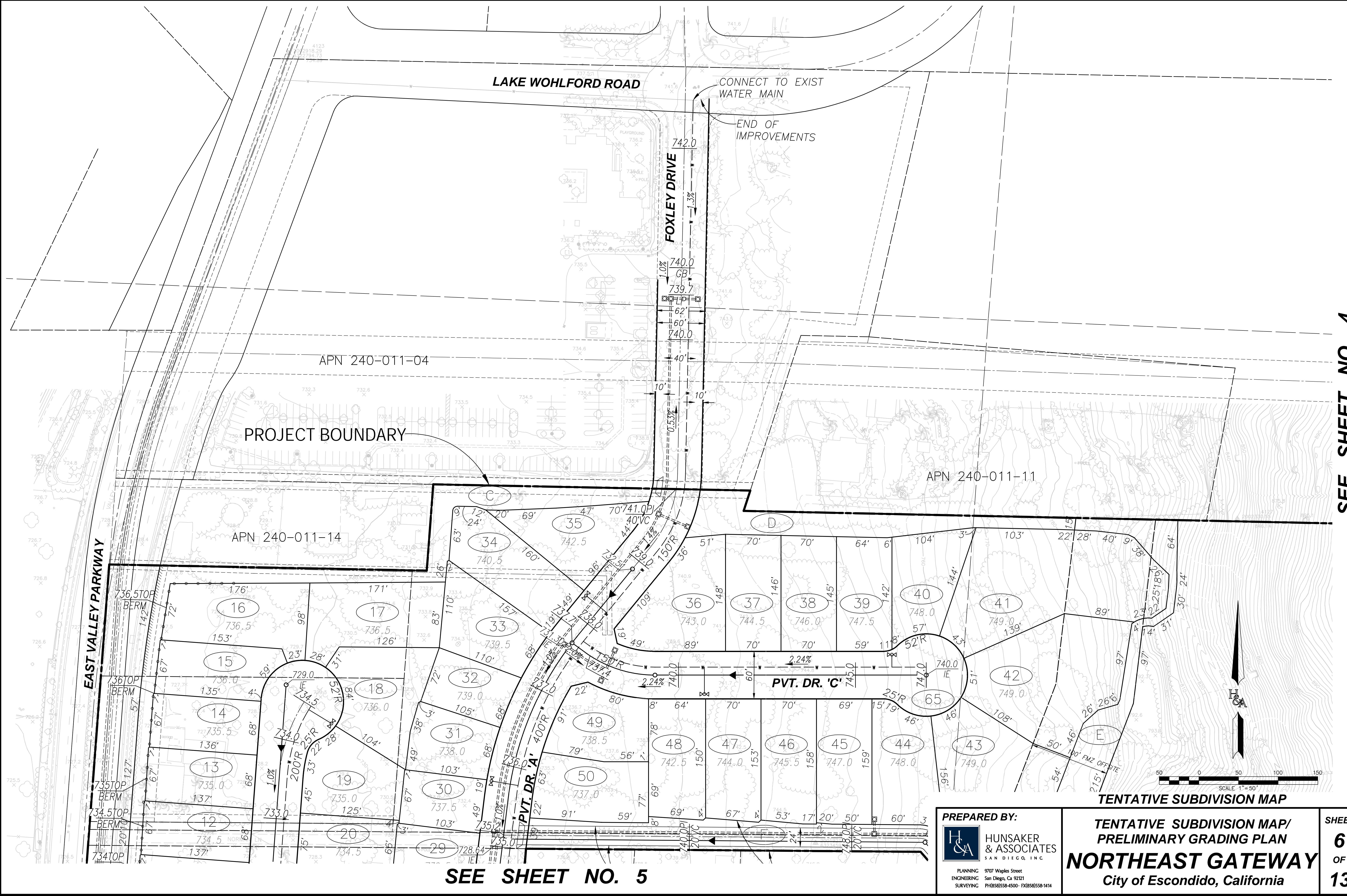


PRELIMINARY GRADING PLAN

PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, INC.
PLANNING 9707 Waples Street
ENGINEERING San Diego, Ca 92121
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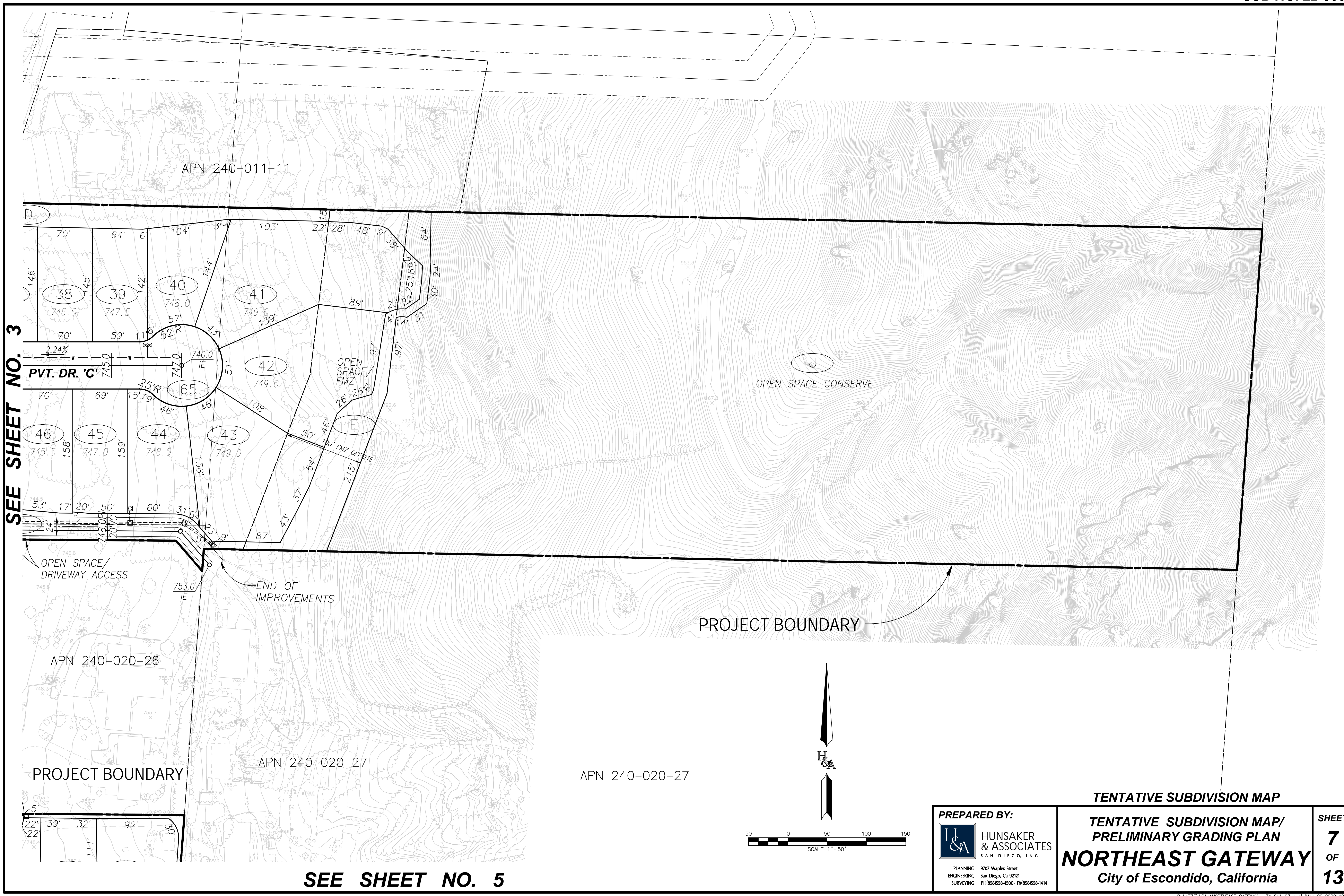
TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN
NORTHEAST GATEWAY
City of Escondido, California

SHEET
5
OF
13



SEE SHEET NO. 3

SEE SHEET NO. 5



TENTATIVE SUBDIVISION MAP

TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN

NORTHEAST GATEWAY
City of Escondido, California

SHEET
7
OF
13

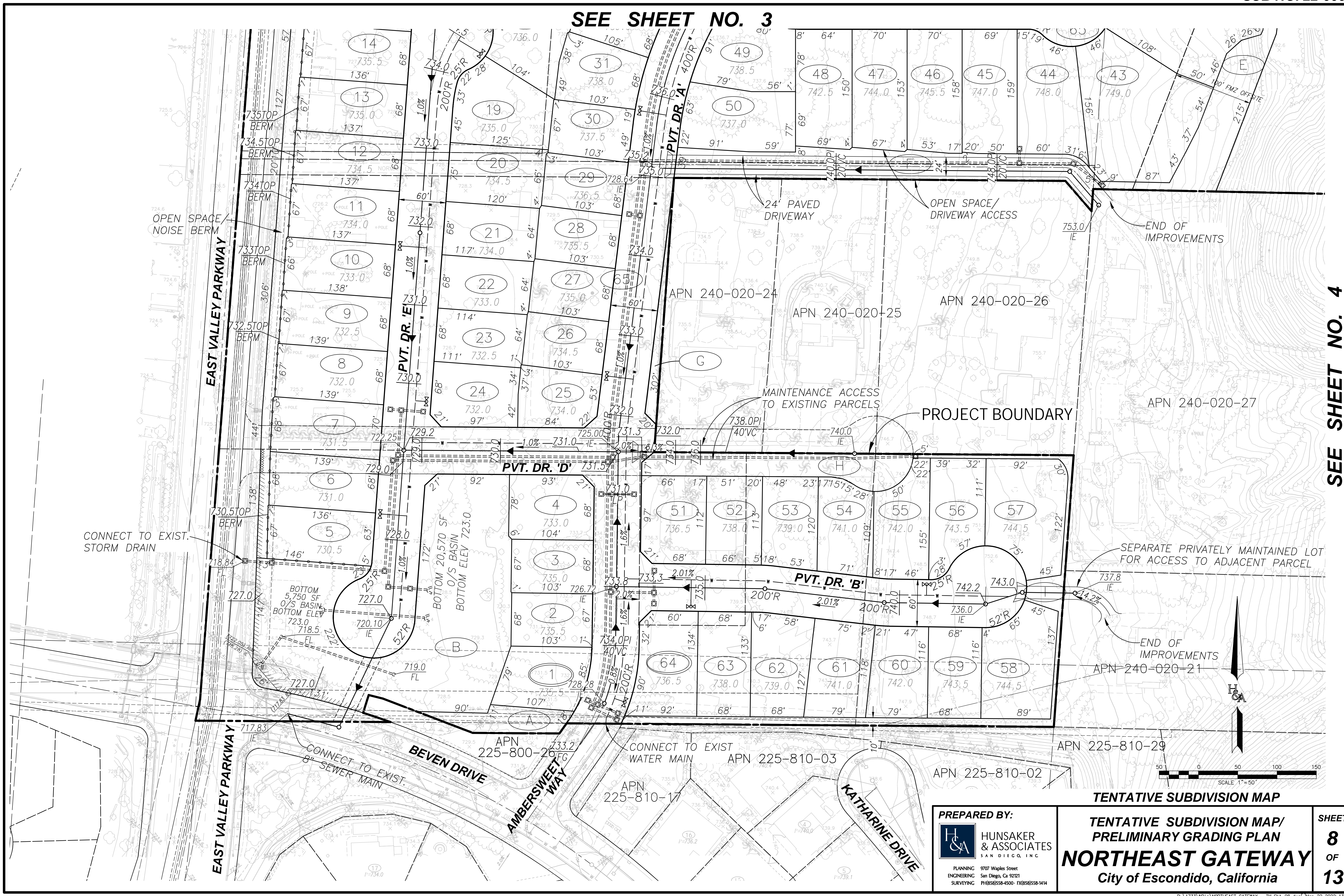
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SEE SHEET NO. 3

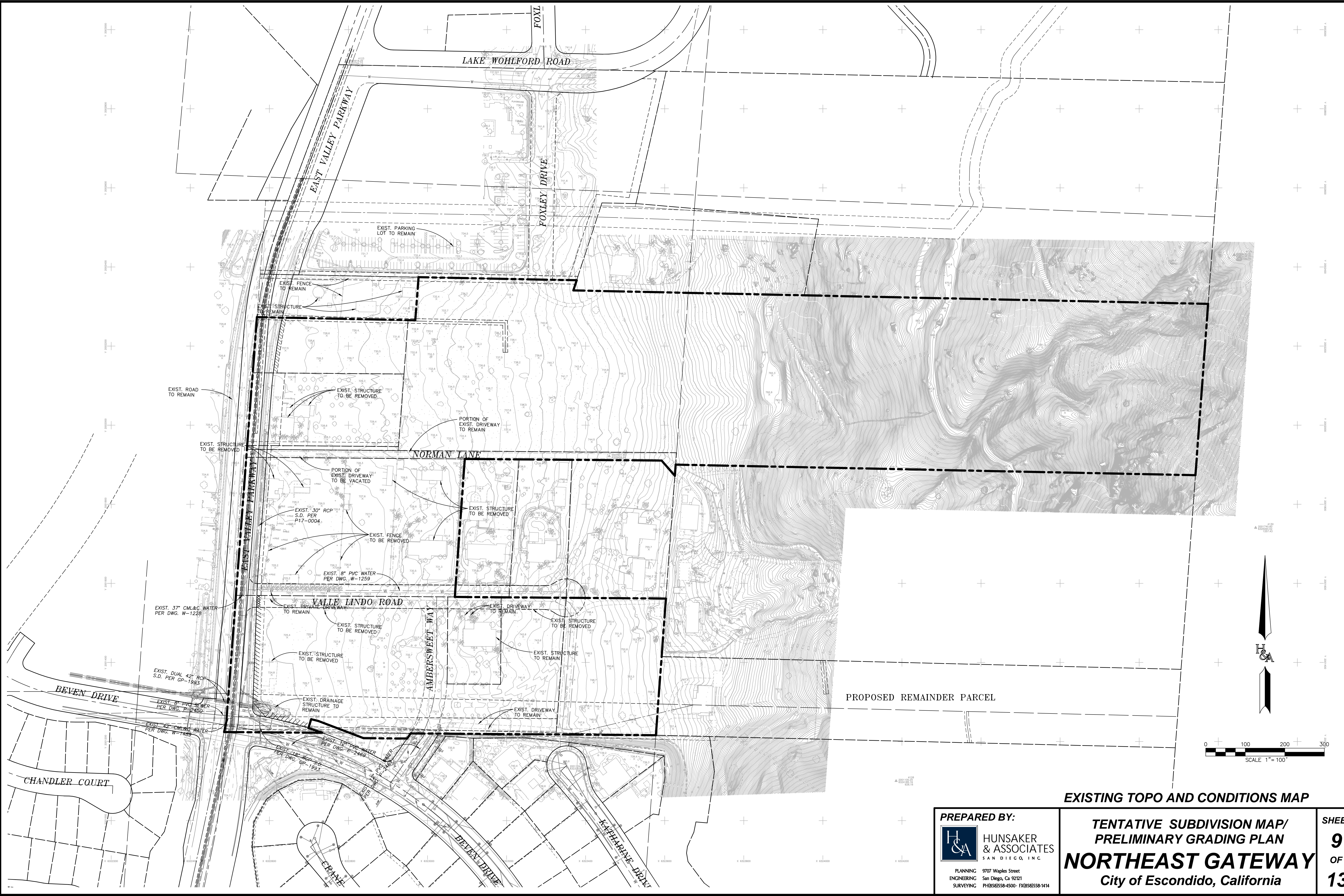
SEE SHEET NO. 4



PREPARED BY:
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ENGINEERING San Diego, Ca 92121
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TENTATIVE SUBDIVISION MAP/ PRELIMINARY GRADING PLAN
NORTHEAST GATEWAY
City of Escondido, California

SHEET
8
OF
13



EXISTING TOPO AND CONDITIONS MAP

PREPARED BY:

H & A HUNSAKER & ASSOCIATES
SAN DIEGO, INC.

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ENGINEERING San Diego, Ca 92121
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TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN

NORTHEAST GATEWAY

City of Escondido, California

SHEET
9
OF
13

TITLE REPORT

THE FOLLOWING LEGAL DESCRIPTION AND EXCEPTIONS ARE BASED ON A PRELIMINARY REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY AS ORDER NUMBER NHSC-6784425 (DG) DATED FEBRUARY 10, 2022.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF ESCONCIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

TRACT 1: (APN: 240-020-32-00 (PARCEL 1) AND 240-020-33-00 (PARCEL 2))

PARCELS 1 AND 2 OF PARCEL MAP NO. 21821, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY ON DECEMBER 9, 2020, AS FILE NO. 2020-7000412.

TRACT 2: (APN: 240-020-23-00)

PARCEL 1 IN THE CITY OF ESCONCIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON PAGE 10815 OF PARCEL MAPS, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 18, 1980, AS FILE NO. 80-426264.

TRACT 3:

PARCEL 1: (APN: 240-011-011-00)

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 6 AS SAID QUARTER CORNER WAS ESTABLISHED BY DECREE OF THE SUPERIOR COURT OF CALIFORNIA, IN AND FOR THE COUNTY OF SAN DIEGO, IN CASE NO. 96071, RECORDED AUGUST 30, 1940 AS DOCUMENT NO. 43581 IN BOOK 1069, PAGE 81 OF OFFICIAL RECORDS; THENCE SOUTH 73°36' EAST 235.62 FEET, MORE OR LESS, TO THE NORTHEASTERLY CORNER OF THE LAND OF JAMES B. DIXON AS DESCRIBED IN AMENDED DECREE OF THE SUPERIOR COURT IN SAID CASE NO. 96071 RECORDED OCTOBER 2, 1940 AS DOCUMENT NO. 51323 IN BOOK 1074, PAGE 432 OF OFFICIAL RECORDS; THENCE ALONG THE EASTERLY LINE OF SAID DIXON LAND SOUTH 3°46'52" WEST, 187.23 FEET; THENCE SOUTH 89°25'20" EAST 800.65 FEET; THENCE SOUTH 17°32'10" WEST 27.00 FEET; THENCE SOUTH 89°19'20" EAST TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 6, THENCE ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER SOUTH 3°47'05" WEST TO THE NORTHERLY LINE OF THAT TRACT OF LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899 IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG SAID NORTHERLY LINE OF WOHLFORD'S LAND NORTH 89°17'30" WEST 1315.67 FEET (RECORD WEST 1320 FEET) TO THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE ALONG SAID WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER NORTH 3°45' EAST 15.64 FEET, MORE OR LESS TO THE NORTHERLY LINE OF THE LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899 IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG THE NORTHERLY LINE OF SAID LAND NORTH 89°44'30" WEST 1085.33 FEET MORE OR LESS (RECORD WEST 1104.50 FEET) TO THE NORTHWESTERLY CORNER OF SAID LAND BEING ALSO THE TRUE POINT OF BEGINNING; THENCE RETRACING SAID NORTHERLY LINE SOUTH 89°44'30" EAST 382.77 FEET; THENCE NORTH 4°08' EAST PARALLEL WITH THE CENTER LINE OF THE COUNTY HIGHWAY COMMISSION ROUTE 19, DIVISION NO. 1, A DISTANCE OF 194.20 FEET; THENCE NORTH 89°44'30" WEST 382.77 FEET MORE OR LESS TO A POINT IN THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO LOUIS BERGER ET UX, RECORDED APRIL 14, 1955 IN BOOK 5604, PAGE 285 OF OFFICIAL RECORDS; THENCE SOUTHERLY ALONG SAID WESTERLY LINE 194.20 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHERLY 10 FEET THEREOF.

PARCEL 2:

AN EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS FOR ROAD PURPOSES OVER THE SOUTHERLY 10 FEET OF THE FOLLOWING DESCRIBED PARCEL OF LAND:

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 6 AS SAID QUARTER CORNER WAS ESTABLISHED BY DECREE OF THE SUPERIOR COURT OF CALIFORNIA, IN AND FOR THE COUNTY OF SAN DIEGO, IN CASE NO. 96071, RECORDED AUGUST 30, 1940 AS DOCUMENT NO. 43581 IN BOOK 1069, PAGE 81 OF OFFICIAL RECORDS; THENCE SOUTH 73°36' EAST 235.62 FEET, MORE OR LESS, TO THE NORTHEASTERLY CORNER OF THE LAND OF JAMES B. DIXON AS DESCRIBED IN AMENDED DECREE OF THE SUPERIOR COURT IN SAID CASE NO. 96071 RECORDED OCTOBER 2, 1940 AS DOCUMENT NO. 51323 IN BOOK 1074, PAGE 432 OF OFFICIAL RECORDS; THENCE ALONG THE EASTERLY LINE OF SAID DIXON LAND SOUTH 3°46'52" WEST 187.23 FEET; THENCE SOUTH 89°25'20" EAST 800.65 FEET; THENCE SOUTH 17°32'10" WEST 27.00 FEET; THENCE SOUTH 89°19'20" EAST TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 6, THENCE ALONG SAID EAST LINE OF THE SOUTHWEST QUARTER SOUTH 3°47'05" WEST TO THE NORTHERLY LINE OF THAT TRACT OF LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899 IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG SAID NORTHERLY LINE OF WOHLFORD'S LAND NORTH 89°17'30" WEST 1315.67 FEET (RECORD WEST 1320 FEET) TO THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE ALONG SAID WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER NORTH 3°45' EAST 15.64 FEET, MORE OR LESS, TO THE NORTHERLY LINE OF THE LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG THE NORTHERLY LINE OF SAID LAND NORTH 89°44'30" WEST 1085.33 FEET MORE OR LESS (RECORD WEST 1104.50 FEET) TO THE NORTHWESTERLY CORNER OF SAID LAND BEING ALSO THE TRUE POINT OF BEGINNING; THENCE RETRACING SAID NORTHERLY LINE SOUTH 89°44'30" EAST 382.77 FEET; THENCE NORTH 4°08' EAST PARALLEL WITH THE CENTER LINE OF THE COUNTY HIGHWAY COMMISSION ROUTE 19, DIVISION NO. 1, A DISTANCE OF 194.20 FEET; THENCE NORTH 89°44'30" WEST 382.77 FEET MORE OR LESS TO A POINT IN THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO LOUIS BERGER, ET UX, RECORDED APRIL 14, 1955 IN BOOK 5604, PAGE 285 OF OFFICIAL RECORDS; THENCE SOUTHERLY ALONG SAID WESTERLY LINE 194.20 FEET TO THE TRUE POINT OF BEGINNING.

TRACT 4:

PARCEL ONE: (APN: 240-011-13-00)

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12, SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF ESCONCIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 6 AS SAID QUARTER CORNER WAS ESTABLISHED BY DECREE OF THE SUPERIOR COURT OF CALIFORNIA, IN AND FOR THE COUNTY OF SAN DIEGO, IN CASE NO. 96071 RECORDED AUGUST 30, 1940, AS DOCUMENT NO. 43581 IN BOOK 1069, PAGE 81 OF OFFICIAL RECORDS; THENCE SOUTH 73° 36' 00" EAST 235.62 FEET, MORE OR LESS, TO THE NORTHEASTERLY CORNER OF LAND OF JAMES B. DIXON AS DESCRIBED IN AMENDED DECREE OF THE SUPERIOR COURT IN SAID CASE NO. 96071 RECORDED OCTOBER 2, 1940 AS DOCUMENT NO. 51323 IN BOOK 1074, PAGE 432 OF OFFICIAL RECORDS; THENCE ALONG THE EASTERLY LINE OF SAID DIXON LAND AND SOUTH 03° 46' 52" WEST 187.23 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89° 25' 20" EAST 800.65 FEET; THENCE SOUTH 17° 32' 10" WEST 27.00 FEET; THENCE SOUTH 89° 19' 20" EAST TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 6; THENCE ALONG SAID EAST LINE OF THE SOUTHWEST QUARTER SOUTH 03° 47' 05" WEST TO THE NORTHERLY LINE OF THAT TRACT OF LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG THE NORTHERLY LINE OF WOHLFORD'S LAND NORTH 89° 17' 30" WEST 1315.67 FEET (RECORD WEST 1320.00 FEET TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 6; THENCE ALONG SAID WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE ALONG SAID WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, NORTH 03° 45' 00" EAST 15.64 FEET, MORE OR LESS, TO THE NORTHERLY LINE OF THE LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG THE NORTHERLY LINE OF SAID LAND NORTH 89° 17' 30" WEST 1085.33 (RECORD WEST 1104.50 FEET) TO THE NORTHWESTERLY CORNER OF SAID LAND; THENCE NORTH 386.50 FEET, MORE OR LESS, TO A POINT WHICH IS NORTH 30.00 FEET FROM THE NORTHERLY LINE OF THE LAND CONVEYED TO W.L. RAMEY AND A. W. WOHLFORD BY DEED RECORDED APRIL 8, 1893 IN BOOK 212 PAGE 235 OF DEEDS, BEING ALSO A POINT IN THE EASTERLY LINE OF SAID JAMES B. DIXON LAND DESCRIBED ABOVE; THENCE ALONG SAID EASTERLY LINE OF DIXON'S LAND, NORTH 03° 46' 52" EAST TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ALL THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LAND DISTANT THEREON SOUTH 89° 44' 30" EAST 382.77 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 04° 08' 00" EAST PARALLEL WITH THE CENTER LINE OF THE COUNTY HIGHWAY COMMISSION ROUTE 19, DIVISION NO. 1, A DISTANCE OF 194.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE RETRACING THE LINE SOUTH 04° 08' 00" WEST TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND 10.00 FEET NORTHERLY OF MEASURED AT RIGHT ANGLES TO THE SOUTHERLY LINE OF SAID LAND HEREINABOVE DESCRIBED; THENCE ALONG SAID PARALLEL LINE NORTH 89° 44' 30" WEST 382.77 FEET TO THE WESTERLY LINE OF SAID LAND; THENCE NORTHERLY ALONG SAID WESTERLY LINE TO A LINE THAT BEARS NORTH 89° 44' 30" WEST FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 89° 44' 30" EAST 382.77 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM, THE NORTHERLY 109.00 FEET OF ALL THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LAND; THENCE SOUTH 89°25'20" EAST 400.00 FEET MORE OR LESS, TO A POINT IN A LINE WHICH IS PARALLEL WITH AND EASTERLY 370.00 FEET FROM THE EASTERLY LINE OF THE COUNTY HIGHWAY COMMISSION ROUTE 19, DIVISION 1; THENCE SOUTH 03° 46' 52" WEST ALONG SAID PARALLEL LINE 327.00 FEET; THENCE NORTH 89° 25' 20" WEST 400.00 FEET, MORE OR LESS, TO A POINT IN A LINE BEARS SOUTH 03° 46' 52" WEST FROM THE POINT OF BEGINNING; THENCE NORTH 03° 46' 52" EAST 327.00 FEET TO THE POINT OF BEGINNING.

AND ALSO EXCEPTING THEREFROM THAT PORTION LYING WESTERLY OF A LINE DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHERLY LINE OF THE FIRST HEREINABOVE DESCRIBED LAND DISTANT THEREON SOUTH 89° 44' 30" EAST, 382.77 FEET FROM THE SOUTHWESTERLY CORNER OF SAID LAND; THENCE PARALLEL WITH THE CENTER LINE OF SAID ROUTE 19, DIVISION 1, NORTH 04° 08' 00" EAST, 194.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 04° 08' 00" EAST TO THE SOUTHERLY LINE OF THE NORTHERLY 109.00 FEET OF THE FIRST ABOVE DESCRIBED LAND.

ALSO EXCEPTING THAT PORTION OF LOT 4 IN SAID SECTION 6, LYING SOUTHERLY OF THE LINE SET OUT IN THAT CERTAIN JUDGMENT QUIETING TITLE RECORDED JUNE 8, 1964 AS DOCUMENT NO. 102872 OF OFFICIAL RECORDS.

LEGAL DESCRIPTION (CONTINUED)

PARCEL TWO: (APN: 240-011-12-00)

THAT PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF ESCONCIDO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 6, AS SAID QUARTER CORNER WAS ESTABLISHED BY DECREE OF THE SUPERIOR COURT OF CALIFORNIA, IN AND FOR THE COUNTY OF SAN DIEGO, IN CASE NO. 96071 RECORDED AUGUST 30, 1940, AS DOCUMENT NO. 43581 IN BOOK 1069, PAGE 81 OF OFFICIAL RECORDS; THENCE SOUTH 73°36'00" EAST 235.62 FEET, MORE OR LESS, TO THE NORTHEASTERLY CORNER OF LAND OF JAMES B. DIXON, AS DESCRIBED IN AMENDED DECREE OF THE SUPERIOR COURT IN CASE NO. 96071 RECORDED OCTOBER 2, 1940, AS DOCUMENT NO. 51323 IN BOOK 1074, PAGE 432 OF OFFICIAL RECORDS; THENCE ALONG THE EASTERLY LINE OF SAID DIXON LAND SOUTH 03° 46' 52" WEST 187.23 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89° 25' 20" EAST 800.65 FEET; THENCE SOUTH 17°32' 10" WEST 27.00 FEET; THENCE SOUTH 89° 19' 20" EAST TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 6; THENCE ALONG SAID EAST LINE OF THE SOUTHWEST QUARTER SOUTH 03° 47' 05" WEST TO THE NORTHERLY LINE OF THAT TRACT OF LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG THE NORTHERLY LINE OF WOHLFORD'S LAND NORTH 89° 17' 30" WEST 1315.67 FEET (RECORD WEST 1320.00 FEET TO THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE ALONG SAID WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, NORTH 03° 45' 00" EAST 15.64 FEET, MORE OR LESS TO THE NORTHERLY LINE OF THE LAND CONVEYED TO A.W. WOHLFORD BY DEED RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS; THENCE ALONG THE NORTHERLY LINE OF SAID LAND NORTH 89°17'30" WEST, 1085.33 (RECORD WEST 1104.50 FEET) TO THE NORTHWESTERLY CORNER OF SAID LAND; THENCE NORTH 386.50 FEET, MORE OR LESS, TO A POINT WHICH IS NORTH 30.00 FEET FROM THE NORTHERLY LINE OF THE LAND CONVEYED TO W.L. RAMEY AND A. W. WOHLFORD BY DEED RECORDED APRIL 8, 1893 IN BOOK 212, PAGE 235 OF DEEDS, BEING ALSO A POINT IN THE EASTERLY LINE OF SAID JAMES B. DIXON LAND DESCRIBED ABOVE; THENCE ALONG SAID EASTERLY LINE OF DIXON'S LAND NORTH 03° 46' 52" EAST TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION LYING EASTERLY OF A LINE DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHERLY LINE OF THE FIRST HEREINABOVE DESCRIBED LAND DISTANT THEREON SOUTH 89° 44' 30" EAST, 382.77 FEET FROM THE SOUTHWESTERLY CORNER OF SAID LAND; THENCE PARALLEL WITH THE CENTER LINE OF SAID ROUTE 19, DIVISION 1, NORTH 04° 08' 00" EAST, 194.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 04° 08' 00" EAST TO THE NORTHERLY LINE THEREOF.

ALSO EXCEPTING THEREFROM ALL THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LAND DISTANT THEREON SOUTH 89° 44'30" EAST 382.77 FEET; THENCE NORTH 04° 08' 00" WEST PARALLEL WITH THE CENTER LINE OF COUNTY HIGHWAY COMMISSION ROUTE 19, DIVISION NO. 1, A DISTANCE OF 194.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE RETRACING THE LAST DESCRIBED LINE SOUTH 04° 08' 00" WEST 194.20 FEET TO AN INTERSECTION WITH THE SOUTHERLY LINE OF SAID LAND HEREINABOVE DESCRIBED; THENCE ALONG SAID SOUTHERLY LINE NORTH 89°44'30" WEST 382.77 FEET TO THE WESTERLY LINE OF SAID LAND; THENCE NORTHERLY ALONG SAID WESTERLY LINE TO A LINE THAT BEARS NORTH 89° 44' 30" WEST FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 89° 44' 30" EAST 332.77 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THE NORTHERLY 109.00 FEET OF ALL THAT PORTION THEREOF.

TRACT 5: (APN: 240-020-21-00)

ALL THOSE PORTIONS OF LOTS FOUR (4) AND FIVE (5) (THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, RESPECTIVELY) AND THE EAST HALF OF SAID SOUTHWEST QUARTER, OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, S.B.M., IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID LOT FOUR (4) WITH THE CENTER LINE OF THE COUNTY ROAD LEADING FROM ESCONCIDO TO BEAR VALLEY, AS SAID ROAD IS SHOWN ON LICENSED SURVEYOR'S MAP NO. 39 FILED IN THE OFFICE OF THE RECORDER OF SAID SAN DIEGO COUNTY, JUNE 22, 1893; THENCE NORTH 3° 23' EAST ALONG THE CENTER LINE OF SAID ROAD 120 FEET; THENCE EAST 1105 FEET TO A POINT ON THE EAST LINE OF SAID LOT FOUR (4), DISTANT THEREON 120 FEET FROM THE SOUTHEAST CORNER THEREOF; THENCE EASTERLY 1320 FEET TO A POINT ON THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6 DISTANT THEREON 120 FEET NORTHERLY FROM THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION; THENCE SOUTHERLY 199 FEET, MORE OR LESS, TO A POINT ON THE SOUTH LINE OF THE NORTH 79 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION; THENCE WESTERLY ALONG SAID SOUTH LINE OF SAID NORTH 79 FEET, A DISTANCE OF 1320 FEET TO THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION; THENCE WESTERLY ALONG THE NORTH 79 FEET OF LOT 5 A DISTANCE OF 1105 FEET, MORE OR LESS, TO THE CENTER LINE OF THE AFORESAID ESCONCIDO BEAR VALLEY ROAD; THENCE NORTHERLY ALONG SAID COUNTRY ROAD, 79 FEET TO THE POINT OF BEGINNING.

BEGINNING AT A POINT ON THE EASTERLY LINE OF LOT 4 IN SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, S.B.M. SAID POINT BEING THE EASTERLY TERMINUS OF THE DIVISION LINE BETWEEN THE LANDS OF A. W. WOHLFORD AND S.D. HEADINGTON, AS ESTABLISHED BY MUTUAL AGREEMENT BETWEEN SAID PARTIES DATED SEPTEMBER 8, 1900 AND RECORDED NOVEMBER 21, 1901 IN BOOK 309 AND 369 OF DEEDS, RECORDS OF SAN DIEGO COUNTY; THENCE NORTH 3° 35' EAST ALONG SAID EASTERLY LINE OF LOT 4 A DISTANCE OF 162.5 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN THE DEED TO W. L. WOHLFORD DATED AUGUST 27, 1900 IN BOOK 285, PAGE 461 OF DEEDS, RECORDS OF SAN DIEGO COUNTY; THENCE WESTERLY ALONG THE NORTH LINE OF SAID LAND 1105 FEET; THENCE SOUTH 3° 35' WEST 162.5 FEET TO AN INTERSECTION WITH THE AFOREMENTIONED DIVISION LINE; THENCE EASTERLY ALONG SAID DIVISION LINE 1105 FEET MORE OR LESS TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM, THAT PORTION THEREOF IF ANY WHICH LIES WESTERLY OF THE EASTERLY LINE OF THE LAND OF JAMES B. DIXON, AS DESCRIBED IN THE DECREE HAD IN THE SUPERIOR COURT IN SAN DIEGO COUNTY (CASE NO. 96071) ON OCTOBER 2, 1940, A CERTIFIED COPY OF SAID DECREE BEING RECORDED IN BOOK 1074, PAGE 432 OF OFFICIAL RECORDS OF SAID COUNTY.

BEGINNING AT A POINT ON THE EASTERLY LINE OF LOT 4, SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, S.B.M. WHICH IS THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN THE DEED TO W. L. RAMEY AND A. W. WOHLFORD DATED APRIL 7, 1893 AND RECORDED APRIL 8, 1893 IN BOOK 212, PAGE 235 OF DEEDS, RECORDS OF SAN DIEGO COUNTY, SAID POINT BEING DESCRIBED IN SAID DEED AS 1318 FEET EAST AND 1573 FEET NORTH 3° 35' EAST OF THE SOUTHWEST CORNER OF SAID SECTION 6; THENCE NORTH 3° 35' EAST ALONG SAID EASTERLY LINE OF LOT 4 A DISTANCE OF 356.5 FEET TO AN INTERSECTION WITH THE SOUTHERLY LINE OF A PARCEL OF LAND DESCRIBED IN THE DEED TO W. L. RAMEY DATED MARCH 31, 1899 AND RECORDED IN BOOK 278, PAGE 247 OF DEEDS, RECORDS OF SAN DIEGO COUNTY; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LAND CONVEYED TO RAMEY 1104.5 FEET; THENCE SOUTH 3° 35' WEST 356.5 FEET TO AN INTERSECTION WITH THE SOUTHERLY LINE OF SAID LAND DESCRIBED IN THE AFORESAID DEED TO W. L. WOHLFORD THENCE EASTERLY ALONG SAID SOUTHERLY LINE TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM, THAT PORTION THEREOF IF ANY WHICH LIES WESTERLY OF THE EASTERLY LINE OF THE LAND OF JAMES B. DIXON, AS DESCRIBED IN THE DECREE HAD IN THE SUPERIOR COURT IN SAN DIEGO COUNTY (CASE NO. 96071) ON OCTOBER 2, 1940, A CERTIFIED COPY OF SAID DECREE BEING RECORDED IN BOOK 1074, PAGE 432 OF OFFICIAL RECORDS OF SAN DIEGO COUNTY.

EXCEPTING THEREFROM PARCELS 1 AND 3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SHOWN AT PAGE 6048 OF PARCEL MAPS FILED IN OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 16, 1977.

SAID LAND IS ALSO SHOWN AS PARCEL 2 OF COUNTY OF SAN DIEGO MAP 12478, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARCEL MAP THEREOF NO. 6048, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 16, 1977.

TRACT 6: (APN: PORTION OF 240-020-27-00)

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF ESCONCIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY CORNER OF SAID SECTION 6; THENCE ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER NORTH 3° 47' 05" EAST 1395.59 FEET TO THE SOUTHEAST CORNER OF THE LAND DESCRIBED IN DEED TO FRANCES M. BEVIN AND HER HUSBAND, LEONARD RYAN, WIFE AND HUSBAND, RECORDED MARCH 2, 1953 AS DOCUMENT NO. 28282 OF OFFICIAL RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID LAND NORTH 89° 02' 52" WEST 1313.84 FEET RECORD WEST TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE NORTH 3° 45' 01" EAST 458.58 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE NORTH 3° 45' 01" EAST 58.46 FEET TO THE EASTERLY PROLONGATION OF THE SOUTHERLY BOUNDARY LINE OF THE LAND DESCRIBED IN DEED TO FRANCES M. BEVIN AND HER HUSBAND, LEONARD RYAN, WIFE AND HUSBAND, RECORDED MARCH 2, 1953 AS DOCUMENT NO. 28282 OF OFFICIAL RECORDS; SAID SOUTHERLY LINE BEING ALSO SET OUT IN THAT CERTAIN JUDGMENT QUIETING TITLE, A COPY OF WHICH WAS FILED FOR RECORD ON JUNE 8, 1964 AS DOCUMENT NO. 102872 OF OFFICIAL RECORDS; THENCE TO AND ALONG SAID SOUTHERLY BOUNDARY AND THE WESTERLY PROLONGATION THEREOF SOUTH 89° 59' 40" WEST 1086.72 FEET TO THE CENTER LINE OF ESCONCIDO AND BEAR VALLEY ROAD; THENCE ALONG SAID CENTER LINE SOUTH 3° 51' 10" WEST 20.04 FEET TO A LINE DRAWN PARALLEL WITH AND 20 FEET SOUTHERLY OF THE PROLONGATION OF SAID SOUTHERLY BOUNDARY LINE OF RAMEY LAND; THENCE ALONG SAID PARALLEL LINE NORTH 89° 59' 40" EAST 1051.06 FEET TO A LINE WHICH BEARS NORTH 40° 52' 50" WEST FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 40° 52' 50" EAST 50.70 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THAT PORTION THEREOF, IF ANY, LYING WESTERLY OF THE EASTERLY LINE OF THE LAND ESTABLISHED BY DECREE OF THE SUPERIOR COURT OF CALIFORNIA IN AND FOR THE COUNTY OF SAN DIEGO, IN CASE NO. 96071, RECORDED AUGUST 30, 1940 AS DOCUMENT NO. 43581 IN BOOK 1069, PAGE 81 OF OFFICIAL RECORDS.

TITLE REPORT EXCEPTIONS

1. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2022-2023, A LIEN NOT YET DUE OR PAYABLE.

2. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022.

FIRST INSTALLMENT: \$3,227.50, PAID

PENALTY: \$0.00

SECOND INSTALLMENT: \$3,227.50, OPEN

PENALTY: \$0.00

TAX RATE AREA: 04252

A. P. NO.: 240-020-32-00

AFFECTS: PARCEL 1 OF TRACT 1

TITLE REPORT EXCEPTIONS (CONTINUED)

3. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022.

FIRST INSTALLMENT: \$2,123.31, PAID

PENALTY: \$0.00

SECOND INSTALLMENT: \$2,123.31, OPEN

PENALTY: \$0.00

TAX RATE AREA: 04252

A. P. NO.: 240-020-33-00

AFFECTS: PARCEL 2 OF TRACT 1

4. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022.

FIRST INSTALLMENT: \$1,606.89, PAID

PENALTY: \$0.00

SECOND INSTALLMENT: \$1,606.89, OPEN

PENALTY: \$0.00

TAX RATE AREA: 04252

A. P. NO.: 240-011-01-00

AFFECTS: TRACT 3

5. GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022.

FIRST INSTALLMENT: \$1,435.37, PAID

PENALTY: \$0.00

SECOND INSTALLMENT: \$1,435.37, OPEN

PENALTY: \$0.00

TAX RATE AREA: 04252

A. P. NO.: 240-020-27-00

AFFECTS: TRACT 6 AND OTHER PROPERTY

6. THE LAND LIES WITHIN THE BOUNDARIES OF PROPOSED COMMUNITY FACILITIES DISTRICT NO. 98-1, AS DISCLOSED BY A MAP FILED JULY 23, 1998 IN BOOK 32, PAGE 37 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS RECORDED JULY 23, 1998 AS INSTRUMENT NO. 1998-0460419 OF OFFICIAL RECORDS.

AFFECTS: TRACT 3

7. THE LAND LIES WITHIN THE BOUNDARIES OF PROPOSED COMMUNITY FACILITIES DISTRICT NO. 2000-1, AS DISCLOSED BY A MAP FILED JUNE 29, 2000 IN BOOK 34, PAGE 37 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS RECORDED JUNE 29, 2000 AS INSTRUMENT NO. 2000-344319 OF OFFICIAL RECORDS..

AFFECTS: TRACT 3

8. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

THE FOLLOWING MATTERS AFFECT TRACT 1:

9. AN EASEMENT FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED AUGUST 22, 1896 AS BOOK 14, PAGE 26, OF MISCELLANEOUS RECORDS.

IN FAVOR OF: COUNTY OF SAN DIEGO

AFFECTS: AS DESCRIBED THEREIN

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

10. THE FOLLOWING RESERVATION IN DEED FROM W. L. RAMEY AND FLORENCE L. RAMEY, HUSBAND AND WIFE TO A.W. WOHLFORD, RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS:

"RESERVING THE RIGHT OF WAY AND THE UNDIVIDED 1/2 INTEREST A PIPELINE AND FLUME AS NOW CONSTRUCTED ALONG THE EAST LINE OF THE ABOVE DESCRIBED LAND, AND CONNECTED WITH THE

TITLE REPORT EXCEPTIONS (CONTINUED)

51. AN EASEMENT FOR PIPELINES, PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 28, 1981 AS INSTRUMENT NO. 81-27657 OF OFFICIAL RECORDS.
IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM THE PUBLIC RECORDS
52. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RIGHT OF ENTRY TO CONSTRUCT OR IMPROVE A PRIVATE ROAD", EXECUTED BY AND BETWEEN DAROLD D. DUNCAN AND DOROTHY M. DUNCAN AND THE DEPARTMENT OF PUBLIC WORKS OF THE COUNTY OF SAN DIEGO, RECORDED JANUARY 17, 1983 AS INSTRUMENT NO. 83-16282 OF OFFICIAL RECORDS.
53. ANY IRREGULARITY IN THE FORECLOSURE PROCEEDINGS LEADING UP TO THE TRUSTEE'S DEED RECORDED AUGUST 13, 2012 AS INSTRUMENT NO. 2012-478574 OF OFFICIAL RECORDS.
54. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$320,250.00 RECORDED FEBRUARY 5, 2014 AS INSTRUMENT NO. 2014-0049470 OF OFFICIAL RECORDS.
DATED: JANUARY 30, 2014
TRUSTOR: JAIME SERRATO AND MARIA ELENA SERRATO, HUSBAND AND WIFE AS JOINT TENANTS
TRUSTEE: FIRST AMERICAN TITLE INSURANCE COMPANY
BENEFICIARY: MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS NOMINEE FOR LENDER: EVERBANK, A FEDERAL SAVINGS ASSOCIATION
55. AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 23, 2016 AS INSTRUMENT NO. 2016-0078077 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
56. AN EASEMENT FOR TEMPORARY CONSTRUCTION AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 26, 2016 AS INSTRUMENT NO. 2016-0084354 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
57. AN OPTION IN FAVOR OF MERIDIAN COMMUNITIES, LLC, A DELAWARE LIMITED LIABILITY COMPANY AS CONTAINED IN OR DISCLOSED BY A DOCUMENT RECORDED NOVEMBER 18, 2021 AS INSTRUMENT NO. 2021-0798108 OF OFFICIAL RECORDS.
58. ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH NAME PARTIES WITH THE SAME OR SIMILAR NAMES AS JAMIE SERRATO AND MARIA ELENA SERRATO. THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.

THE FOLLOWING MATTERS AFFECT TRACT 3:

59. EASEMENTS AND RIGHTS OF WAY FOR, BUT NOT NECESSARILY LIMITED TO, ROAD AND UTILITIES AND APPURTENANCES THERETO, AS CONVEYED, RESERVED OR DEDICATED BY VARIOUS INSTRUMENTS OF RECORD.
AFFECTS: THE EASEMENT PARCEL OR EASEMENT PARCELS HEREIN DESCRIBED
60. AN EASEMENT FOR AN UNDIVIDED ONE-HALF INTEREST IN PIPE LINE NOW LAID ALONG THE SOUTH LINE OF SAID LAND AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED APRIL 8, 1899 IN BOOK 278 OF DEEDS, PAGE 247.
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
61. AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 17, 1921 IN BOOK 861 OF DEEDS, PAGE 434.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
SAID DEED RECITES: "GRANTOR COVENANTS FOR HIMSELF, HIS SUCCESSORS AND ASSIGNS, NOT TO PLACE OR MAINTAIN ANY BUILDING OR STRUCTURE ON SAID EASEMENT."
62. A RIGHT OF WAY AND INCIDENTS THERETO FOR PUBLIC ROAD PURPOSES AS GRANTED TO THE COUNTY OF SAN DIEGO BY DEED RECORDED: JUNE 30, 1931
FILE NO. - BOOK 1904, PAGE 403 OF DEEDS
AFFECTS: RT 19 DIV. 1
SAID INSTRUMENT ALSO GRANTS THE RIGHT TO EXTEND AND MAINTAIN DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS OF SAID RIGHT OF WAY WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE.
63. AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 14, 1934 AS BOOK 253, PAGE 404 OF OFFICIAL RECORDS.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
SAID DEED RECITES: "GRANTOR COVENANTS FOR HIMSELF, HIS SUCCESSORS AND ASSIGNS, NOT TO PLACE OR MAINTAIN ANY BUILDING OR STRUCTURE ON SAID EASEMENT."
64. AN EASEMENT FOR AERIAL AND UNDERGROUND COMMUNICATION STRUCTURES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 20, 1940 AS BOOK 1073, PAGE 305 OF OFFICIAL RECORDS.
IN FAVOR OF: PACIFIC TELEPHONE AND TELEGRAPH COMPANY
AFFECTS: FIFTY (50) FEET EACH SIDE OF THE EXISTING POLE LINE
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
65. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED IN MAP NO. 3862 OF RECORD OF SURVEYS.
66. AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AUGUST 7, 1956 AS BOOK 6209, PAGE 568 OF OFFICIAL RECORDS.
SAID EASEMENT HAS BEEN GRANTED AND/OR RESERVED IN VARIOUS INSTRUMENTS OF RECORD.
67. THE EFFECT OF A DOCUMENT ENTITLED "QUITCLAIM DEED", RECORDED JANUARY 4, 1995 AS INSTRUMENT NO. 1995-2938 OF OFFICIAL RECORDS.
THE REQUIREMENT THE DOCUMENT IS RE-RECORDED TO INCLUDE A COMPLETE AND CORRECT LEGAL DESCRIPTION.
68. AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED JANUARY 22, 2016 AS INSTRUMENT NO. 2016-28885 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
69. AN EASEMENT FOR TEMPORARY CONSTRUCTION AND INCIDENTAL PURPOSES, RECORDED JANUARY 22, 2016 AS INSTRUMENT NO. 2016-29343 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
70. AN OPTION IN FAVOR OF MERIDIAN COMMUNITIES, LLC, A DELAWARE LIMITED LIABILITY COMPANY AS CONTAINED IN OR DISCLOSED BY A DOCUMENT RECORDED NOVEMBER 17, 2021 AS INSTRUMENT NO. 2021-0794976 OF OFFICIAL RECORDS.
71. ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH NAME PARTIES WITH THE SAME OR SIMILAR NAMES AS JOSE J. TOSCANO SR.. THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.

THE FOLLOWING MATTERS AFFECT TRACT 4:

72. AN EASEMENT FOR WATER DITCHES, PIPES, PIPELINES, CONDUITS AND AQUEDUCTS FOR THE CONVEYANCE OF WATER AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED DECEMBER 14, 1896 IN BOOK 255 OF DEEDS, PAGE 484.
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
73. AN EASEMENT FOR REMOVE BRUSH WITH THE NECESSARY WIRES AND FIXTURES, AND TO KEEP SAME FREE FROM FOLIAGE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED SEPTEMBER 20, 1940 AS BOOK 1073, PAGE 305 OF OFFICIAL RECORDS.
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
74. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED MAP NO. 1015 OF RECORD OF SURVEYS.
75. AN EASEMENT FOR RIGHT OF WAY FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED APRIL 14, 1955 AS BOOK 5604, PAGE 285 OF OFFICIAL RECORDS.
AFFECTS: PARCEL ONE
76. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED MAP NO. 3882 OF RECORD OF SURVEYS.
77. AN EASEMENT FOR RIGHT OF WAY FOR INGRESS AND EGRESS FOR ROAD AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AUGUST 07, 1956 AS BOOK 6209, PAGE 568 OF OFFICIAL RECORDS.
AFFECTS: PARCEL ONE

TITLE REPORT EXCEPTIONS (CONTINUED)

78. AN EASEMENT FOR POLE LINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED MAY 27, 1963 AS INSTRUMENT NO. 91825 OF OFFICIAL RECORDS.
79. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED MAP NO. 7463 OF RECORD OF SURVEYS.
80. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED MAP NO. 10542 OF RECORD OF SURVEYS.
81. AN EASEMENT FOR TEMPORARY CONSTRUCTION, WITH THE RIGHT TO CONSTRUCT AN ACCESS OAD WITH THE RIGHT TO INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 13, 015 AS INSTRUMENT NO. 15-0590096 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: PARCEL ONE
82. AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED NOVEMBER 13, 2015 AS INSTRUMENT NO. 15-0590103 OF OFFICIAL RECORDS.
AFFECTS: PARCEL ONE
83. AN EASEMENT FOR TEMPORARY CONSTRUCTION, WITH THE RIGHT TO CONSTRUCT AN ACCESS ROAD WITH THE RIGHT TO INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 24, 2015 AS INSTRUMENT NO. 15-0608233 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: PARCEL TWO
84. AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 05, 2016 AS INSTRUMENT NO. 16-0004200 OF OFFICIAL RECORDS.
AFFECTS: PARCEL TWO
85. ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM THE EASTERLY BOUNDARY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED JANUARY 05, 2016 AS INSTRUMENT NO. 16-0004200 OF OFFICIAL RECORDS.
86. AN OPTION IN FAVOR OF MERIDIAN COMMUNITIES, LLC, A DELAWARE LIMITED LIABILITY COMPANY AS CONTAINED IN OR DISCLOSED BY A DOCUMENT RECORDED JANUARY 10, 2022 AS INSTRUMENT NO. 2022-0012817 OF OFFICIAL RECORDS.
87. ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH NAME PARTIES WITH THE SAME OR SIMILAR NAMES AS CHARLES SMITH. THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.
88. ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH NAME PARTIES WITH THE SAME OR SIMILAR NAMES AS SMITH TRUST. THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE FURTHER DOCUMENTATION REGARDING THE ENTITY IN QUESTION.
89. ANY RIGHT, TITLE OR INTEREST OF THE SPOUSE (IF ANY) OF ROLEEN SMITH SANDERSON.

THE FOLLOWING MATTERS AFFECT TRACT 5:

90. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT" EXECUTED BY AND BETWEEN HENRY FINK AND ESCONDIDO IRRIGATION DISTRICT RECORDED DECEMBER 14, 1896 IN BOOK 255, PAGE 481 OF DEEDS.
91. THE FOLLOWING RESERVATION IN DEED FROM W. L. RAMEY AND FLORENCE L. RAMEY, HUSBAND AND WIFE TO A.W. WOHLFORD, RECORDED APRIL 8, 1899, IN BOOK 277, PAGE 79 OF DEEDS:
"RESERVING THE RIGHT OF WAY AND THE UNDIVIDED 1/2 INTEREST IN A PIPELINE AND FLUME AS NOW CONSTRUCTED ALONG THE EAST LINE OF THE ABOVE DESCRIBED LAND, AND CONNECTED WITH THE MAIN PIPE LINE OF THE ESCONDIDO IRRIGATION DISTRICT."
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
92. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT REGARDING BOUNDARY AGREEMENT" RECORDED NOVEMBER 21, 1901 IN BOOK 309, PAGE 369 OF DEEDS.
NOTE: SIMILAR AGREEMENT RECORDED AUGUST 19, 1932, AS INSTRUMENT NO. 40124, IN BOOK 147, PAGE 335, OF OFFICIAL RECORDS.
93. AN EASEMENT FOR POLES AND POWER LINES FOR PURPOSE OF CONVEYING ELECTRIC CURRENT AND INCIDENTAL PURPOSES, RECORDED MAY 17, 1915 IN BOOK 680 OF DEEDS, PAGE 254.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
94. AN EASEMENT FOR POLES, WIRES AND ANCHORAGE FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 22, 1915 IN BOOK 695 OF DEEDS, PAGE 149.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
95. AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 08, 1918 IN BOOK 757 OF DEEDS, PAGE 452.
IN FAVOR OF: ESCONDIDO SAVINGS BANK
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
96. AN EASEMENT FOR A PERPETUAL RIGHT OF WAY AND INCIDENTAL PURPOSES, RECORDED OCTOBER 02, 1925 IN BOOK 1127 OF DEEDS, PAGE 153.
IN FAVOR OF: VISTA IRRIGATION DISTRICT, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
97. AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 28, 1930 IN BOOK 1847 OF DEEDS, PAGE 27.
IN FAVOR OF: W. FRED BEVEN AND ESTER VICTORIA BEVEN, HUSBAND AND WIFE AS JOINT TENANTS
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
98. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF MATTERS, IF ANY, DISCLOSED BY THAT CERTAIN RECORD OF SURVEY MAP NO. 737 FILED MAY 18, 1939.
99. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF MATTERS, IF ANY, DISCLOSED BY THAT CERTAIN RECORD OF SURVEY NO. 1015 FILED JULY 11, 1942.
100. AN EASEMENT FOR PIPELINE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 22, 1954 IN BOOK 5407, PAGE 356 OF OFFICIAL RECORDS.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
101. AN EASEMENT FOR A PIPELINE FOR THE CONVEYANCE OR TRANSPORTATION OF WATER AND INCIDENTAL PURPOSES, RECORDED OCTOBER 22, 1954 AS INSTRUMENT NO. 142025 IN BOOK 5407, PAGE 364 OF OFFICIAL RECORDS.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
102. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF MATTERS, IF ANY, DISCLOSED BY THAT CERTAIN RECORD OF SURVEY NO. 7463 FILED AUGUST 10, 1971.
103. AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED PER PARCEL MAP NO. 6048.
FOR: PRIVATE ROAD AND INCIDENTAL PURPOSES.
104. THE FOLLOWING MATTERS SHOWN OR DISCLOSED BY THE FILED OR RECORDED PARCEL MAP NO. 6048:
INUNDATION BY 100 YEAR FLOOD
NOTE: IT IS THE RESPONSIBILITY OF THE SUBDIVIDER TO PROVIDE INSURABLE ACCESS TO EACH PARCEL CREATED BY THIS MAP.
EACH PARCEL IS APPROVED FOR A STANDARD SEPTIC TANK CONNECTED TO 380 FEET OF TILE DRAIN FIELD TO SERVE A THREE BEDROOM DWELLING, PROVIDED NO EXTENSIVE LAND CUTS OR FILLS ARE MADE. THIS DOES NOT CONSTITUTE APPROVAL FOR COMMERCIAL ESTABLISHMENTS.
105. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED MAY 5, 2003 AS INSTRUMENT NO. 2003-0520672 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12955, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
106. THE LACK OF A RIGHT OF ACCESS TO AND FROM THE LAND.

TITLE REPORT EXCEPTIONS (CONTINUED)

THE FOLLOWING MATTERS AFFECT TRACT 6:

107. AN EASEMENT FOR DITCH AND PIPE LINES AND INCIDENTAL PURPOSES, RECORDED IN BOOK 255 OF DEEDS, PAGE 481.
IN FAVOR OF: ESCONDIDO IRRIGATION DISTRICT
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
108. AN EASEMENT FOR PIPELINE AND INCIDENTAL PURPOSES, RECORDED DECEMBER 14, 1896 IN BOOK 255 OF DEEDS, PAGE 484.
IN FAVOR OF: ESCONDIDO IRRIGATION DISTRICT
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
109. AN EASEMENT FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, RECORDED AUGUST 22, 1896 AS BOOK 14, PAGE 26 OF MISCELLANEOUS RECORDS.
IN FAVOR OF: COUNTY OF SAN DIEGO
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
110. AN EASEMENT FOR THE RIGHT OF WAY AND THE UNDIVIDED 1/2 INTEREST IN A PIPE LINE AND FLUME AS NOW CONSTRUCTED AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED APRIL 08, 1899 IN BOOK 277 OF DEEDS, PAGE 79.
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
111. AN EASEMENT FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, RECORDED IN BOOK 312 OF DEEDS, PAGE 70.
IN FAVOR OF: COUNTY OF SAN DIEGO
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
NOTE: BY AN ORDER OF THE BOARD OF SUPERVISORS HAD ON MAY 27, 1940, THOSE PORTIONS OF ROAD SURVEY NO. 185, SITUATED IN SECTIONS 5 AND 6, TOWNSHIP 12 SOUTH, RANGE 1 WEST, AND SECTION 31, TOWNSHIP 11 SOUTH, RANGE 1 WEST, LYING WITHIN ROAD SURVEY NO. 575, WERE CLOSED TO PUBLIC USE, A CERTIFIED COPY OF SAID ORDER WAS RECORDED JUNE 5, 1940 IN BOOK 1033, PAGE 281, OFFICIAL RECORDS.
112. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "BOUNDARY AGREEMENT" EXECUTED BY AND BETWEEN A. W. WOHLFORD AND S. D. HEADINGTON RECORDED NOVEMBER 21, 1901 IN BOOK 309, PAGE 369 OF DEEDS AND RECORDED AUGUST 19, 1932 IN BOOK 147, PAGE 335 AS INSTRUMENT NO. 40124, OF OFFICIAL RECORDS.
113. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED MAY 17, 1915 IN INSTRUMENT NO. 9423 IN BOOK 680 OF DEEDS, PAGE 254.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
114. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 22, 1915 IN BOOK 695 OF DEEDS, PAGE 149.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
115. AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 02, 1925 IN BOOK 1127 OF DEEDS, PAGE 153.
IN FAVOR OF: VISTA IRRIGATION DISTRICT
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
116. AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 04, 1934 AS INSTRUMENT NO. 461 OF OFFICIAL RECORDS.
IN FAVOR OF: ESCONDIDO MUTUAL WATER COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
117. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED NOVEMBER 26, 1940 IN MAP NO. 890 OF RECORD OF SURVEYS.
118. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED JULY 11, 1942 IN MAP NO. 1015 OF RECORD OF SURVEYS.
119. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 22, 1954 AS BOOK 5407, PAGE 356 OF OFFICIAL RECORDS.
IN FAVOR OF: ESCONDIDO MUTUAL WATER DISTRICT
AFFECTS: AS DESCRIBED THEREIN
THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
120. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED MARCH 23, 1956 IN MAP NO. 3882 OF RECORD OF SURVEYS.
121. THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED AUGUST 10, 1971 IN MAP NO. 7463 OF RECORD OF SURVEYS.
122. "COVENANTS, CONDITIONS AND RESTRICTIONS IN THE DOCUMENT RECORDED SEPTEMBER 22, 1988 AS INSTRUMENT NO. 1988-478568 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12955, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS."
123. "COVENANTS, CONDITIONS AND RESTRICTIONS IN THE DOCUMENT RECORDED JUNE 04, 1992 AS INSTRUMENT NO. 1992-0348018 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION, OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12955, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS."
124. AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 12, 2015 AS INSTRUMENT NO. 2015-0589014 OF OFFICIAL RECORDS.
IN FAVOR OF: THE CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
125. AN EASEMENT FOR TEMPORARY CONSTRUCTION AND INCIDENTAL PURPOSES, RECORDED DECEMBER 16, 2015 AS INSTRUMENT NO. 2015-0643152 OF OFFICIAL RECORDS.
IN FAVOR OF: THE CITY OF ESCONDIDO, A MUNICIPAL CORPORATION
AFFECTS: AS DESCRIBED THEREIN
TERMS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
126. ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH NAME PARTIES WITH THE SAME OR SIMILAR NAMES AS BILLY D. NORMAN. THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.

THE FOLLOWING MATTERS AFFECT ALL TRACTS:

127. ANY EASEMENTS AND/OR SERVITUDES AFFECTING EASEMENT PARCEL(S) 2 OF TRACT 3 HEREIN DESCRIBED.
128. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.
129. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
130. RIGHTS OF PARTIES IN POSSESSION.
AFFECTS: TRACTS 1 AND 4

TITLE REPORT EXCEPTIONS (CONTINUED)

PRIOR TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE, THE COMPANY WILL REQUIRE:

131. WITH RESPECT TO LARK & SONS LLC, A DELAWARE LIMITED LIABILITY COMPANY:
A. A COPY OF ITS OPERATING AGREEMENT AND ANY AMENDMENTS THERETO;
B. IF IT IS A CALIFORNIA LIMITED LIABILITY COMPANY, THAT A CERTIFIED COPY OF ITS ARTICLES OF ORGANIZATION (LLC-1) AND ANY CERTIFICATE OF CORRECTION (LLC-11), CERTIFICATE OF AMENDMENT (LLC-2), OR RESTATEMENT OF ARTICLES OF ORGANIZATION (LLC-10) BE RECORDED IN THE PUBLIC RECORDS;
C. IF IT IS A FOREIGN LIMITED LIABILITY COMPANY, THAT A CERTIFIED COPY OF ITS APPLICATION FOR REGISTRATION (LLC-5) BE RECORDED IN THE PUBLIC RECORDS;
D. WITH RESPECT TO ANY DEED, DEED OF TRUST, LEASE, SUBORDINATION AGREEMENT OR OTHER DOCUMENT OR INSTRUMENT EXECUTED BY SUCH LIMITED LIABILITY COMPANY AND PRESENTED FOR RECORDATION BY THE COMPANY OR UPON WHICH THE COMPANY IS ASKED TO RELY, THAT SUCH DOCUMENT OR INSTRUMENT BE EXECUTED IN ACCORDANCE WITH ONE OF THE FOLLOWING, AS APPROPRIATE:
(I) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH OFFICERS APPOINTED OR ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT MUST BE EXECUTED BY AT LEAST TWO DULY ELECTED OR APPOINTED OFFICERS, AS FOLLOWS: THE CHAIRMAN OF THE BOARD, THE PRESIDENT OR ANY VICE PRESIDENT, AND ANY SECRETARY, ASSISTANT SECRETARY, THE CHIEF FINANCIAL OFFICER OR ANY ASSISTANT TREASURER;
(II) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH A MANAGER OR MANAGERS IDENTIFIED IN THE ARTICLES OF ORGANIZATION AND/OR DULY ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT MUST BE EXECUTED BY AT LEAST TWO SUCH MANAGERS OR BY ONE MANAGER IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES WITH THE EXISTENCE OF ONLY ONE MANAGER;
E. OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE
AFFECTS: TRACT 1
132. WITH RESPECT TO LARK & SONS LLC, A DELAWARE LIMITED LIABILITY COMPANY, A CERTIFICATE OF REVIVOR AND A CERTIFICATE OF RELIEF FROM CONTRACT VOIDABILITY ISSUED BY THE FRANCHISE TAX BOARD OF THE STATE OF CALIFORNIA.
AFFECTS: TRACT 1
133. WITH RESPECT TO VALLE LINDO PROPERTIES, LLC, A DELAWARE LIMITED LIABILITY COMPANY:
A. A COPY OF ITS OPERATING AGREEMENT AND ANY AMENDMENTS THERETO;
B. IF IT IS A CALIFORNIA LIMITED LIABILITY COMPANY, THAT A CERTIFIED COPY OF ITS ARTICLES OF ORGANIZATION (LLC-1) AND ANY CERTIFICATE OF CORRECTION (LLC-11), CERTIFICATE OF AMENDMENT (LLC-2), OR RESTATEMENT OF ARTICLES OF ORGANIZATION (LLC-10) BE RECORDED IN THE PUBLIC RECORDS;
C. IF IT IS A FOREIGN LIMITED LIABILITY COMPANY, THAT A CERTIFIED COPY OF ITS APPLICATION FOR REGISTRATION (LLC-5) BE RECORDED IN THE PUBLIC RECORDS;
D. WITH RESPECT TO ANY DEED, DEED OF TRUST, LEASE, SUBORDINATION AGREEMENT OR OTHER DOCUMENT OR INSTRUMENT EXECUTED BY SUCH LIMITED LIABILITY COMPANY AND PRESENTED FOR RECORDATION BY THE COMPANY OR UPON WHICH THE COMPANY IS ASKED TO RELY, THAT SUCH DOCUMENT OR INSTRUMENT BE EXECUTED IN ACCORDANCE WITH ONE OF THE FOLLOWING, AS APPROPRIATE:
(I) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH OFFICERS APPOINTED OR ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT MUST BE EXECUTED BY AT LEAST TWO SUCH MANAGERS OR BY ONE MANAGER IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES WITH THE EXISTENCE OF ONLY ONE MANAGER;
E. OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE
AFFECTS: TRACT 1
134. WITH RESPECT TO THE TRUST REFERRED TO IN THE VESTING:
A. A CERTIFICATION PURSUANT TO SECTION 18100.5 OF THE CALIFORNIA PROBATE CODE IN A FORM SATISFACTORY TO THE COMPANY.
B. COPIES OF THOSE EXCERPTS FROM THE ORIGINAL TRUST DOCUMENTS AND AMENDMENTS THERETO WHICH DESIGNATE THE TRUSTEE AND CONFER UPON THE TRUSTEE THE POWER TO ACT IN THE PENDING TRANSACTION.
C. OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE.
AFFECTS: TRACTS 2 THROUGH 6
135. A DEED FROM THE SPOUSE (IF ANY) OF ROLEEN SMITH SANDERSON BE RECORDED IN THE PUBLIC RECORDS, OR THE JOINDER OF THE SPOUSE NAMED HEREIN ON ANY CONVEYANCE, ENCUMBRANCE OR LEASE TO BE EXECUTED BY SAID MARRIED PERSON.
THE DEED SHOULD CONTAIN THE FOLLOWING STATEMENT:
"IT IS THE EXPRESS INTENT OF THE GRANTOR, BEING THE SPOUSE OF THE GRANTEE, TO CONVEY ALL RIGHT, TITLE AND INTEREST OF THE GRANTOR, COMMUNITY OR OTHERWISE, IN AND TO THE HEREIN DESCRIBED PROPERTY TO THE GRANTEE AS HIS/HER SOLE AND SEPARATE PROPERTY."
AFFECTS: TRACT 4

BOUNDARY AND ENCUMBRANCES

PREPARED BY:



HUNSAKER
& ASSOCIATES
SAN DIEGO, INC

PLANNING 9707 Waples Street
ENGINEERING San Diego, Ca 92121
SURVEYING PH(619)558-4500 - FX(619)558-1414

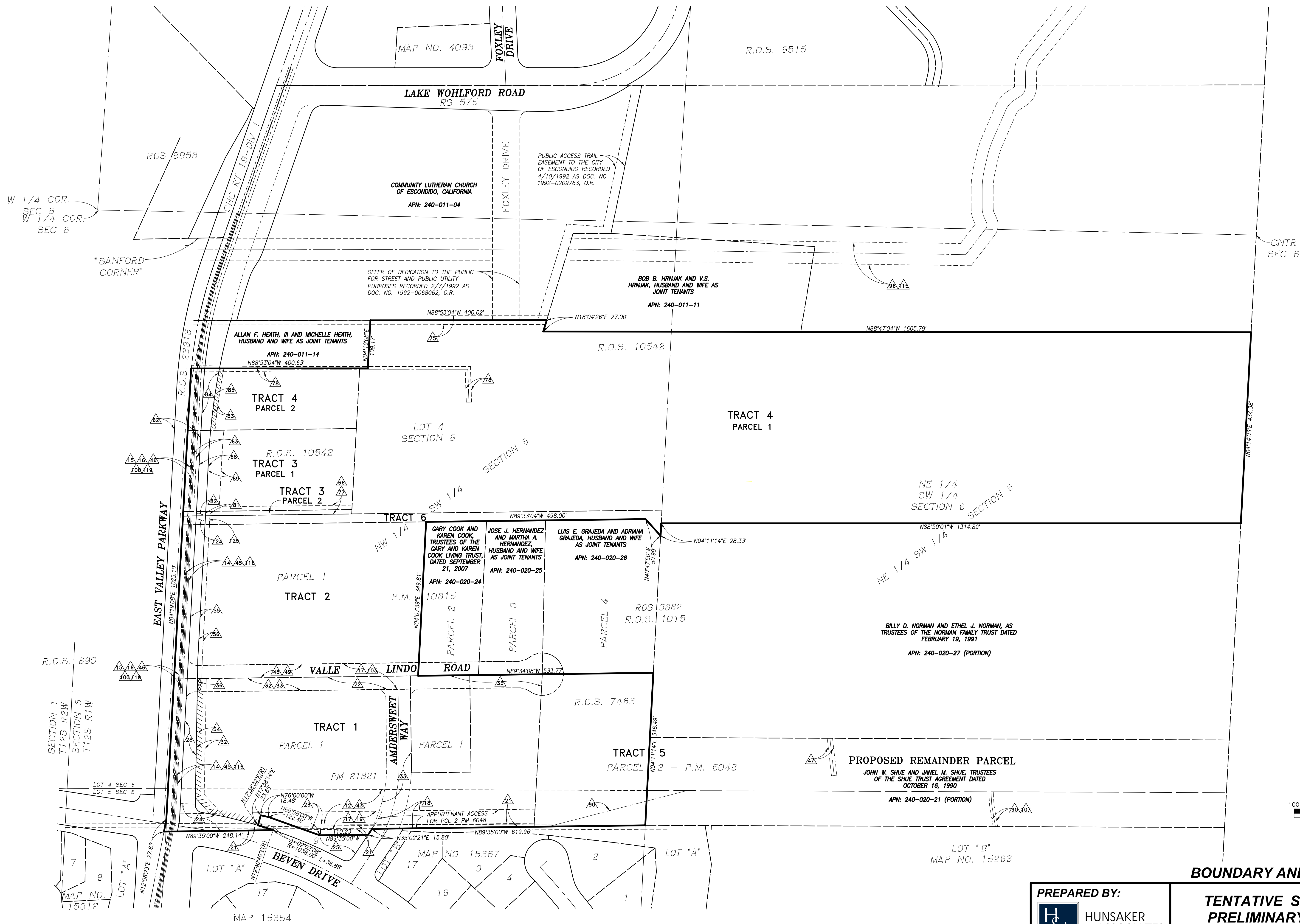
TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN

NORTHEAST GATEWAY
City of Escondido, California

SHEET

11
OF
13

W.C. 3345-0017



BOUNDARY AND ENCUMBRANCES

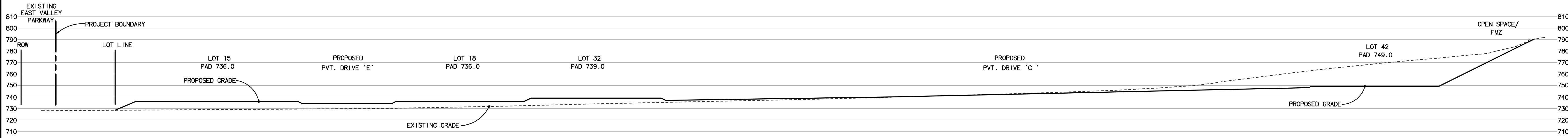
PREPARED BY:



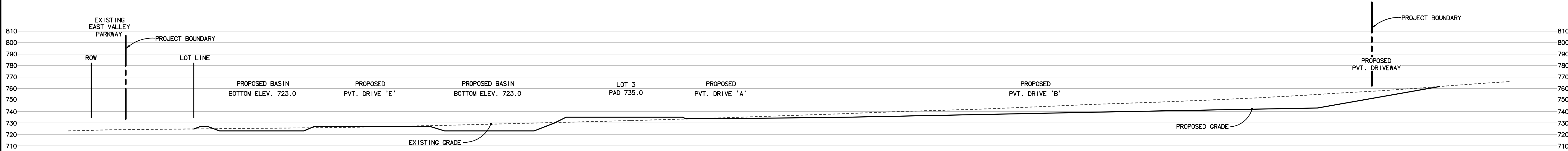
PLANNING: 9707 Waples Street
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TENTATIVE SUBDIVISION MAP/
PRELIMINARY GRADING PLAN
NORTHEAST GATEWAY
City of Escondido, California

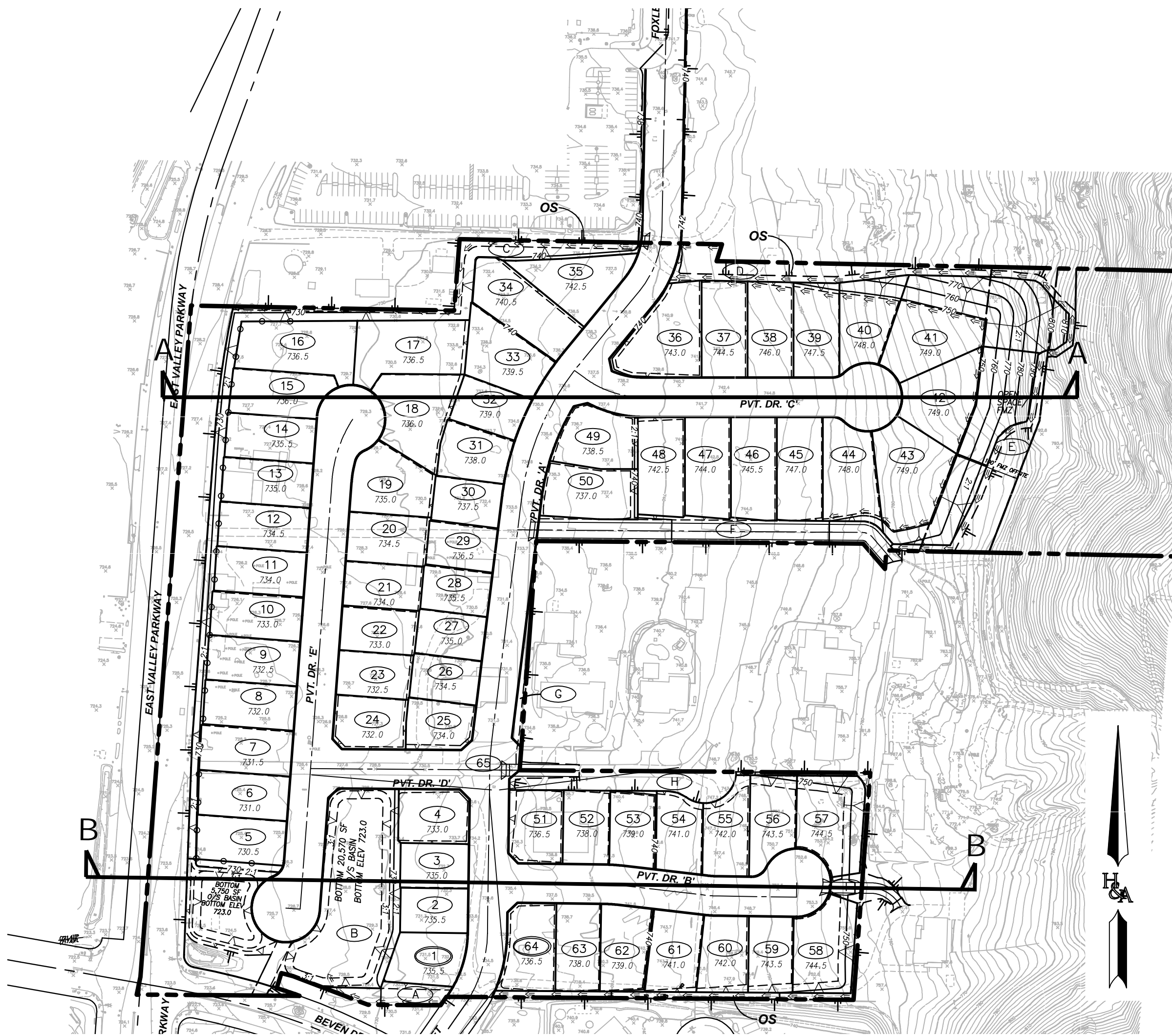
SHEET
12
OF
13



SECTION 'A-A'
1"=40'



SECTION 'B-B'
1"=40'



SECTION KEY MAP

SCALE=200'

SITE SECTIONS

PREPARED BY:



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TENTATIVE SUBDIVISION MAP/
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NORTHEAST GATEWAY
City of Escondido, California

SHEET
13
OF
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