

**LEGAL DESCRIPTION**

PORTIONS OF LOT 6 IN SECTION 4, TOWNSHIP 12 SOUTH, RANGE 2 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

**SOURCE OF TOPOGRAPHY**

TOPOGRAPHIC INFORMATION SHOWN HEREON IS BY SB&O INC., DATED AUGUST, 2020.

**BENCHMARK**

CITY OF ESCONDIDO BENCHMARK #722: CHISELED SQUARE ON TOP OF CURB, AT NORTH EDGE OF A PEDESTRIAN RAMP, ON THE NW CORNER OF N. IRIS LANE AND CHEYENNE LANE.

ELEVATION 710.47' NGVD 29

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 (NAD83) EXPRESSED IN THE TERMS OF THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE 6, EPOCH 1992, AS DETERMINED LOCALLY BY A LINE BETWEEN CITY OF ESCONDIDO POINT "1015" AND "1013 PER RECORD OF SURVEY 14236, BEING S05°13'11" E. QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

THE COMBINED SCALE FACTOR AT POINT "1015" IS 0.999922968.

GRID DISTANCE = GROUND DISTANCE TIMES COMBINED SCALE FACTOR.

CONVERGENCE ANGLE AT POINT "1015" IS: -0°28'19.877".

**ASSESSOR'S PARCEL NUMBER**

224-310-05, 224-310-06, 224-310-07, 224-310-08, 224-310-20

**CONDOMINIUM STATEMENT**

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125, ET. SQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS TO BE FILED PURSUANT TO THE SUBDIVISION ACT. THIS PROJECT PROPOSED A MAXIMUM OF 102 RESIDENTIAL CONDOMINIUMS.

**UTILITIES**

WATER: RINCON WATER DISTRICT AND VALLECITOS WATER DISTRICT  
SEWER: VALLECITOS WATER DISTRICT  
GAS: SAN DIEGO GAS & ELECTRIC  
ELECTRIC: SAN DIEGO GAS & ELECTRIC  
TRASH: EDCO

**EARTHWORK QUANTITIES**

GRADE AREA: 7.70 AC. MAX CUT DEPTH: ±15 FT.  
CUT: 17,700 C.Y. MAX CUT SLOPE RATIO (2:1 MAX): 2:1  
FILL: 33,000 C.Y. MAX FILL DEPTH: ±10 FT.  
NET IMPORT: 15,300 C.Y. MAX FILL SLOPE RATIO (2:1 MAX): 2:1

\* EARTHWORK QUANTITIES ARE APPROXIMATE

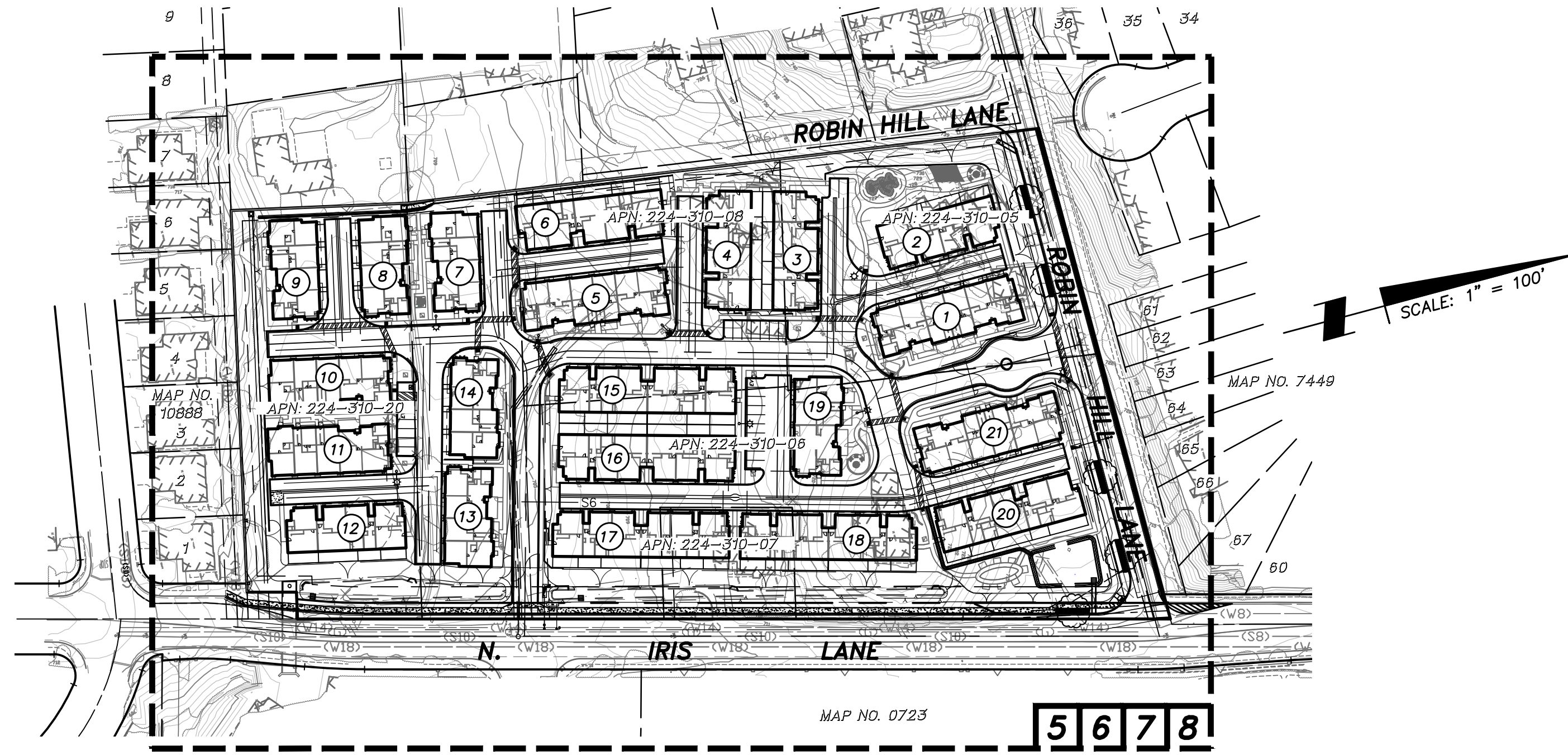
**DEVELOPMENT NOTES**

- GROSS PROJECT AREA = 7.704 AC.  
NET PROJECT AREA (REMOVE ROBIN HILL LANE EASEMENT AND IRIS LANE DEDICATION) = 7.042 AC.
- NUMBER OF EXISTING LOTS = 5.  
NUMBER OF PROPOSED LOTS = 1.  
NUMBER OF PROPOSED DWELLING UNITS = 102.  
GROSS DENSITY (DU/AC) = 13.2 DU/AC.  
NET DENSITY (DU/AC) = 14.5 DU/AC.
- A. PROPOSED GENERAL PLAN DESIGNATION: URBAN III (REQUIRES GPA).  
B. PROPOSED ZONING: PD-R-18.
- ALL BUILDINGS ARE 2 STORY WITH 3 STORY POPUP.
- ALL LOTS/UNITS SHALL BE CONNECTED TO A SANITARY SEWER SYSTEM.
- ZONE "X" FIRM MAP NO: 06073CB13G AND 06073CB11G, EFFECTIVE 5-16-2012.
- ALL ONSITE WATER, SEWER AND STORM DRAIN SHALL BE OWNED AND MAINTAINED BY THE HOA.
- SETBACKS:  
FRONT = 15 FEET.  
SIDE (INTERIOR) = 5 FEET  
SIDE (CORNER) = 10 FEET.  
BACK = 10 FEET.

**LIST OF ABBREVIATIONS**

A.P.	ACCESSIBLE PARKING	IRR.	IRRIGATION
AC.	ACRE	L.P.	LOW POINT
A.D.A.	AMERICANS WITH DISABILITIES ACT	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	MOD.	MODIFIED
BMP	BEST MANAGEMENT PRACTICES	N.A.P.	NOT A PART
B.W.	BOTTOM OF WALL	O.C.	ON CENTER
C.B.	CATCH BASIN	PKWY.	PARKWAY
©	CENTERLINE	P.V.C.	POLYVINYL CHLORIDE
C.C.O.	CLEANOUT	P.C.C.	PORTLAND CEMENT CONCRETE
CONC.	CONCRETE	P.P.	POWER POLE
C.Y.	CUBIC YARD	PVT.	PRIVATE
D.G.	DECOMPOSED GRANITE	PL	PROPERTY LINE
DIA.	DIAMETER	R.Y.S.	REAR YARD SETBACK
DWG.	DRAWING	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DWY., D/W	DRIVEWAY	R.C.P.	REINFORCED CONCRETE PIPE
D.U.	DWELLING UNIT	R/W	RIGHT-OF-WAY
E.P.	EDGE OF PAVEMENT	S.C.O.	SEWER CLEANOUT
ELEV.	ELEVATION	S.M.H.	SEWER MANHOLE
EXIST.	EXISTING	S.Y.S.	SIDE YARD SETBACK
E.O.E.	EXISTING OVERHEAD ELECTRIC	SIM.	SIMILAR
F.F.	FINISHED FLOOR	S.F.	SQUARE FEET
F.G.	FINISHED GRADE	S.D.	STORM DRAIN
F.S.	FINISHED SURFACE	S.D.C.O.	STORM DRAIN CLEANOUT
FS	FIRE SERVICE	STA.	STATION
FL	FLOWLINE	ST. LT.	STREET LIGHT
F.Y.S.	FRONT YARD SETBACK	S.G.	SUBGRADE
G.F.	GARAGE FLOOR	T.W.C.	TIME WARNER CABLE
G.B.	GRADE BREAK	T.C.	TOP OF CURB
GR.	GRATE	T.W.	TOP OF WALL
GTR.	GUTTER	TRANS.	TRANSFORMER
H.H.	HANDHOLE	TYP.	TYPICAL
H.P.	HIGH POINT	U.N.O.	UNLESS NOTED OTHERWISE
HR.	HOUR	V.W.D.	VALLECITOS WATER DISTRICT
I.E.	INVERT ELEVATION		

**TENTATIVE SUBDIVISION MAP AND PLANNED DEVELOPMENT PERMIT PLANS FOR:  
N. IRIS LANE  
PROJECT NUMBER \_\_\_\_\_**



**CIVIL ENGINEER/  
LAND SURVEYOR**

SB&O, INC.  
3990 RUFFIN ROAD, SUITE 120  
SAN DIEGO, CA. 92123  
(858) 560-1141  
CONTACT: AARON PARKER

**LANDSCAPE ARCHITECT**

GMP  
4010 SORRENTO VALLEY ROAD, SUITE 200  
SAN DIEGO, CA. 92121  
(858) 558-8977  
CONTACT: JOHN PATTERSON

**ARCHITECT**

WHA  
680 NEWPORT CENTER DRIVE, SUITE 300  
NEWPORT BEACH, CA. 92660  
(949) 250-0607  
CONTACT: NICK MANEA

**SOILS ENGINEER**

GEOLON, INC.  
6960 FLANDERS DRIVE  
SAN DIEGO, CA. 92121  
(858) 558-6900  
CONTACT: JOE PAGNOLLO

**DEVELOPMENT SUMMARY**

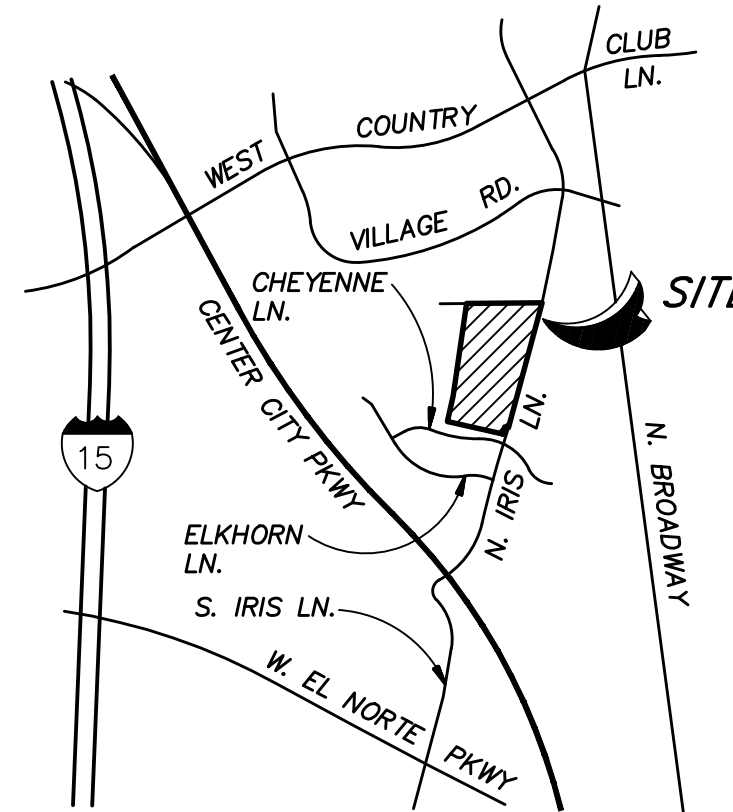
P1 Product Type		P2 Product Type	
Plan Type	Garage Standard	Plan Type	Garage Standard
1	2-car 20'0" x 20'0"	1	1-car 12'0" x 20'0"
2	2-car 20'0" x 20'0"	2	2-car 20'0" x 20'0"
3	2-car 20'0" x 20'0"	3	2-car 20'0" x 20'0"
4	2-car 20'0" x 20'0"		
Required Parking Ratio		Required Parking Spaces	
1.75 spaces per 2BR unit		24.50	
2 spaces per 3+ BR unit		176.00	
25% of Total Units (102 * 25% = 25.5)		25.50	
Total Parking Required		226	
Parking Provided		204	
Total Garage Spaces Provided		204	
Open Guest Spaces (non-ADA)		21	
ADA Spaces		2	
Guest Electric Vehicle Charging Spaces		3	
Total Garage Spaces		204	
Total Guest Parking		26	
Total Project Parking Provided		230	

OPEN SPACE	
	PROVIDED
PRIVATE OPEN SPACE PATIOS/DECKS	20,921
COMMON OPEN SPACE AREA WITH GRADES LESS THAN 10%	30,517
RECREATIONAL AREAS	10,300
<b>TOTAL</b>	<b>61,738</b>

DWELLING UNITS			
	UNITS	PARKING/DU	REQ. PARKING
2 BDRM	14	1.75	24.5
3 BDRM	38	2	76
4 BDRM	50	2	100
<b>TOTALS</b>	<b>102</b>		
GUEST PARKING		0.25	25.5
<b>GRAND TOTAL</b>	<b>102</b>		<b>226</b>

**KEY MAP**

SCALE: 1" = 100'



**VICINITY MAP**

NOT TO SCALE

**KEY MAP LEGEND**

SHEET LIMITS  
**7** SHEET NUMBER

**SHEET INDEX**

SHEET NO.	DESCRIPTION
1	TITLE SHEET/KEY MAP
2-4	DETAILS/SITE SECTIONS/TYPICAL SECTIONS
5	EXISTING CONDITIONS
6	CIRCULATION PLAN
7	HORIZONTAL CONTROL PLANS
8	GRADING AND STORM DRAIN PLANS

**LEGEND**

- PROJECT BOUNDARY
- STREET CENTERLINE
- 6" CURB AND GUTTER
- 6" OR 0" CURB (SEE PLAN FOR TYPE)
- BUILDING NO.
- TRANSFORMER PAD (APPROXIMATE LOCATION)
- TREE WELL
- P.C.C. CONCRETE
- BROW DITCH
- PEDESTRIAN RAMP
- 4" P.C.C. SIDEWALK
- DIRECTION OF DRAINAGE
- SLOPE (2:1 MAX., U.N.O.)
- DAYLIGHT LINE
- RETAINING WALL
- PROPOSED CONTOUR
- EASEMENT
- SETBACK LINE
- P.V.C. WATER MAIN (SIZE PER PLAN)
- 8" P.V.C. FIRE WATER
- 4" WATER BACKFLOW ASSEMBLY
- 4" ABOVE GROUND WATER METER
- 8" FIRE WATER DCDA
- FIRE SERVICE LATERAL
- STORM DRAIN (SIZE PER PLAN)
- STORM DRAIN CLEANOUT
- STORM DRAIN INLET (TYPE PER PLAN)
- OUTLET CONTROL STRUCTURE
- STORM DRAIN CATCH BASIN
- P.V.C. SEWER MAIN (SIZE PER PLAN)
- SEWER MANHOLE
- SEWER CLEANOUT

**EXISTING LEGEND**

- EXISTING TYPE "A-4" CLEANOUT
- EXISTING TYPE "B-1" CURB INLET
- EXISTING CONTOUR
- EXISTING CURB AND GUTTER
- EXISTING STRIPING
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING STORM DRAIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING STREET LIGHT
- EXISTING BUILDING
- EXISTING EASEMENT
- EXISTING RETAINING WALL

**OWNER/APPLICANT CERTIFICATE**

HALL LAND COMPANY  
740 LOMA SANTA FE DRIVE, SUITE 204  
SOLANA BEACH, CA. 92075  
(858) 481-3310  
CONTACT: MARIANA MCGRAIN

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS OUR ENTIRE CONTIGUOUS OWNERSHIP. WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHT OF WAY.

APPLICANT/AGENT FOR OWNER \_\_\_\_\_ DATE \_\_\_\_\_

Prepared By: SB&O INC. Revision 14: \_\_\_\_\_  
Name: \_\_\_\_\_ Revision 13: \_\_\_\_\_  
Address: 3990 RUFFIN ROAD, SUITE 120 Revision 12: \_\_\_\_\_  
SAN DIEGO, CALIFORNIA 92123 Revision 11: \_\_\_\_\_  
Phone #: (858) 560-1141 Revision 10: \_\_\_\_\_  
Project Address: \_\_\_\_\_ Revision 9: \_\_\_\_\_  
N. IRIS LANE Revision 8: \_\_\_\_\_  
ESCONDIDO, CA. Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 2: \_\_\_\_\_  
Revision 1: \_\_\_\_\_

Project Name: N. IRIS LANE

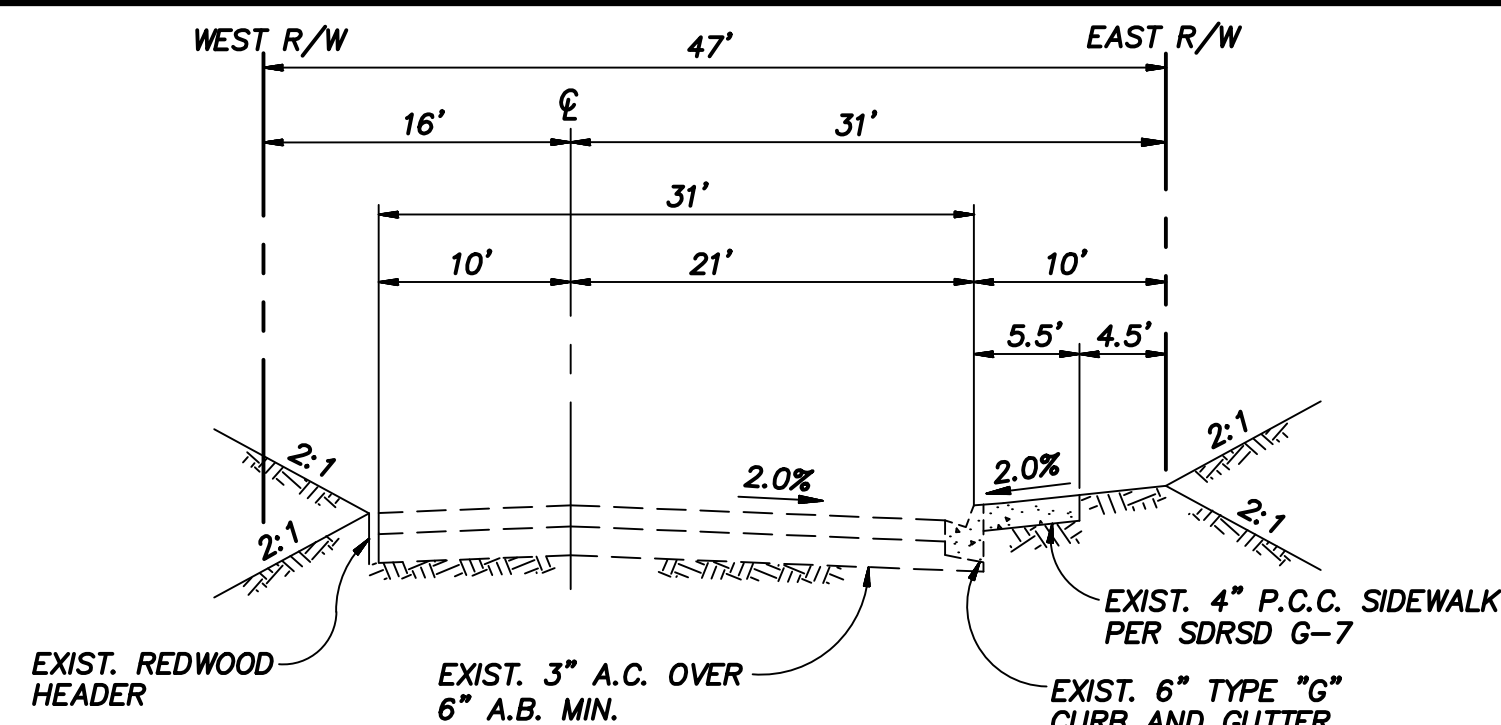
Sheet Title: TITLE SHEET/KEY MAP Original Date: 3-8-21  
Sheet 1 of 8



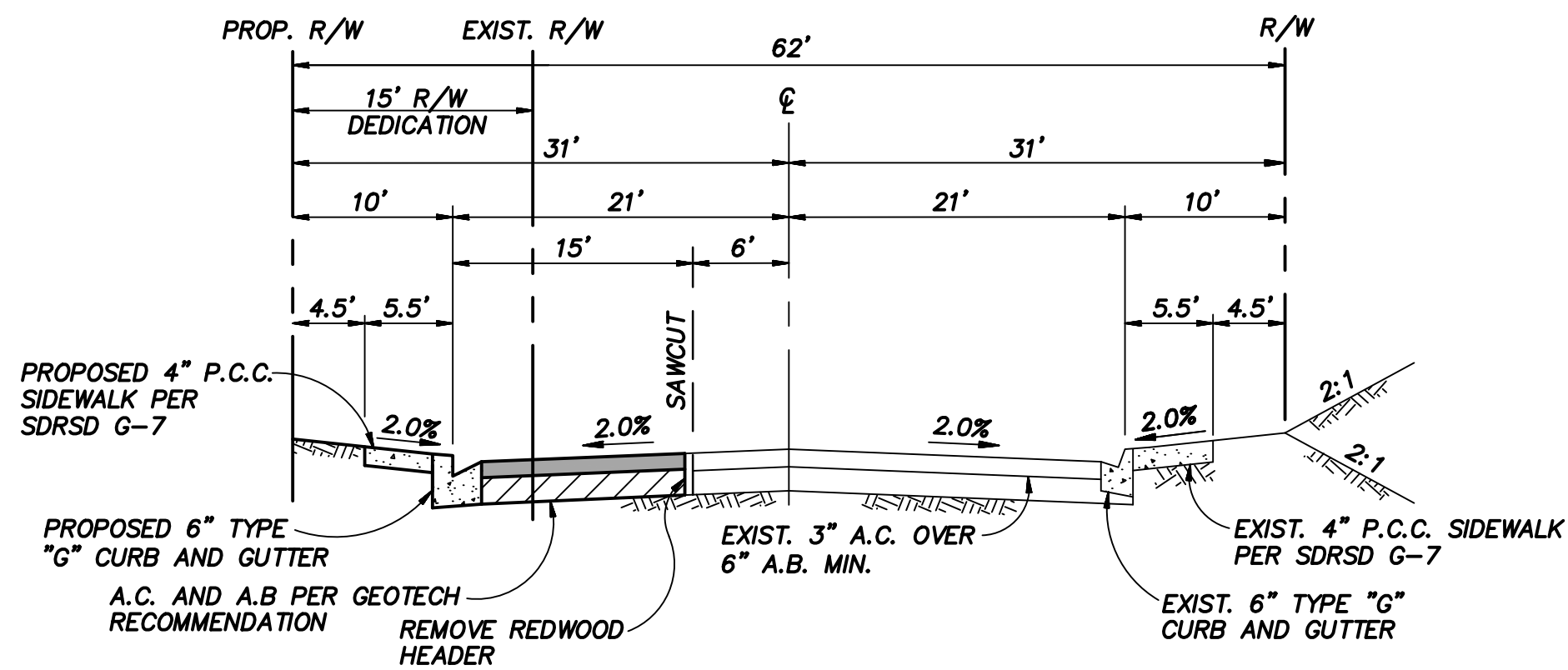
PLANNING ENGINEERING SURVEYING  
3990 Ruffin Road, Suite 120  
San Diego, CA. 92123  
858-560-1141  
858-560-8157 Fax



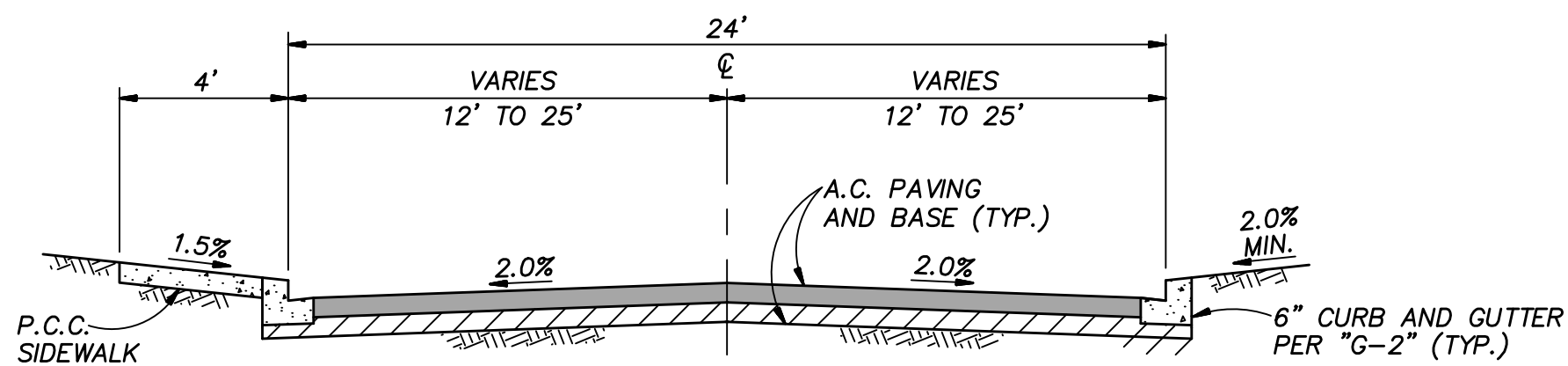
AARON PARKER P.E. 68547 DATE \_\_\_\_\_



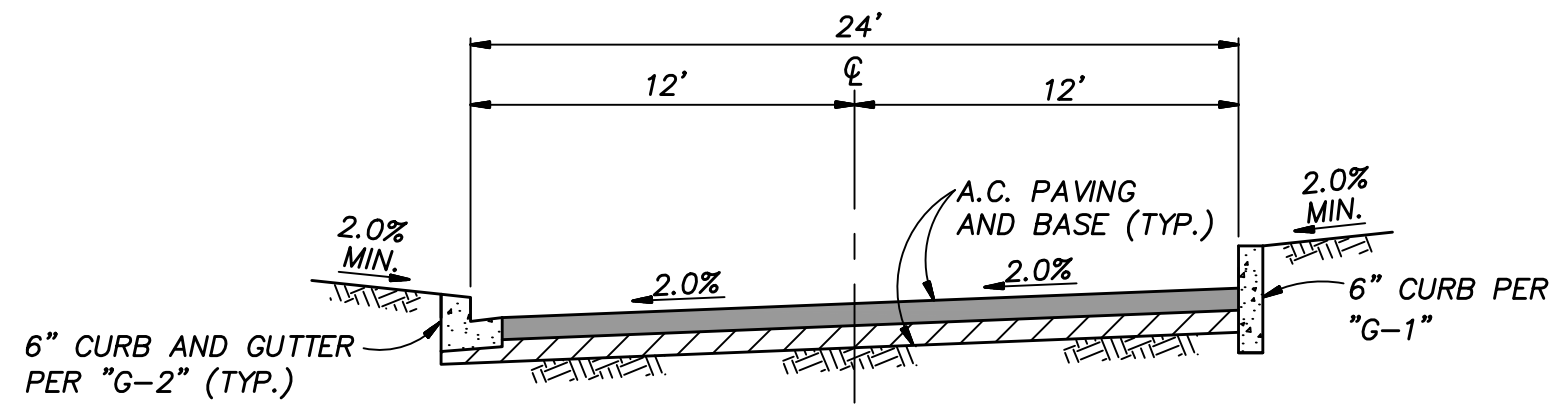
**TYPICAL SECTION ~ EXIST. N. IRIS LANE**  
SCALE: 1" = 10'(H), 1" = 5'(V)



**TYPICAL SECTION ~ PROPOSED N. IRIS LANE**  
SCALE: 1" = 10'(H), 1" = 5'(V)

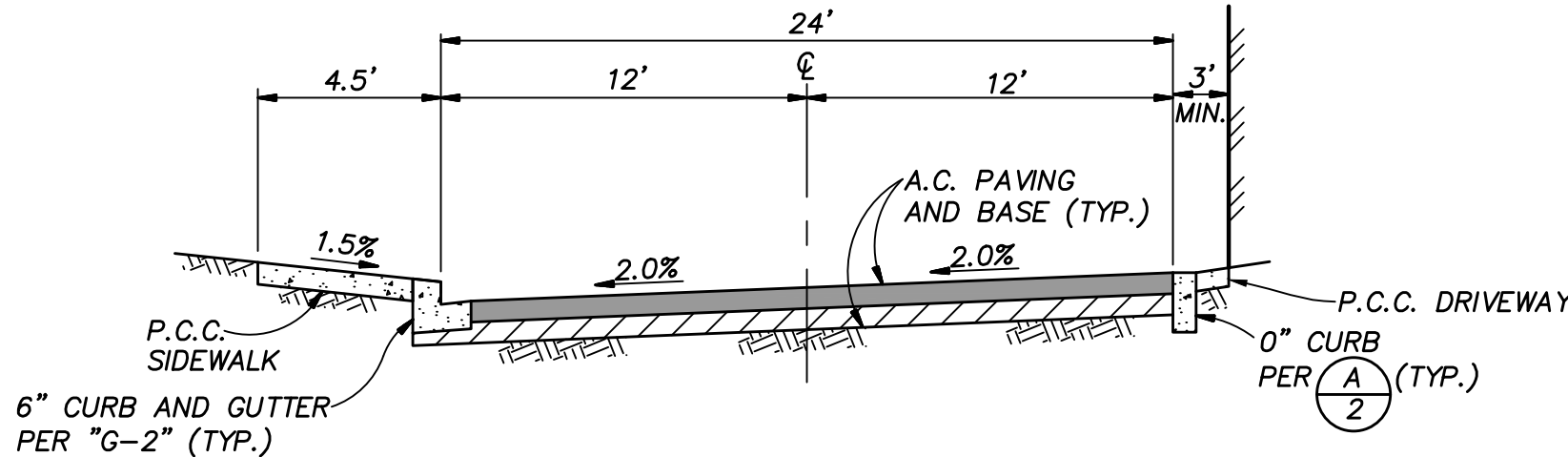


**TYPICAL SECTION ~ DRIVEWAY "A"**  
NOT TO SCALE



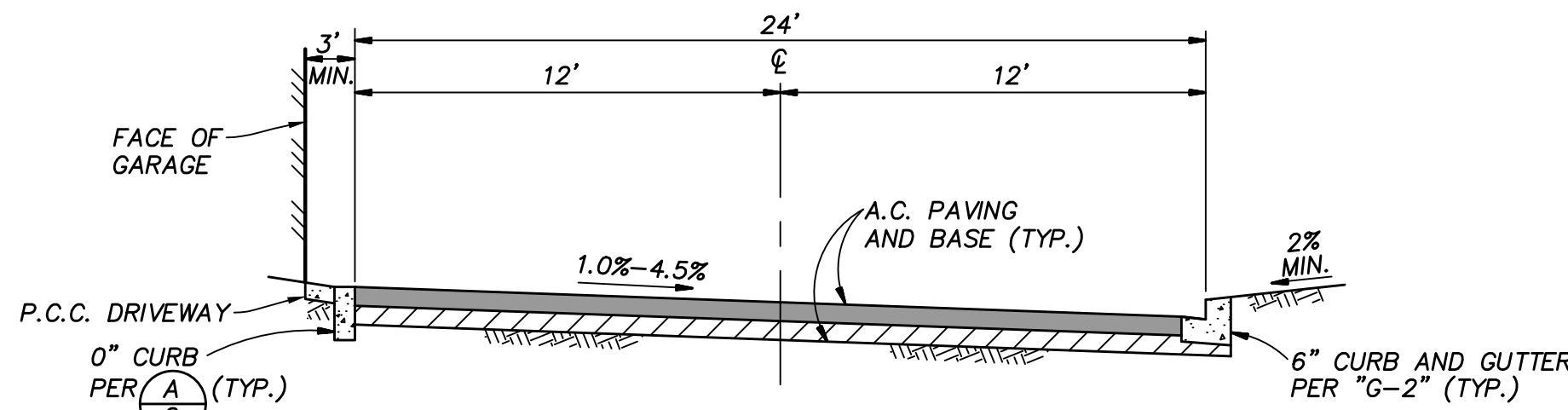
**TYPICAL SECTION ~ DRIVEWAYS "B" AND "C"**  
NOT TO SCALE

DRIVEWAY "B" - FROM STA. 16+98.54 TO STA. 19+95.96  
DRIVEWAY "C" - FROM STA. 20+30.88 TO STA. 22+26.04



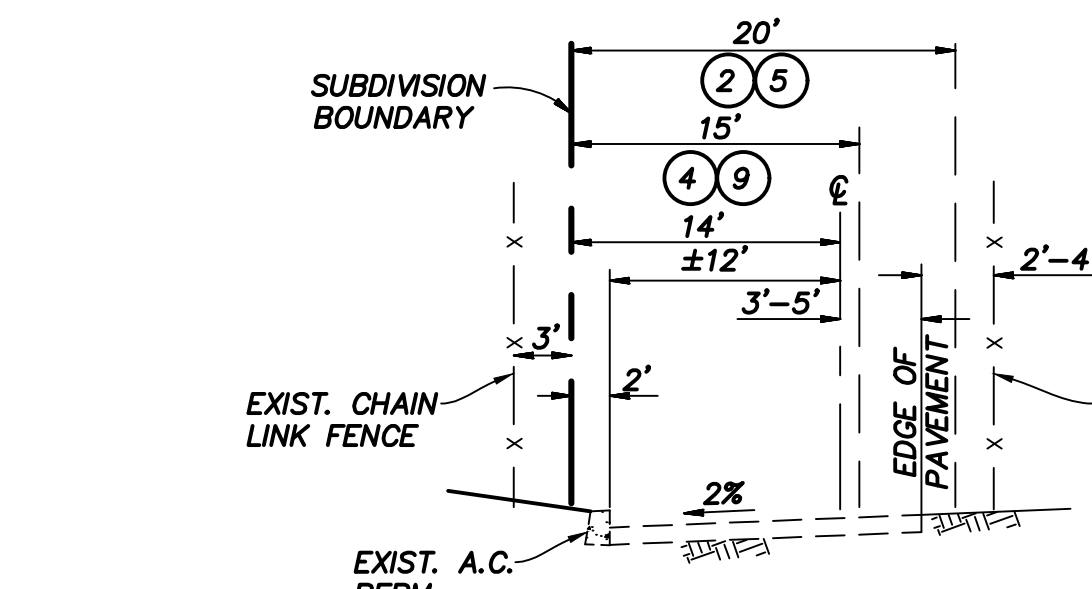
**TYPICAL SECTION ~ DRIVEWAYS "B" AND "J"**  
NOT TO SCALE

DRIVEWAY "B" - FROM STA. 15+44.90 TO 16+89.54

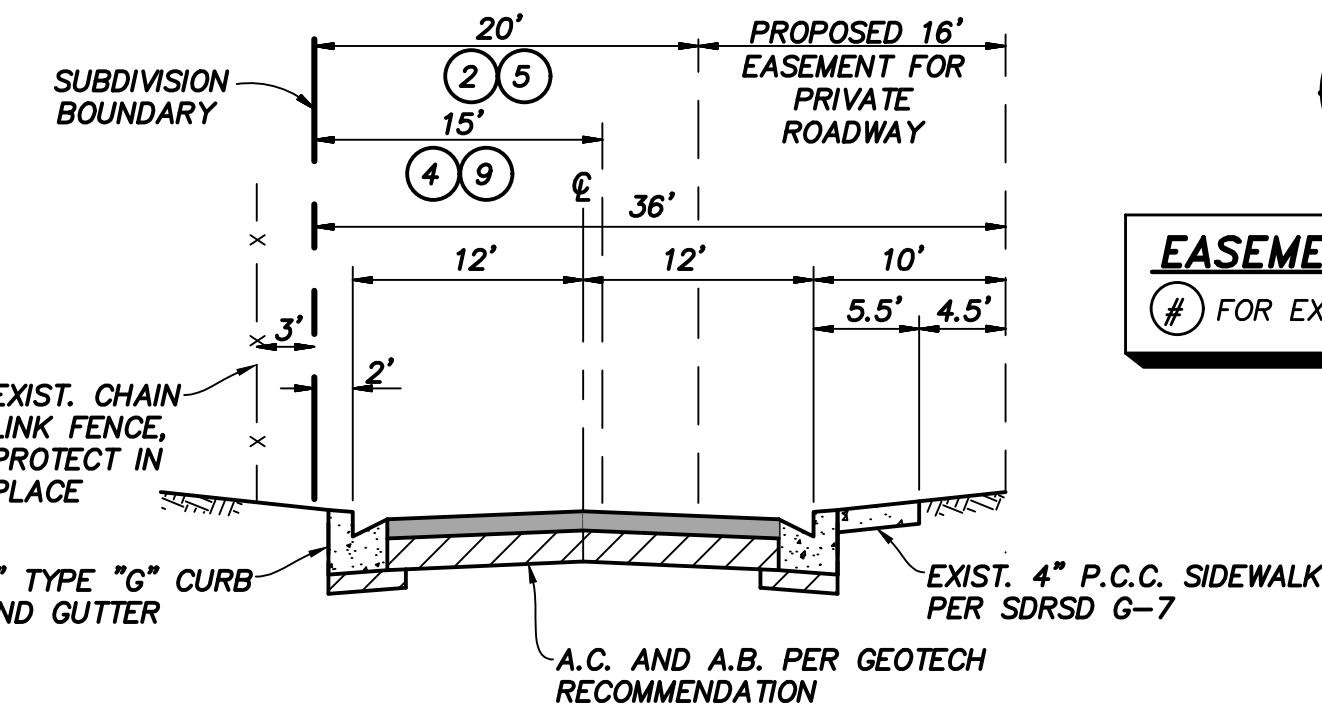


**TYPICAL SECTION ~ DRIVEWAYS "C" AND "H"**  
NOT TO SCALE

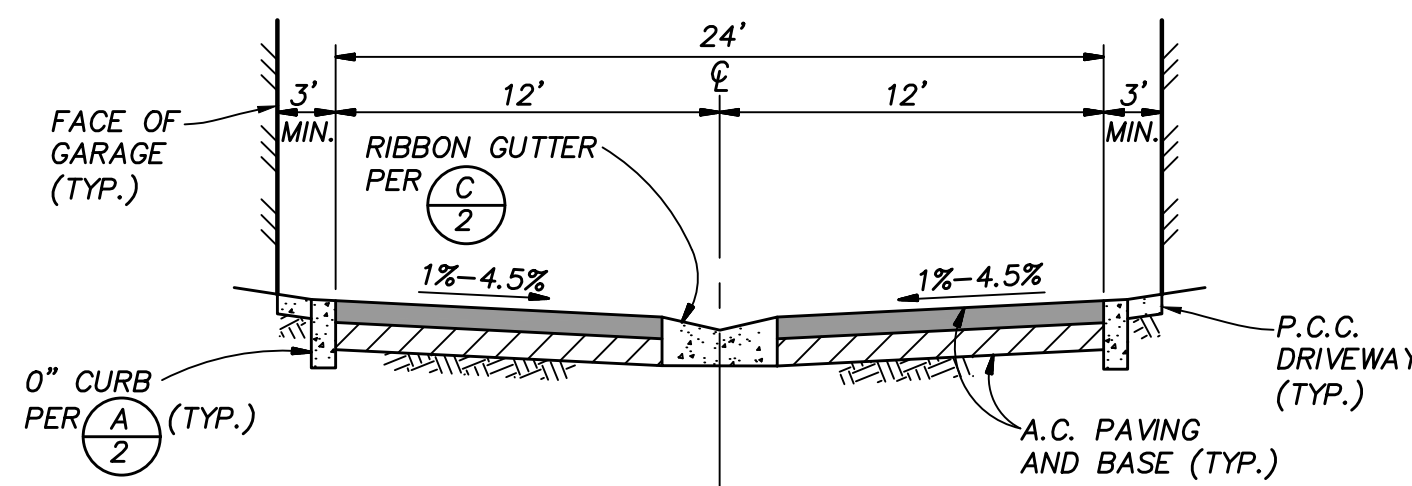
DRIVEWAY "C" - FROM STA. 23+95.90 TO STA. 25+05.66



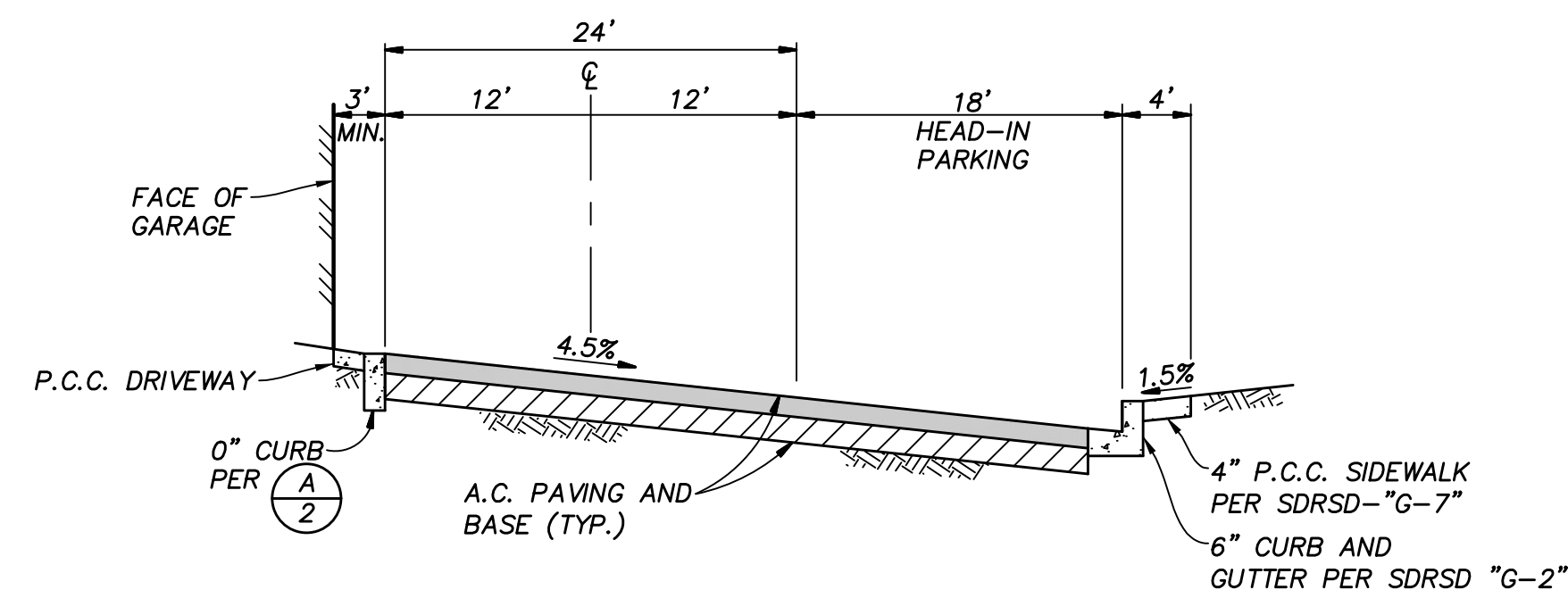
**TYPICAL SECTION ~ EXIST. ROBIN HILL LANE**  
SCALE: 1" = 10'(H), 1" = 5'(V)



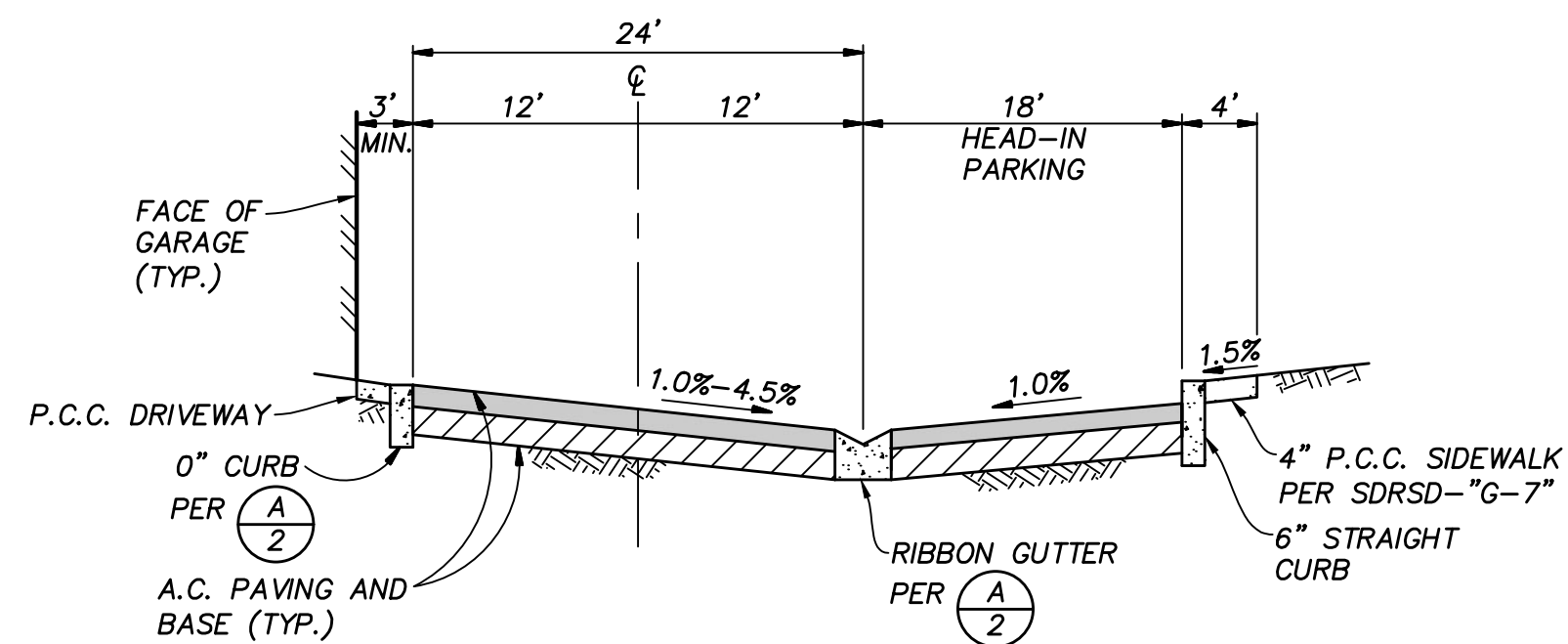
**TYPICAL SECTION ~ PROPOSED ROBIN HILL LANE**  
SCALE: 1" = 10'(H), 1" = 5'(V)



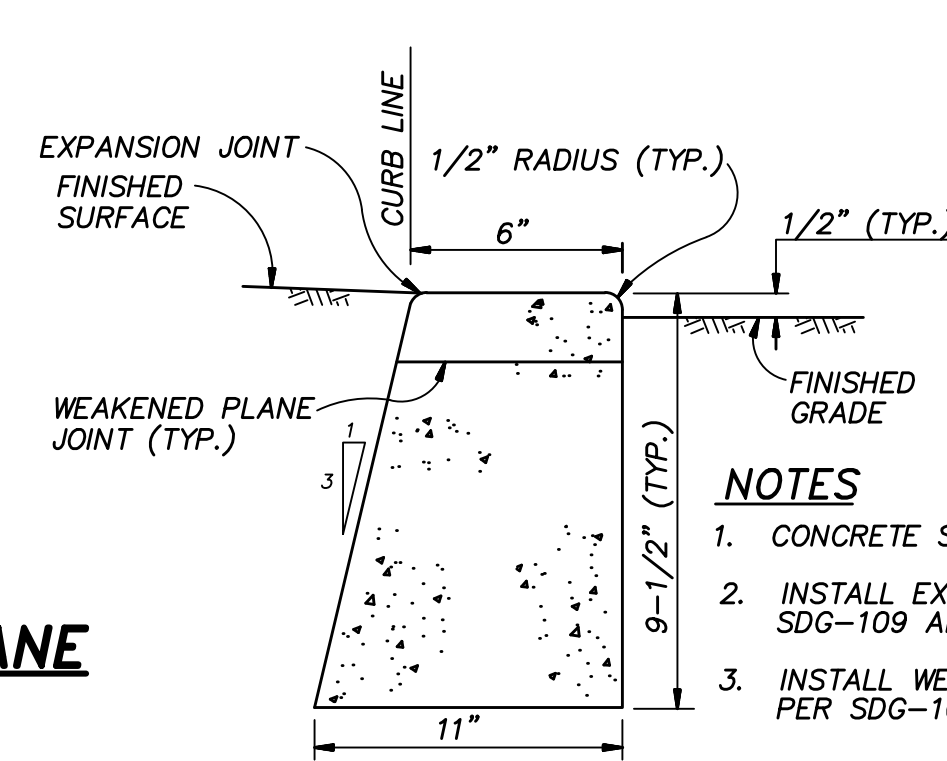
**TYPICAL SECTION  
DRIVEWAYS "D", "E", "F", "I", "L", "M" AND "N"**  
NOT TO SCALE



**TYPICAL SECTION ~ PVT. DRIVEWAY "G"**  
NOT TO SCALE

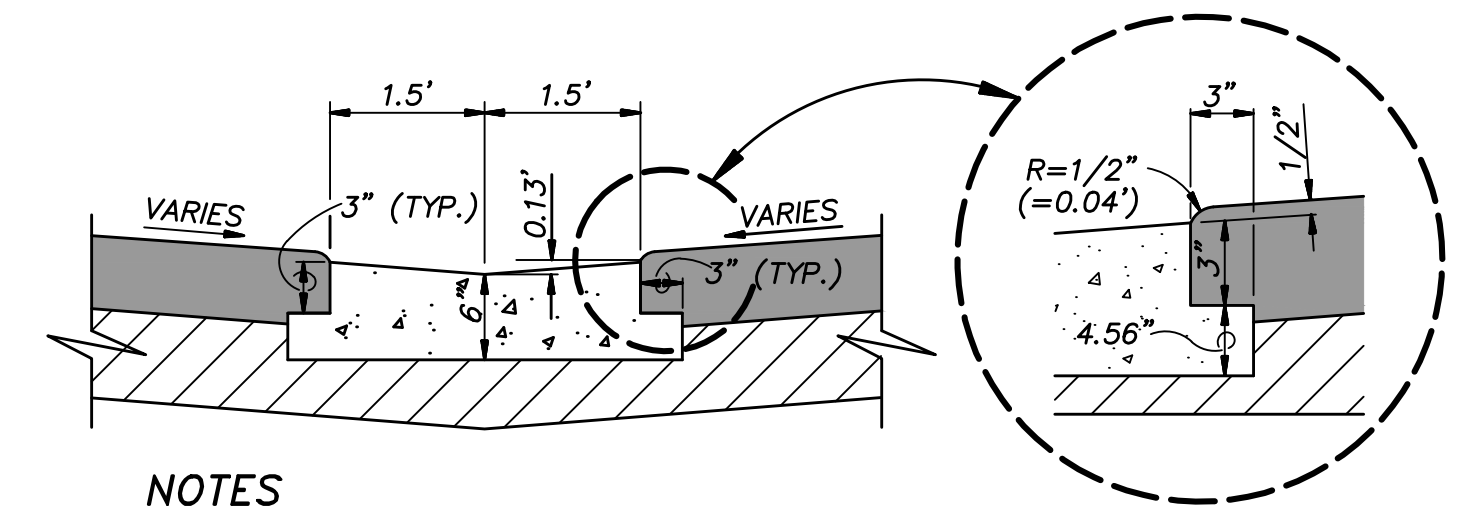


**TYPICAL SECTION ~ DRIVEWAY "K"**  
(DRIVEWAY "C" = STA. 13+47.00 TO STA. 13+65.00)  
NOT TO SCALE



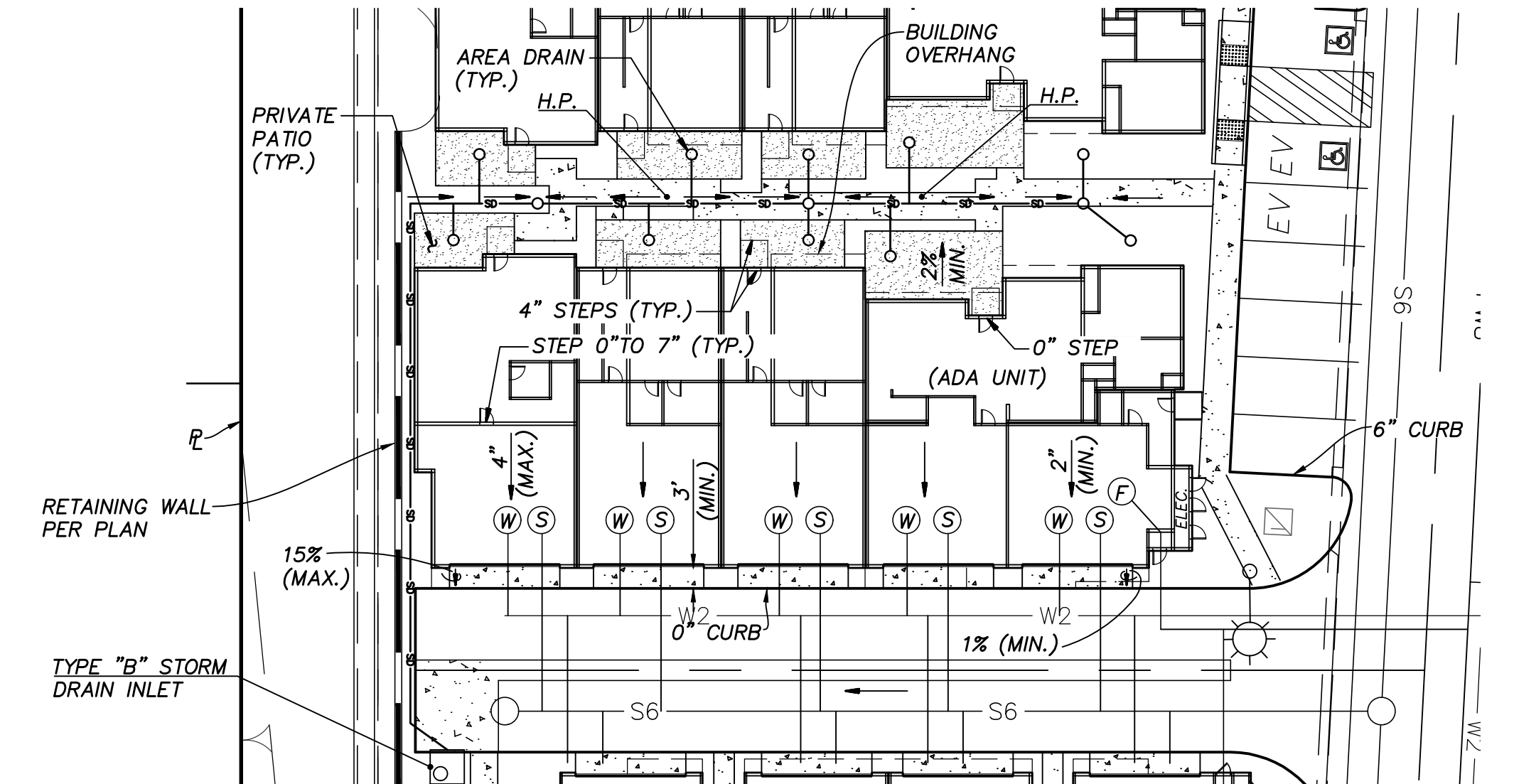
**A** **DETAIL ~ 0" CURB**  
NOT TO SCALE

**EASEMENT NOTE:**  
# FOR EXIST. EASEMENT NOTES SEE SHEET 4.

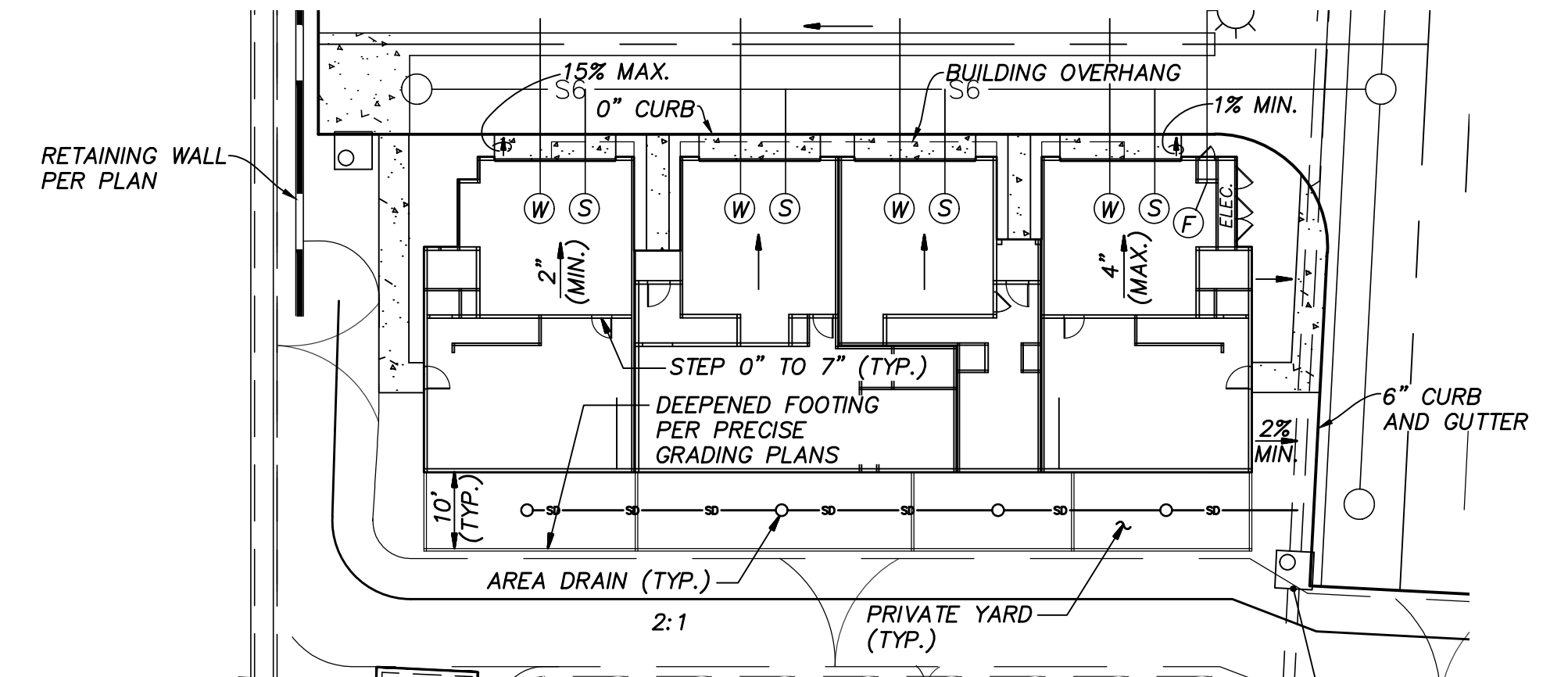


**C** **DETAIL ~ 3" RIBBON GUTTER**  
NOT TO SCALE

- NOTES**
1. CONCRETE SHALL BE 560-C-3250.
  2. IN ALL CASES SUBGRADE SHALL BE COMPACTED TO 95% MIN RELATIVE COMPACTION TO A DEPTH OF 12".
  3. WEAKENED PLANE JOINTS AT 15' INTERVALS. SEE SDRSD G-10 FOR GUTTER AND CONCRETE PAVEMENT JOINT DETAILS.



**TYPICAL GRADING DETAIL ~ INTERLOCKING**  
SCALE 1" = 20'



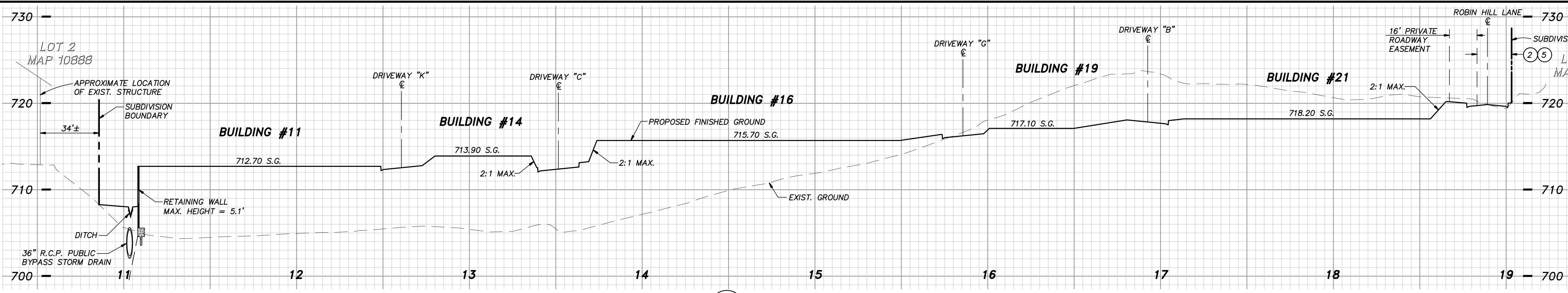
**TYPICAL GRADING DETAIL ~ STANDARD**  
SCALE 1" = 20'



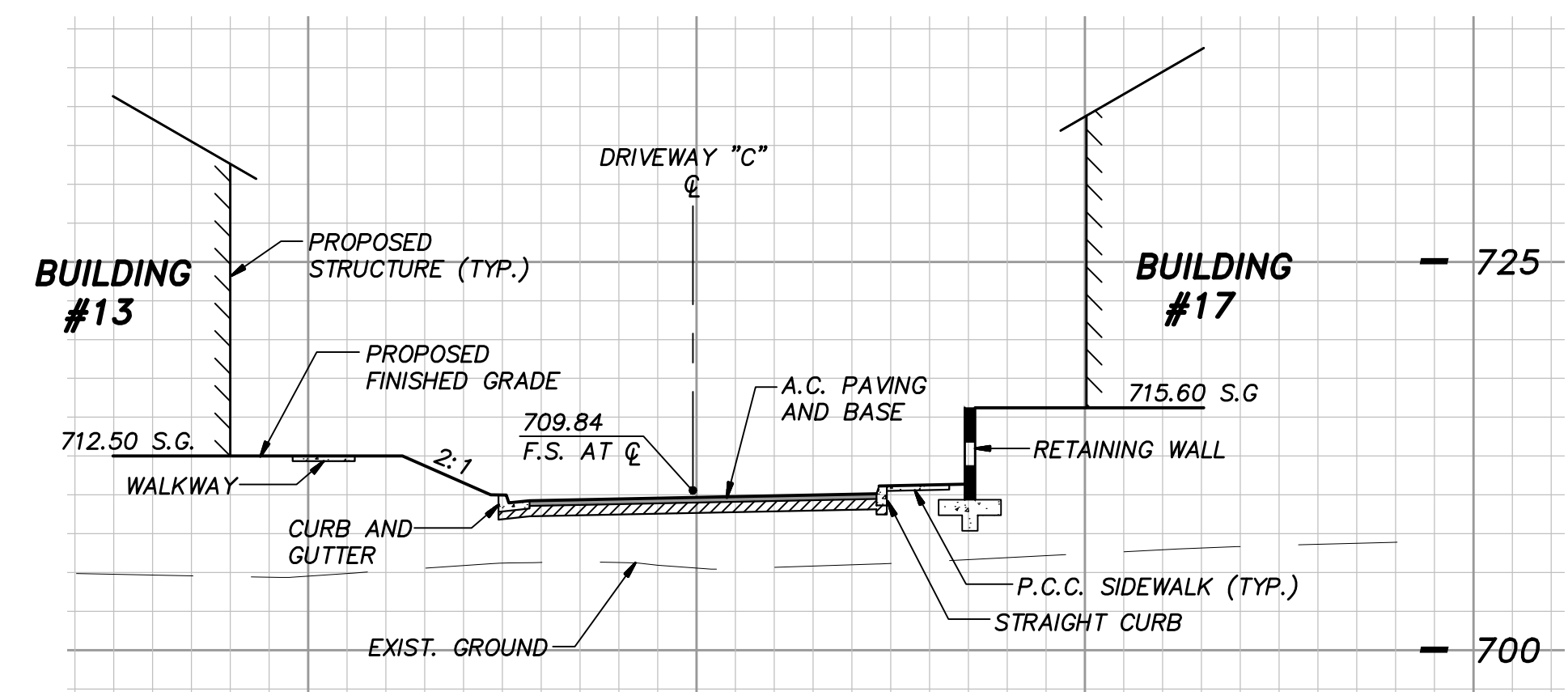
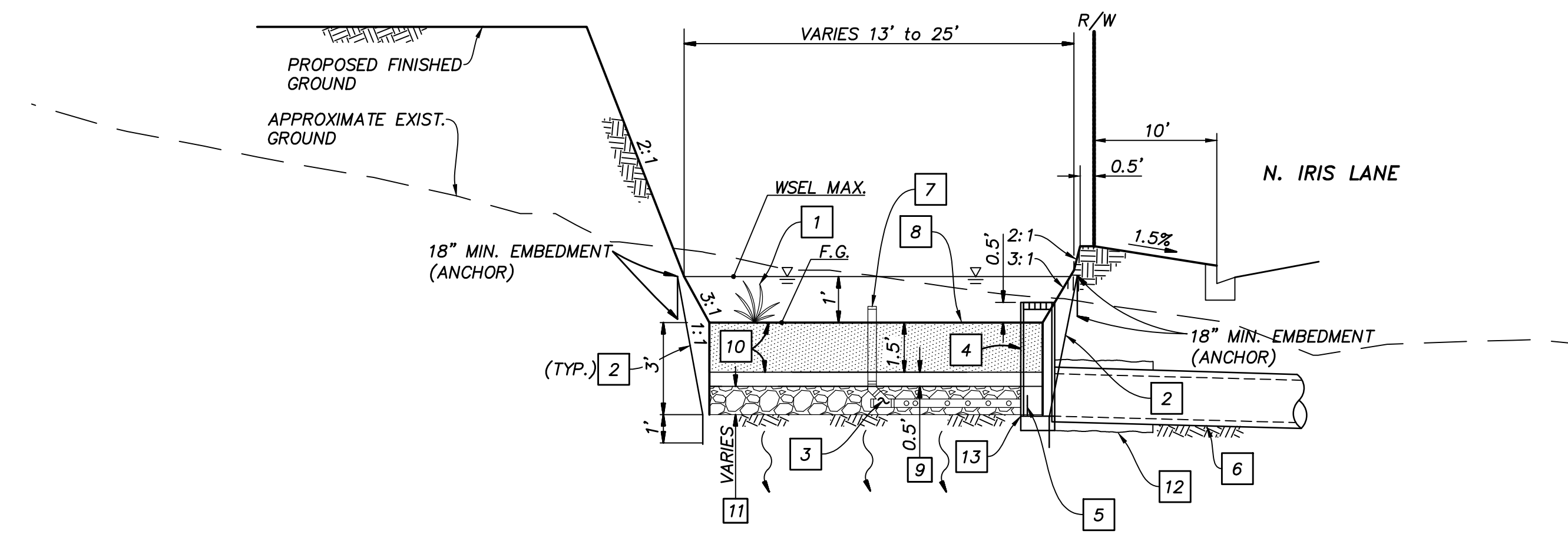
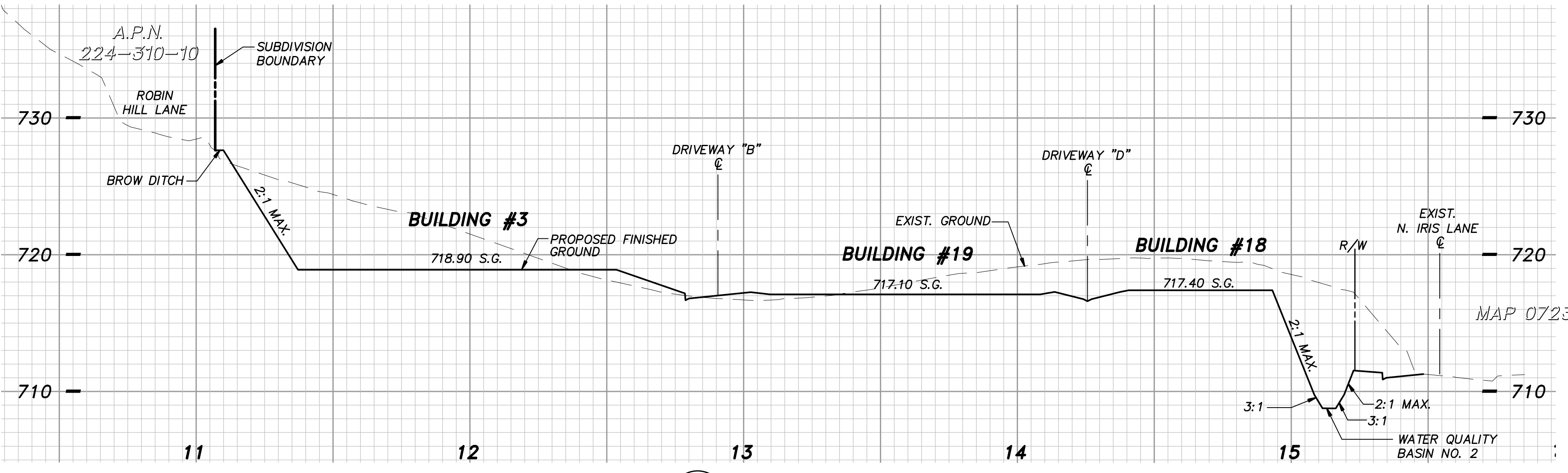
**SB&O INC.**  
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858-560-8157 Fax

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Name: SB&O INC.  
Address: 3990 RUFFIN ROAD, SUITE 120  
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Phone #: (858) 560-1141  
Project Address: N. IRIS LANE  
ESCONDIDO, CA.  
Project Name: N. IRIS LANE  
Sheet Title: DETAILS/SITE SECTIONS/TYPICAL SECTIONS

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
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Revision 5: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 2: \_\_\_\_\_  
Revision 1: \_\_\_\_\_  
Original Date: 3-1-21  
Sheet 2 of 8



**EASEMENT NOTE:**  
 (#) FOR EXIST. EASEMENT NOTES SEE SHEET 5.



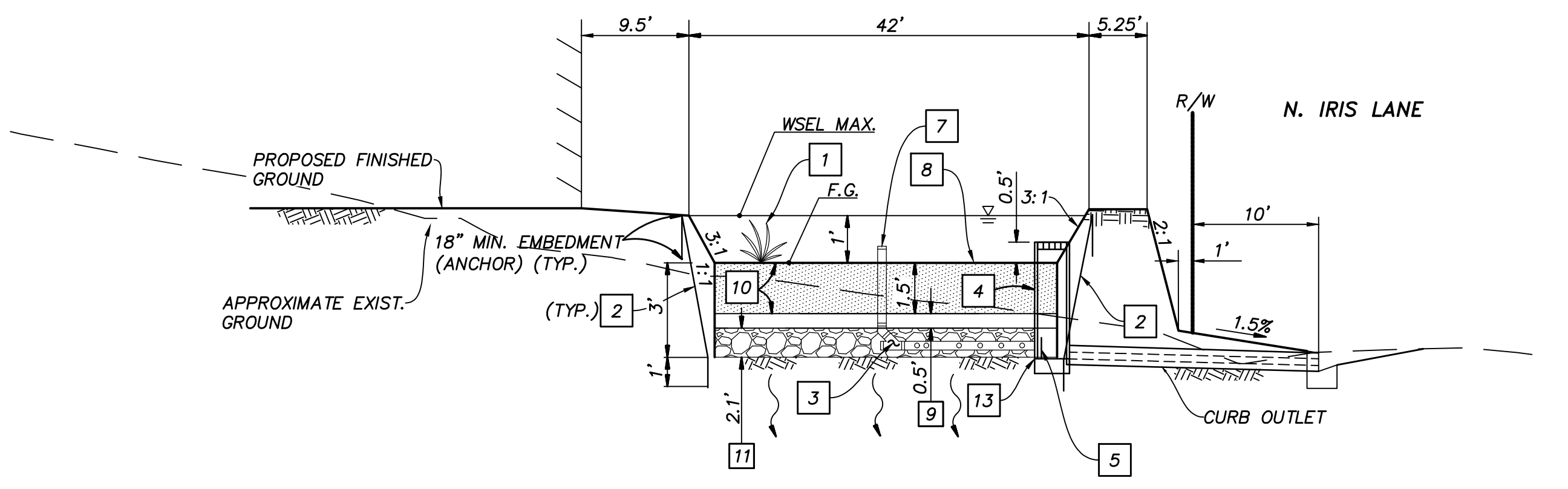
**BIOFILTRATION DETAIL NOTES**

- 1 PLANTING.
- 2 30 MIL. P.V.C. LINER. ALL JOINTS TO BE SEALED WITH 12" MIN. OVERLAP. SEAL ALL PENETRATIONS.
- 3 6" SLOTTED P.V.C. SUBDRAIN (ASTM D-3034), 3" MIN. FROM BOTTOM.
- 4 OUTLET CONTROL STRUCTURE WITH GRATED TOP.
- 5 ORIFICE PLATE.
- 6 OUTLET PIPE.
- 7 SUBDRAIN CLEANOUT PER SDRSD SC-01. RIM = F.G. + 0.6'
- 8 INSTALL WELL AGED SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS. MULCH MUST BE NON-FLOATING.
- 9 FILTER COURSE TO BE 3" CLEAN AND WASHED SAND (ASTM NO. 33) OVER 3" LAYER OF ASTM NO. 8 STONE.
- 10 SOIL MEDIA, INFILTRATION = (BSM SPECIFICATION PER APPENDIX G OF COUNTY OF SAN DIEGO L.I.D. HANDBOOK JUNE 2014)

PER COUNTY OF SAN DIEGO L.I.D. HANDBOOK:

BSM COMPOSITION	SANDY LOAM				COMPOST
	SAND	SILT	CLAY		
VOLUME	65%	20%			15%
WEIGHT	75-80%	10% MAX.	3% MAX.		9% MAX. <sup>1</sup>

- 11 AGGREGATE STORAGE LAYER ASTM NO. 57 CRK.
- 12 2-SACK SLURRY BACKFILL AROUND STORM DRAIN LINE, PIPE ZONE. SLURRY BACKFILL TO START AT STORM DRAIN BOX AND EXTEND AT LEAST 5 FEET BEYOND LINER.
- 13 SEAL PVC LINER AROUND PIPES: USE A PIPE BOOT AND PVC SKIRT TO SEAL ALL LINER PENETRATIONS FOR PIPES, PVC SKIRT SHOULD BE SEALED TO THE PARENT LINER PER MANUFACTURER'S RECOMMENDATIONS (TYPICALLY A WEDGE WELDER). THE PIPE BOOT SLEEVE SHOULD BE ATTACHED TO THE PIPE USING BUTYL TAPE AND STAINLESS STEEL BAND CLAMP.  
**ATTACH THE LINER TO CONCRETE STRUCTURES:**  
 1. PREPARE A PVC SKIRT FOR CONCRETE STRUCTURE.  
 2. ATTACHED THE LINER TO THE CONCRETE STRUCTURE USING A STAINLESS STEEL BATTEN STRIP. ALSO ADHERE THE LINER TO THE CONCRETE USING A WATER PROOF ADHESIVE PER THE MANUFACTURE'S RECOMMENDATIONS (TYPICALLY A POLYURETHANE).  
 3. THE PVC SKIRT TO BE SEALED TO THE PARENT LINER PER MANUFACTURER'S RECOMMENDATIONS (TYPICALLY A WEDGE WELDER).
- 14 EMBED LINER 12" VERTICAL.

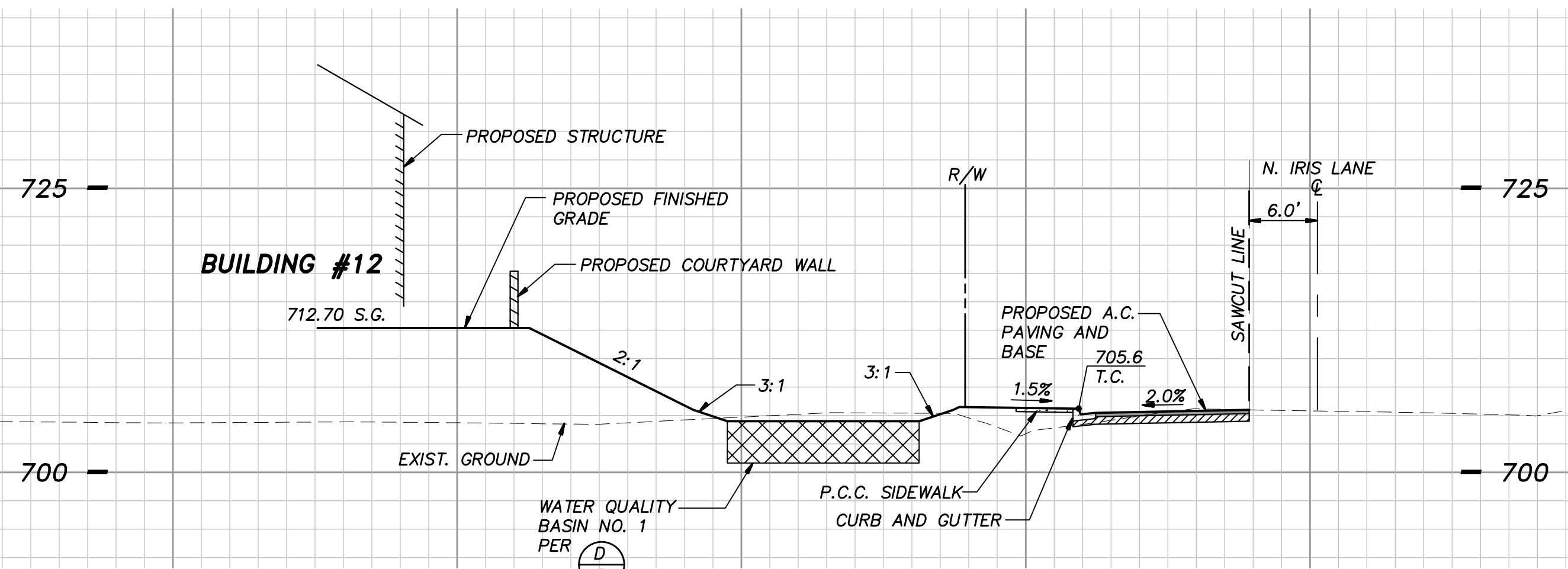


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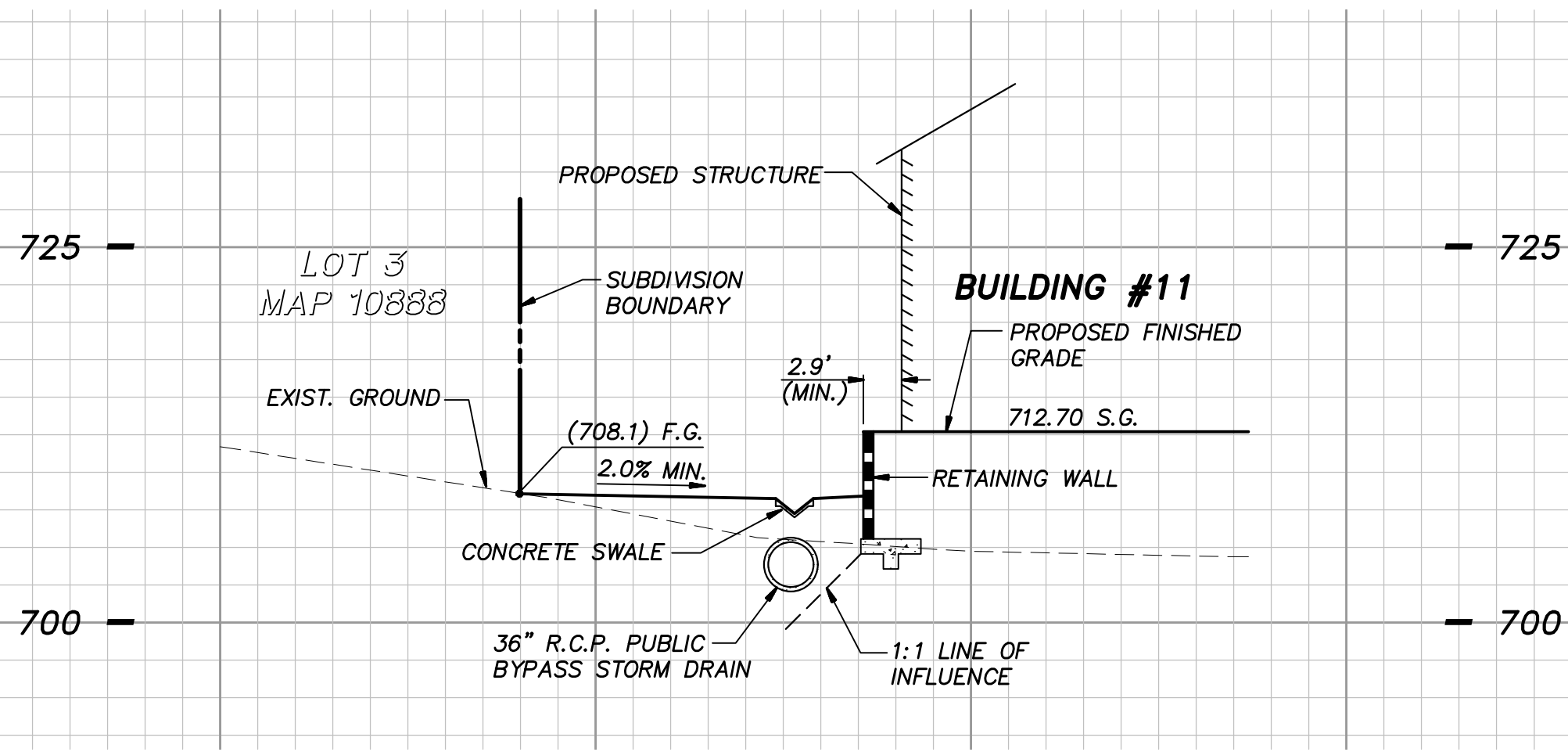
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 Name: SB&O INC.  
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SAN DIEGO, CALIFORNIA 92123  
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N. IRIS LANE  
ESCONDIDO, CA.  
 Project Name: \_\_\_\_\_  
N. IRIS LANE  
 Sheet Title: \_\_\_\_\_  
DETAILS/SITE SECTIONS/TYPICAL SECTIONS

Revision 14: \_\_\_\_\_  
 Revision 13: \_\_\_\_\_  
 Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: \_\_\_\_\_

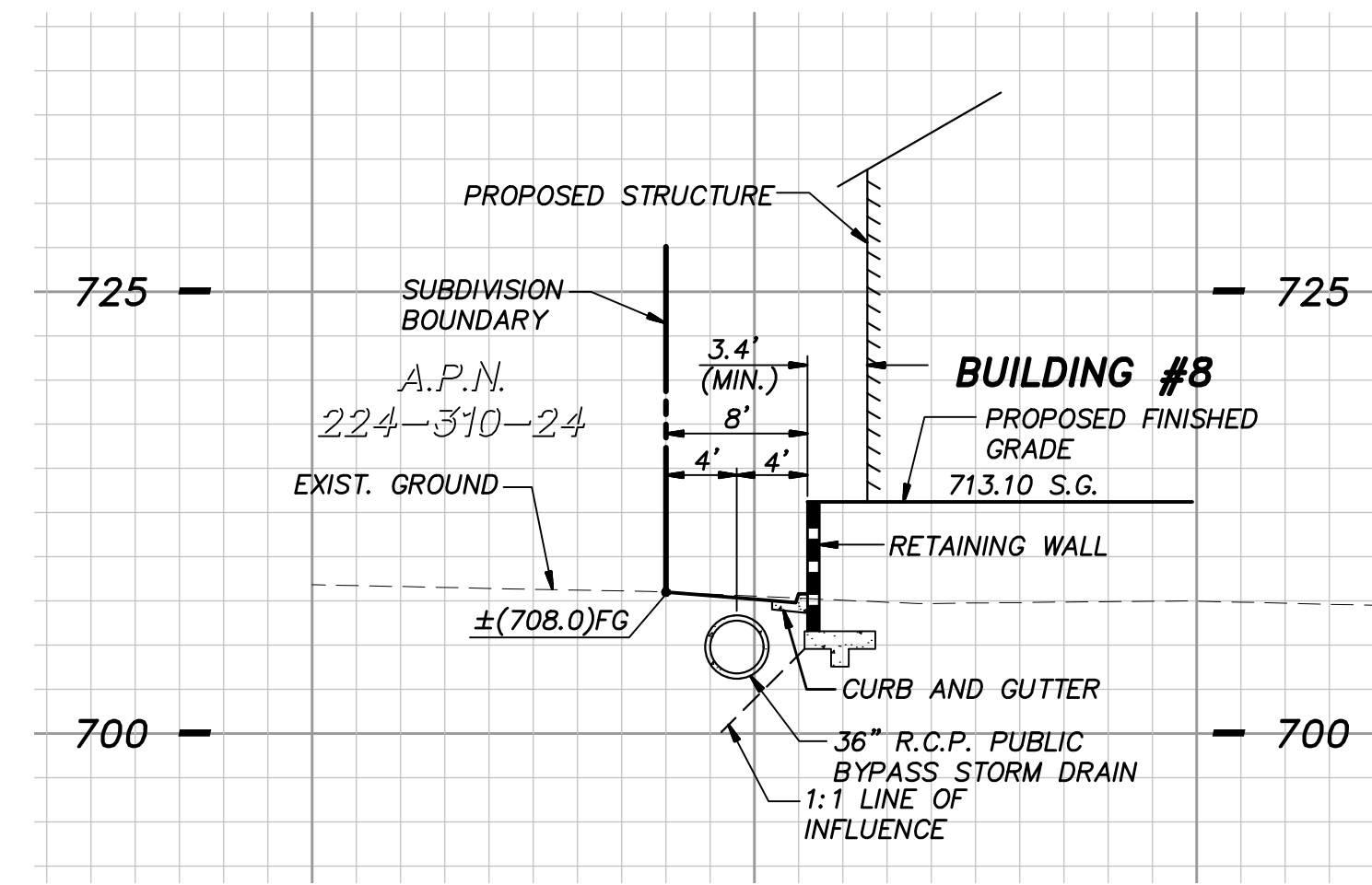
Original Date: 3-1-21  
 Sheet 3 of 8



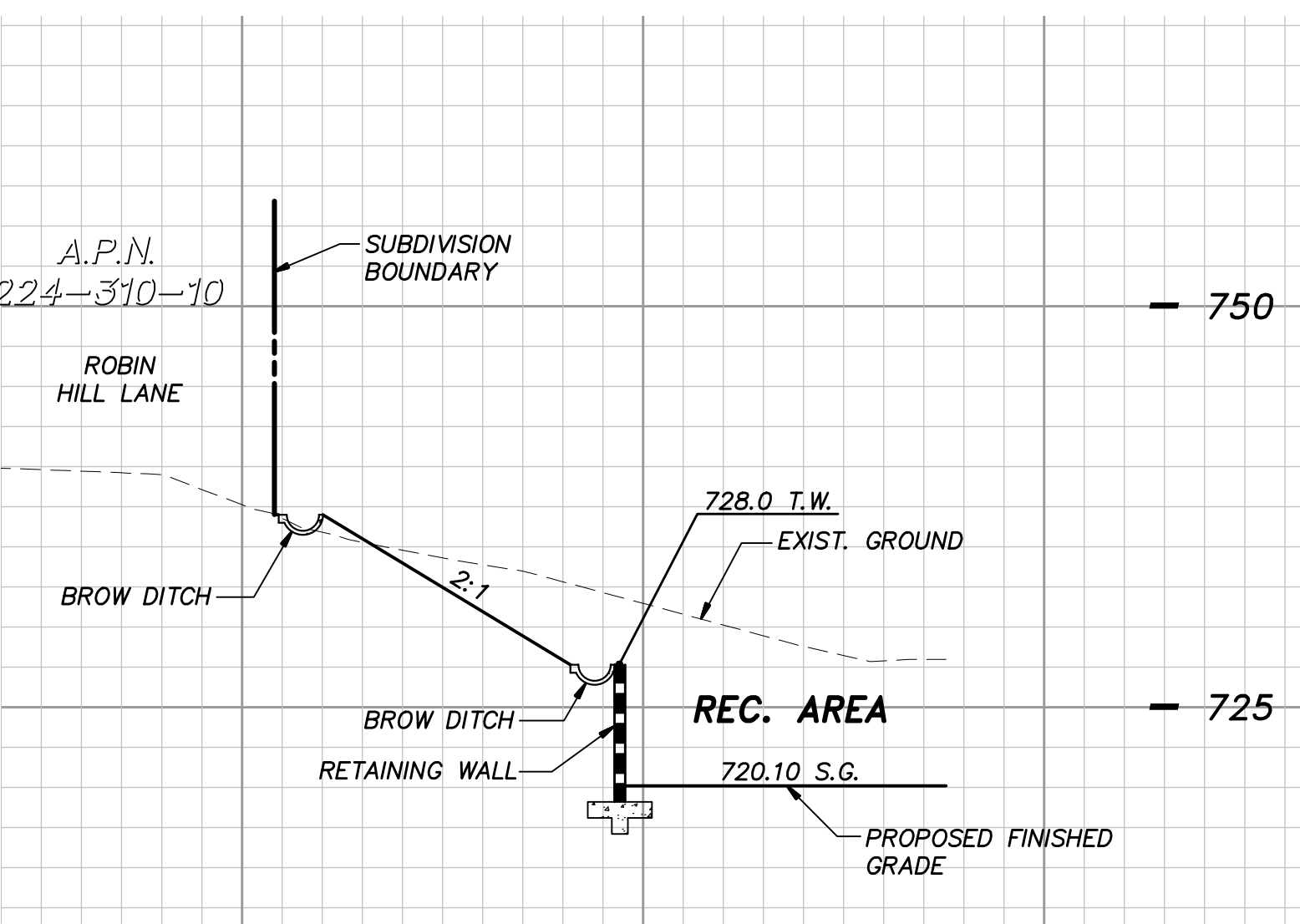
**D**  
**4** **SITE SECTION**  
SCALE: 1" = 10'(H), 1" = 10'(V)  
SEE SHEET 7



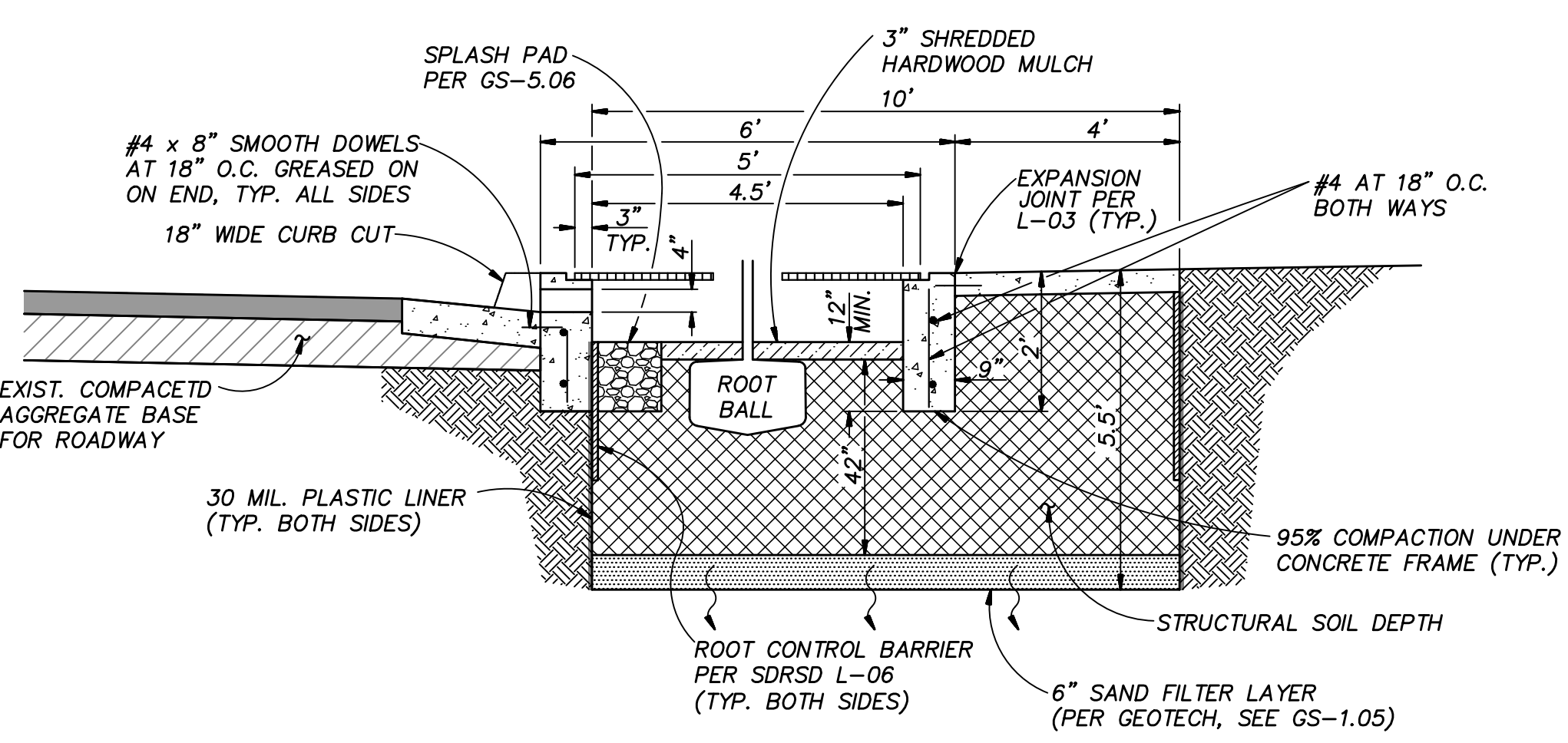
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**4** **SITE SECTION**  
SCALE: 1" = 10'(H), 1" = 10'(V)  
SEE SHEET 7



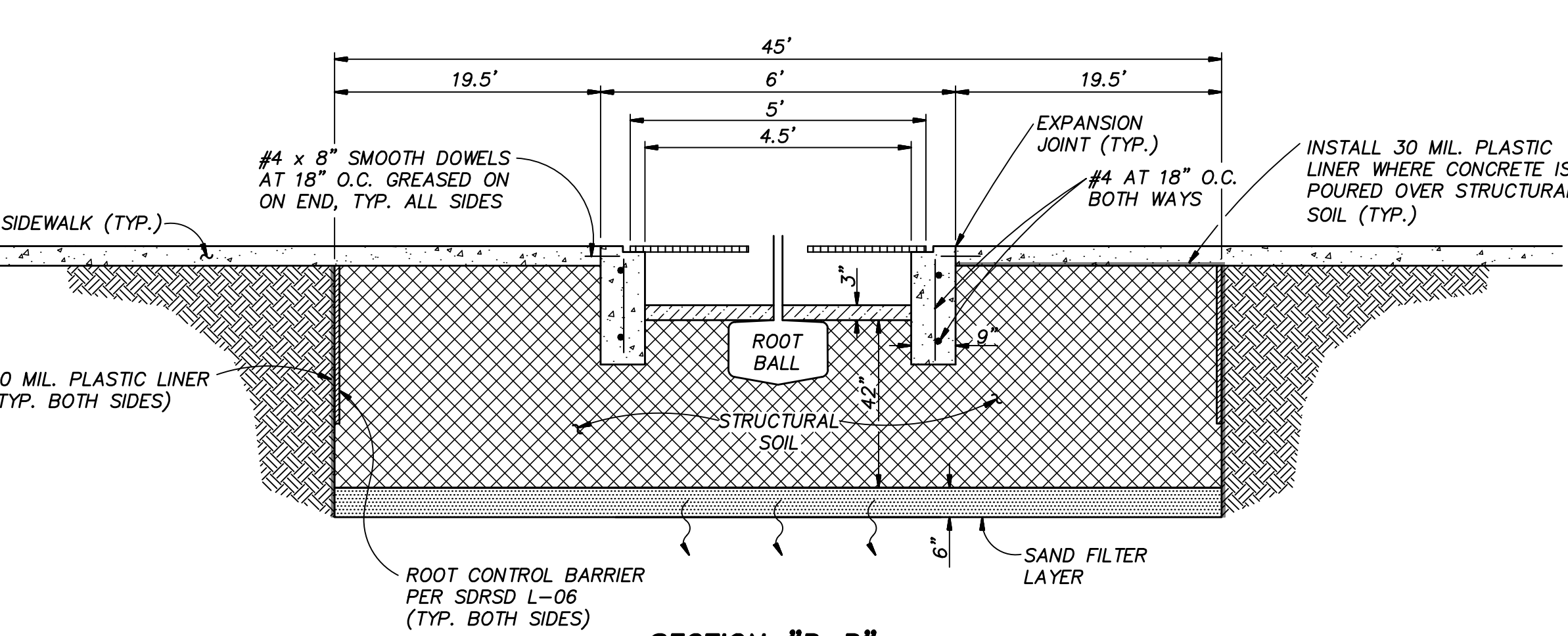
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SCALE: 1" = 10'(H), 1" = 10'(V)  
SEE SHEET 7



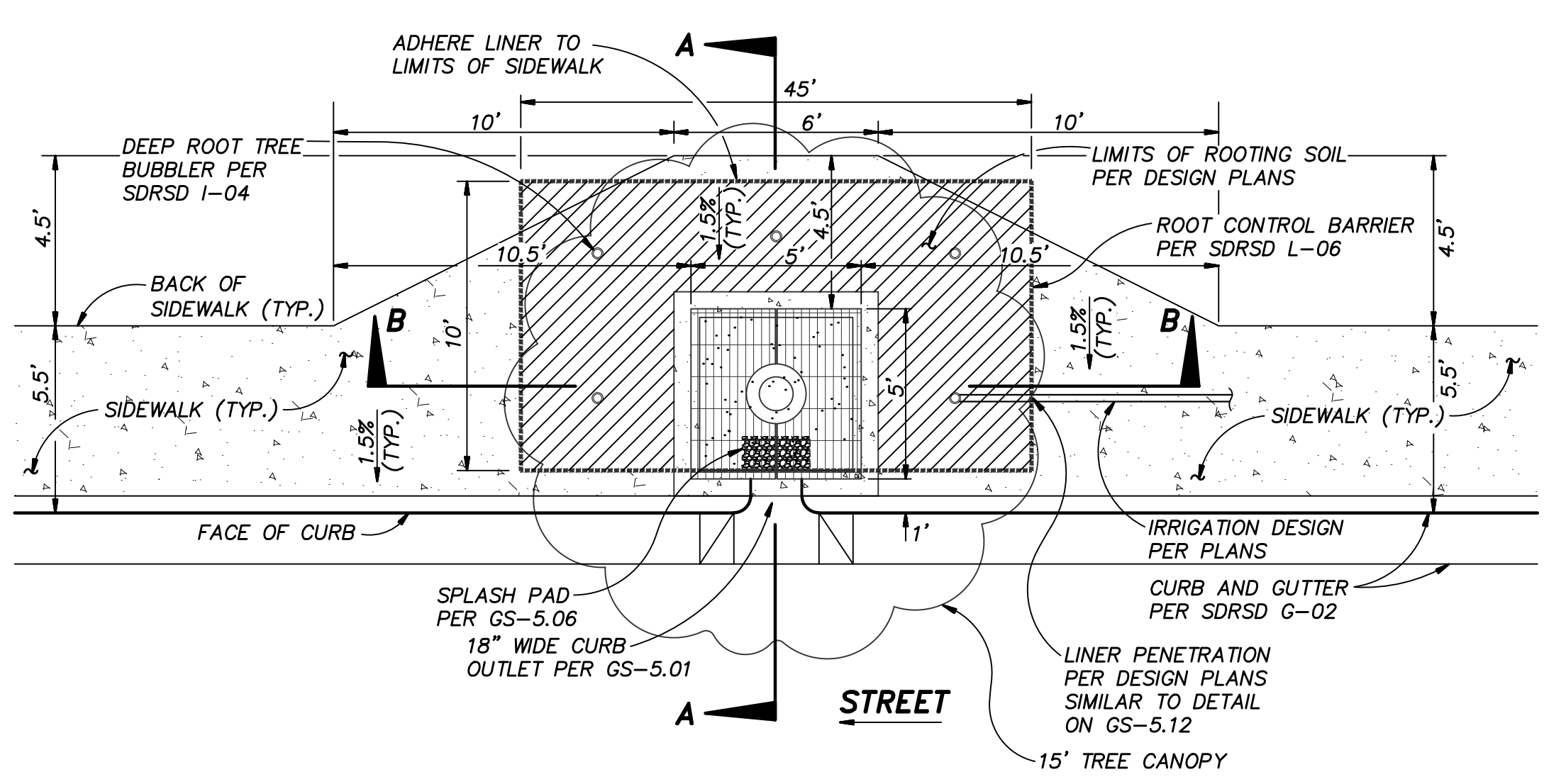
**G**  
**4** **SITE SECTION**  
SCALE: 1" = 10'(H), 1" = 10'(V)  
SEE SHEET 7



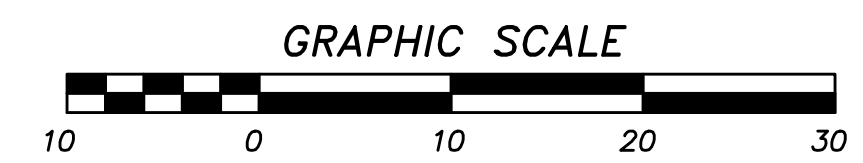
**SECTION "A-A"**  
NOT TO SCALE



**SECTION "B-B"**  
NOT TO SCALE



**A**  
**4** **DETAIL ~ LARGE TREE WELL**  
NOT TO SCALE



Prepared By: \_\_\_\_\_

Name: SB&O INC. Revision 14: \_\_\_\_\_

Address: 3990 RUFFIN ROAD, SUITE 120 Revision 13: \_\_\_\_\_

SAN DIEGO, CALIFORNIA 92123 Revision 12: \_\_\_\_\_

Phone #: (858) 560-1141 Revision 11: \_\_\_\_\_

Project Address: \_\_\_\_\_ Revision 10: \_\_\_\_\_

N. IRIS LANE Revision 9: \_\_\_\_\_

ESCONDIDO, CA. Revision 8: \_\_\_\_\_

Project Name: \_\_\_\_\_ Revision 7: \_\_\_\_\_

N. IRIS LANE Revision 6: \_\_\_\_\_

Revision 4: \_\_\_\_\_ Revision 5: \_\_\_\_\_

Revision 3: \_\_\_\_\_ Revision 4: \_\_\_\_\_

Revision 2: \_\_\_\_\_ Revision 3: \_\_\_\_\_

Revision 1: \_\_\_\_\_ Revision 2: \_\_\_\_\_

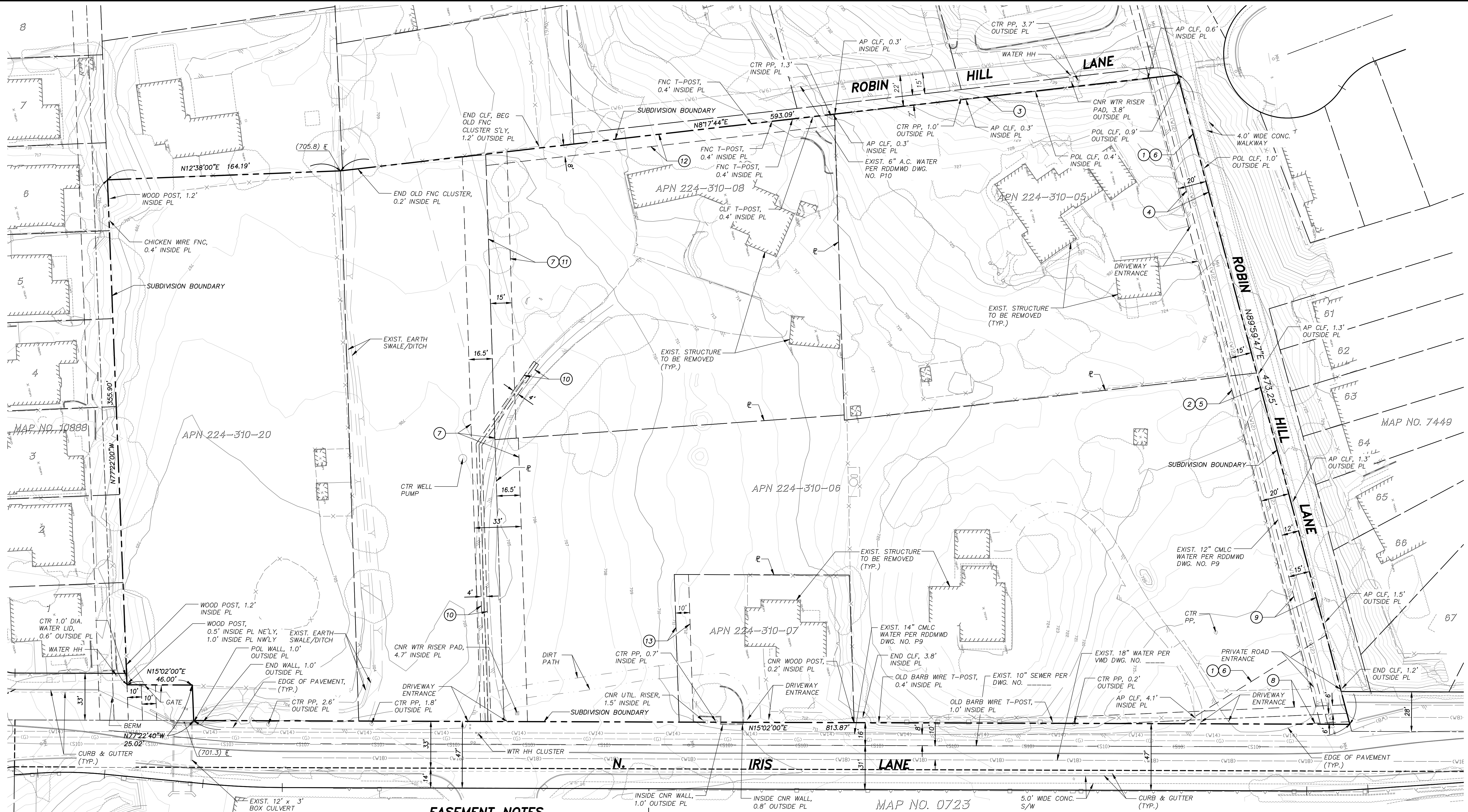
Revision 1: \_\_\_\_\_

Sheet Title: SITE SECTIONS Original Date: 3-1-21

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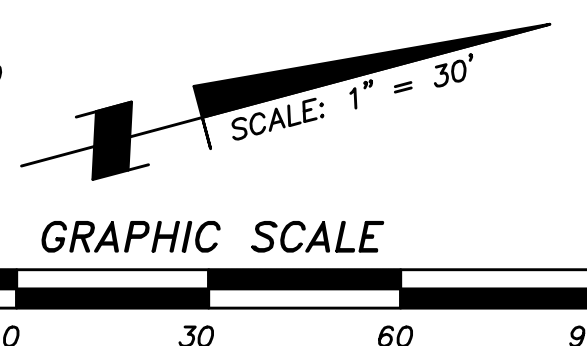
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LEGEND	SYMBOL	LEGEND (CONT.)	SYMBOL
BOUNDARY LINE	---	EDGE OF PAVEMENT	---
EX. LOT LINE	---	RETAINING WALL	---
CENTERLINE	---	GAS LINE	G
RIGHT-OF-WAY LINE	---	SEWER LINE	S
EASEMENT LINE	---	STORM DRAIN LINE	SD
BUILDING	---	WATER LINE	W
BARBED WIRE FENCE	---	WATER VALVE	WV
CHAIN LINK FENCE	---	MANHOLE	MH
CURB	---	SIGN	S
EDGE OF CONCRETE	---	EASEMENT ITEM NO.	(B)
BUILDING CANOPY	---		

**EASEMENT NOTES**

- SDG&E EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS PER BOOK 2199, PAGE 1, REC. 7-29-1946. EASEMENT TO BE PARTIALLY QUITCLAIMED.
- EASEMENT FOR INGRESS AND EGRESS FOR ROAD PER BOOK 3766, PAGE 97, REC. 9-6-1950. EASEMENT TO REMAIN.
- SDG&E EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS PER DOC. 136116, BOOK 7755, PAGE 220 REC. 7-6-1959. EASEMENT TO REMAIN.
- EASEMENT FOR UNDERGROUND UTILITIES, TO INCLUDE, BUT NOT LIMITED TO SEWER AND ALL INCIDENTAL PURPOSES PER DOC. 85-109395, REC. 4-1-1985. EASEMENT TO REMAIN.
- EASEMENT FOR ROAD AND INCIDENTAL PURPOSES PER DOC. 77607, REC. 9-19-1945. EASEMENT TO REMAIN.
- SDG&E EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS PER BOOK 2199, PAGE 1, REC. 7-29-1946. EASEMENT TO BE PARTIALLY QUITCLAIMED.
- EASEMENT FOR ROAD, SEWER, WATER, GAS, POWER, TELEPHONE LINES AND APPURTENANCES THERETO PER DOC. 208807, BOOK 7393, PAGE 414, REC. 12-12-1958. EASEMENT TO BE QUITCLAIMED.
- SDG&E EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS PER DOC. 322078 REC. 12-12-1972. EASEMENT TO BE QUITCLAIMED.
- EASEMENT FOR UNDERGROUND UTILITIES, TO INCLUDE, BUT NOT LIMITED TO SEWER AND ALL INCIDENTAL PURPOSES PER DOC. 85-109397, REC. 4-1-1985. EASEMENT TO REMAIN.
- SDG&E EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS PER DOC. 1988-322682, REC. 8-4-1988. EASEMENT TO BE QUITCLAIMED.
- EASEMENT FOR ROAD AND UTILITY PURPOSES PER BOOK 7393, PAGE 414, REC. 12-12-1958. EASEMENT TO BE QUITCLAIMED.
- SDG&E EASEMENT FOR PUBLIC UTILITY PURPOSES PER BOOK 7755, PAGE 234, REC. 7-5-1959. EASEMENT TO BE QUITCLAIMED.
- EASEMENT FOR ROAD PURPOSES PER DOC. 31674, REC. 2-23-1961. EASEMENT TO BE QUITCLAIMED.

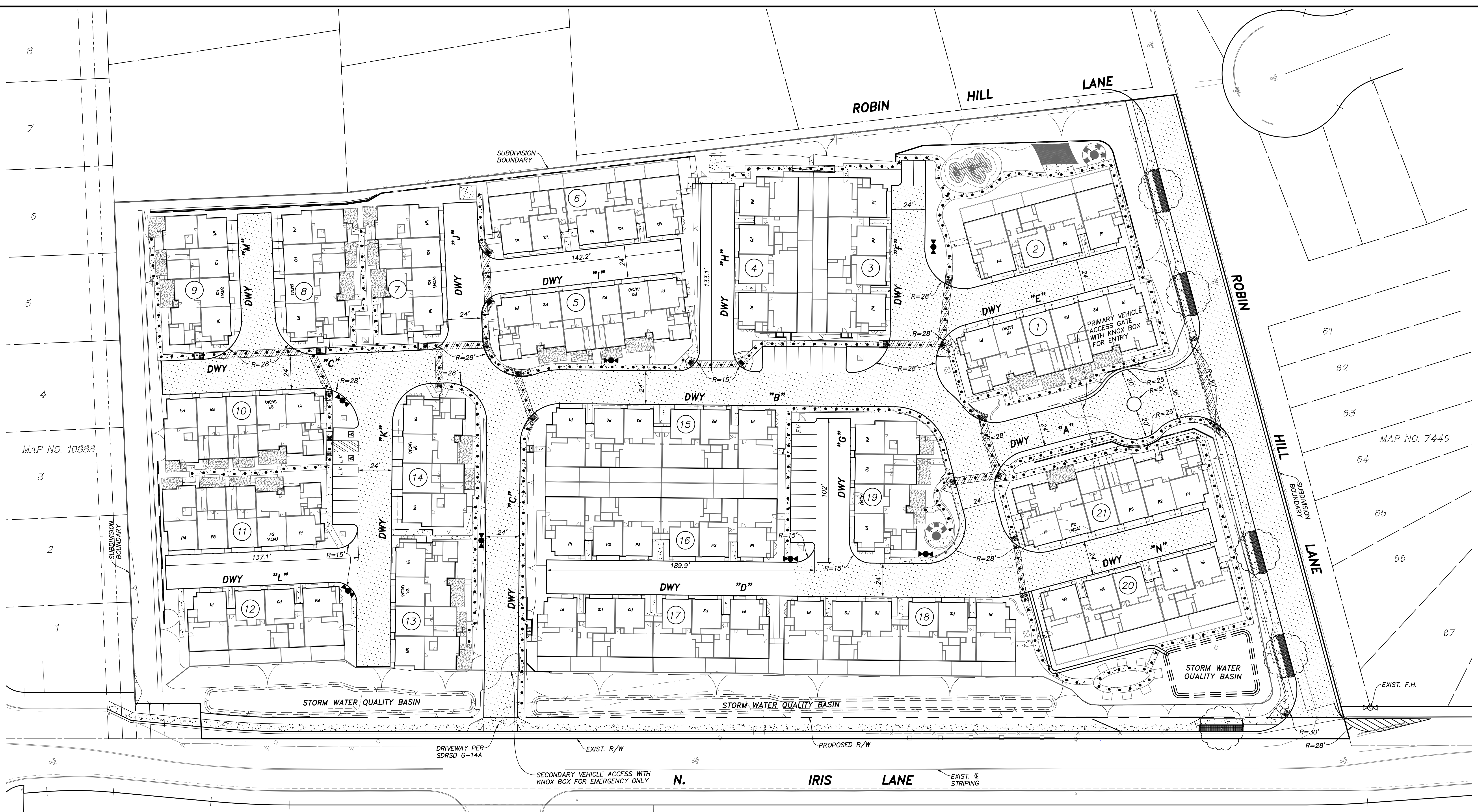


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 Phone #: (858) 560-1141  
 Project Address: N. IRIS LANE  
 ESCONDIDO, CA.  
 Project Name: N. IRIS LANE  
 Sheet Title: EXISTING CONDITIONS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	

Original Date: 2-11-21  
 Sheet 5 of 8



MAP NO. 10888

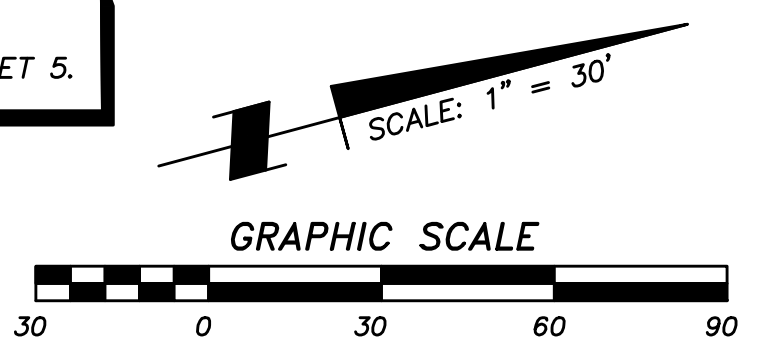
MAP NO. 7449

MAP NO. 0723

**LEGEND**

- VEHICLE ACCESS
- FIRE LANE
- ACCESSIBLE PATH OF TRAVEL
- FIRE HYDRANT
- VISITABLE UNIT/HANDICAP PARKING STALL

**EASEMENT NOTE:**  
 (F) FOR EXIST. EASEMENT NOTES SEE SHEET 5.



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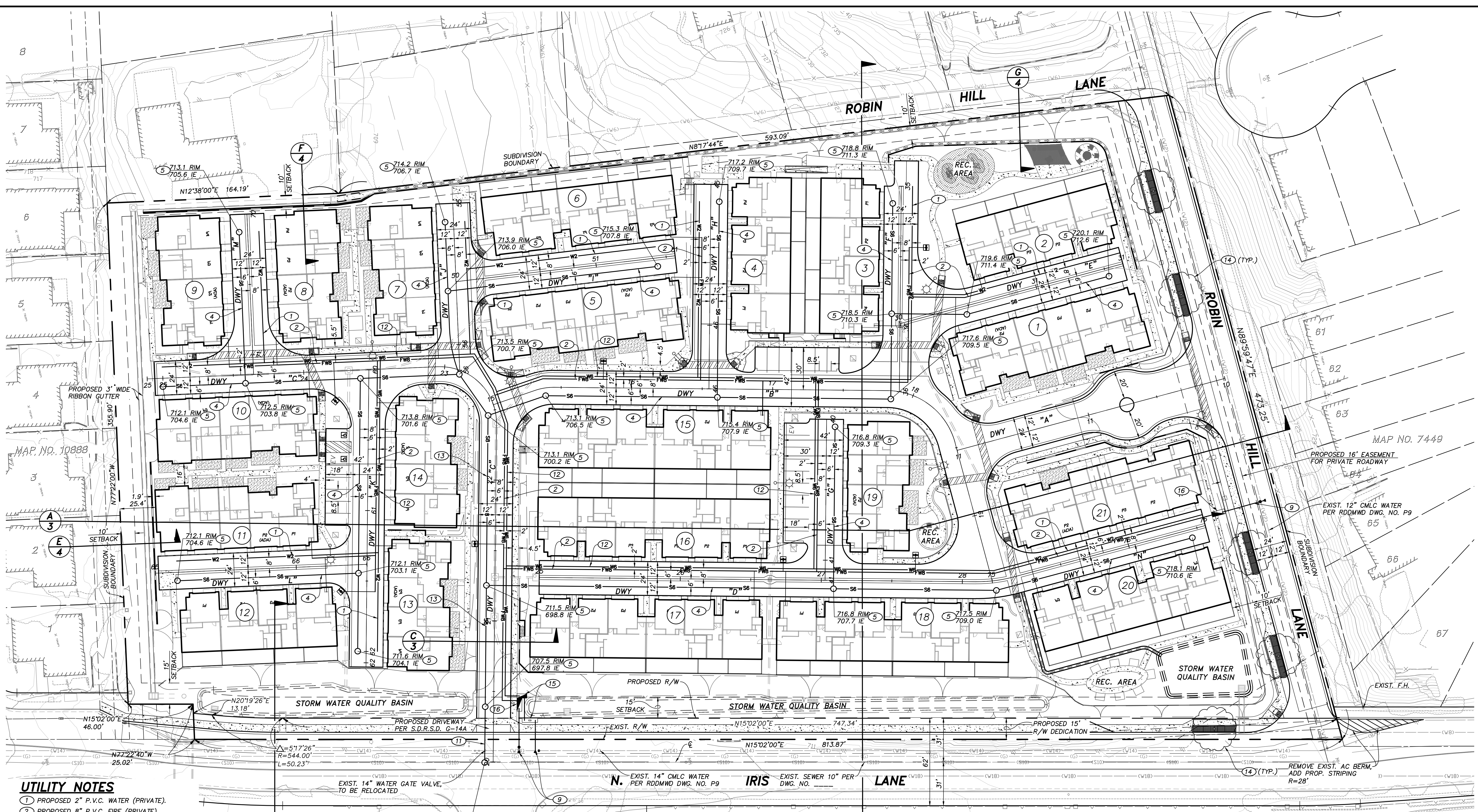
AARON PARKER P.E. 68547 DATE

Prepared By: SB&O INC.  
 Name: SB&O INC.  
 Address: 3990 RUFFIN ROAD, SUITE 120  
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 Project Address: N. IRIS LANE  
 ESCONDIDO, CA.  
 Project Name: N. IRIS LANE

Revision 14:	
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Revision 9:	
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Revision 7:	
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Revision 4:	
Revision 3:	
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Revision 1:	

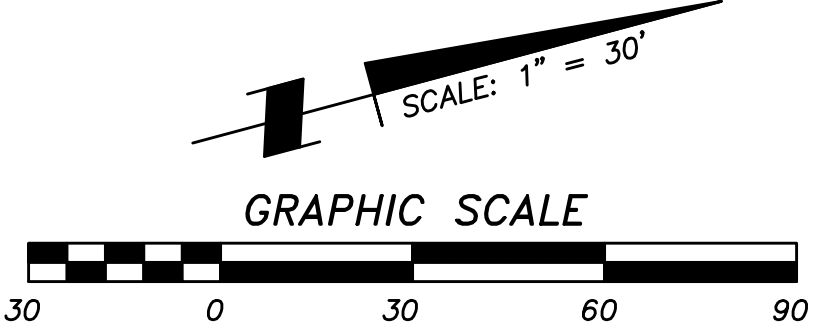
Original Date: 3-1-21  
 Sheet 6 of 8

Plotted: 3/1/2021 6:51 AM D:\72823 N. IRIS LANE\03 DWG\11762021\06.DWG - mgparin 75050.15



- UTILITY NOTES**
- 1 PROPOSED 2" P.V.C. WATER (PRIVATE).
  - 2 PROPOSED 8" P.V.C. FIRE (PRIVATE).
  - 3 PROPOSED S.M.H. (PUBLIC)
  - 4 PROPOSED 6" P.V.C. SEWER (PRIVATE).
  - 5 PROPOSED S.M.H. (PRIVATE)
  - 8 CONNECT TO EXIST. 10" SEWER PER V.M.D. DWG. NO. \_\_\_\_\_
  - 9 CONNECT TO EXIST 12" OR 14" WATER PER R.D.D.M.W.D. DWG. NO. P9.
  - 11 PROPOSED 8" P.V.C. SEWER (PUBLIC)
  - 12 PROPOSED 6" P.V.C. WATER (PRIVATE).
  - 13 PROPOSED 8" P.V.C. SEWER (PRIVATE).
  - 14 PROPOSED STREET TREE.
  - 15 4" MASTER METER AND 4" BACKFLOW PER R.D.D.M.W.D. W-3.
  - 16 8" FIRE DCDA PER R.M.W.D. W-7.

**EASEMENT NOTE:**  
 # FOR EXIST. EASEMENT NOTES SEE SHEET 5.



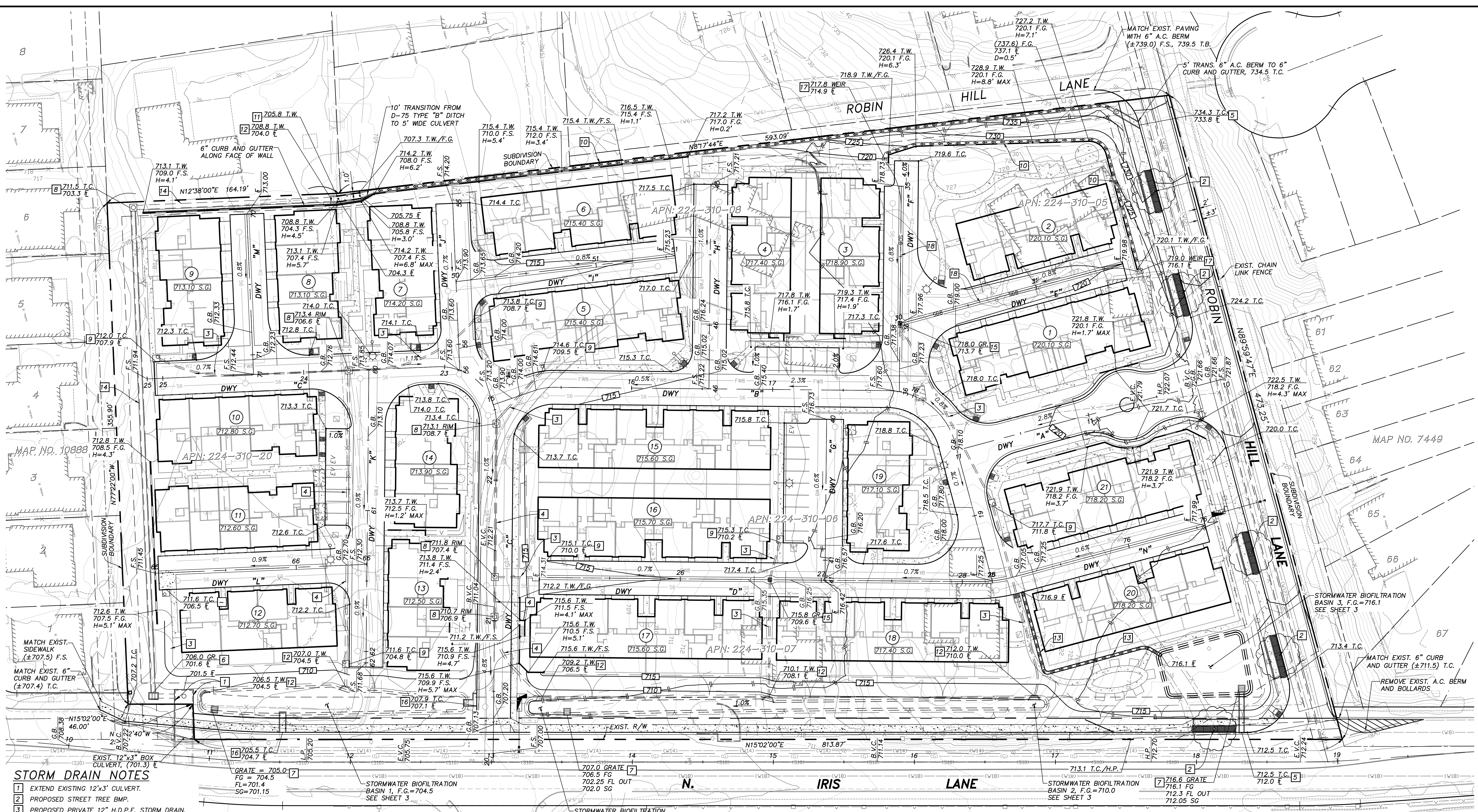
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 Phone #: (858) 560-1141  
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 ESCONDIDO, CA.  
 Project Name: N. IRIS LANE  
 Sheet Title: HORIZONTAL CONTROL AND UTILITIES PLANS

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	_____

Original Date: 3-1-21  
 Sheet 7 of 8

AARON PARKER P.E. 68547 DATE \_\_\_\_\_



**STORM DRAIN NOTES**

- 1 EXTEND EXISTING 12"x3' CULVERT.
- 2 PROPOSED STREET TREE BMP.
- 3 PROPOSED PRIVATE 12" H.D.P.E. STORM DRAIN.
- 4 PROPOSED PRIVATE 18" H.D.P.E. STORM DRAIN.
- 5 PROPOSED CURB OUTLET.
- 6 PROPOSED MOD. TYPE "G" CATCH BASIN.
- 7 PROPOSED BASIN OUTLET CONTROL STRUCTURE.
- 8 PROPOSED STORM DRAIN CLEANOUT (SDCO).
- 9 PROPOSED STORM DRAIN CURB INLET.
- 10 PROPOSED CONC. BROW DITCH, D-75, TYPE B
- 11 PROPOSED 15' CUTOFF WALL AT EXIST. DITCH WITH WEEP HOLES.
- 12 PROPOSED STORM DRAIN HEADWALL.
- 13 PROPOSED CONCRETE RECTANGULAR CHANNEL, W=2', H=05', AT 0.5%
- 14 PROPOSED 36" R.C.P. BYPASS STORM DRAIN.
- 15 PROPOSED 24"x24" BROOKS BOX.
- 16 PROPOSED REVERSE D-25 SIDEWALK UNDERDRAIN.
- 17 PROPOSED TYPE "F" CATCH BASIN.
- 18 PROPOSED PRIVATE 8" STORM DRAIN.

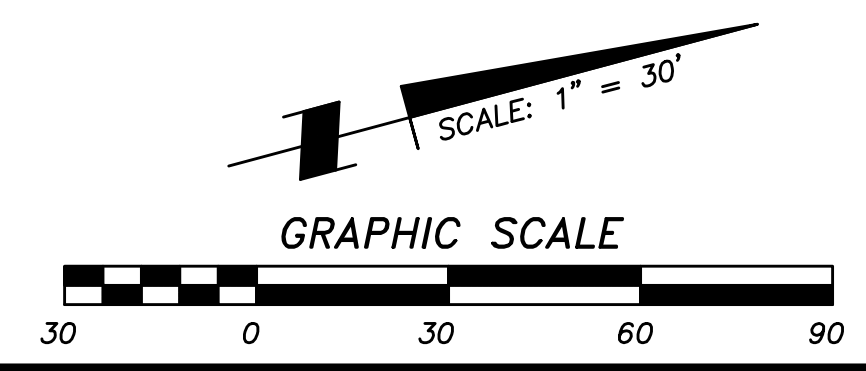
GRATE = 705.0  
 FG = 704.5  
 FL = 701.4  
 SG = 701.15

STORMWATER BIOFILTRATION  
 BASIN 1, F.G.=704.5  
 SEE SHEET 3

STORMWATER BIOFILTRATION  
 BASIN 2, F.G.=706.5  
 SEE SHEET 3

**NOTE:**  
 ALL SLOPES ARE 2:1 MAX UNLESS OTHERWISE  
 NOTED. SEE LANDSCAPE PLANS FOR SLOPE  
 PLANTING.

**EASEMENT NOTE:**  
 # FOR EXIST. EASEMENT NOTES SEE SHEET 5.



MAP NO. 0723



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 ESCONDIDO, CA.  
 Project Name: N. IRIS LANE  
 Sheet Title: GRADING AND STORM DRAIN PLANS

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	_____

Original Date: 3-1-21  
 Sheet 8 of 8