



City of Escondido Zoning Administrator

AGENDA AND RECORD OF ACTIONS

201 North Broadway
City Hall – Mitchell Room

October 25, 2018

2:00 p.m.

A. Call to Order:

Zoning Administrator: Mike Strong

Staff Present:

B. Public Hearing items:

1. **PHG 17-0021:** – Request for a Modification to an existing Conditional Use Permit for Redwood Terrace Continuing Care Retirement Community that will allow the facility to expand by acquiring two (2) existing residential units on separate lots across the street from the main campus. The request also includes moving the sales office, currently located on the main campus, into the newly acquired unit at 1118 S. Redwood Street.
(Public Hearing)

Location: 1118 S. Redwood Street, 1130 S. Tulip Street & 710 W. 13th Avenue

Applicant: Katherine I. Lord, Architect

Planner: Paul Bingham

DECISION OF THE ZONING ADMINISTRATOR:

- Approved, as set to form
- Conditionally approved with the attached modifications
- Denied
- Continued to: ___ Date Certain (_____) ___ Date Unknown
- Referred to Planning Commission

2. **PHG 18-0019:** – Modification to a Conditional Use Permit to 1) allow a change in the existing Chicken Lisa’s restaurant’s current operating hours to 9:00 a.m. to 11:00 p.m. Sunday-Thursday and 9:00 a.m. to midnight Friday and Saturday, 2) to expand the existing restaurant into the neighboring suite of approximately 900 SF in size.

Location: 555 Country Club Lane

Applicant: Alicia Gomez

Planner: Paul Bingham

DECISION OF THE ZONING ADMINISTRATOR:

- Approved, as set to form
- Conditionally approved with the attached modifications
- Denied
- Continued to: ___ Date Certain (_____) ___ Date Unknown
- Referred to Planning Commission

C. Current Business item:

1. **PHG 18-0003:** – Request for a Modification to Precise Development Plan for Del Prado North to add an approximately 2,792 SF Community Building to include a leasing office and fitness center. The request also include modifications to the pool area, storm water design, elimination of the larger storm water basin, on-site parking to accommodate disabled spaces, relocation of the corner entry sign and landscape feature, and elimination of parkway walls in the right-of-way along Brotherton Road.

Location: 2329 S. Centre City Parkway

Applicant: Touchstone Communities

Planner: Jay Paul

DECISION OF THE ZONING ADMINISTRATOR:

- Approved, as set to form
- Conditionally approved with the attached modifications
- Denied
- Continued to: ___ Date Certain (_____) ___ Date Unknown
- Referred to Planning Commission

D. Adjournment:

I certify that these actions were taken at the 2:00 p.m. Zoning Administrator meeting on October 25, 2018.

Zoning Administrator

Witness

ZONING ADMINISTRATOR

- CASE NUMBER:** PHG 17-0021
- APPLICANT:** Katherine I. Lord, Architect, on behalf of Redwood Terrace
- PROJECT LOCATION:** Redwood Terrace is located on multiple parcels on S. Redwood Street, S. Tulip Street, W 12th Avenue and W 13th Avenue. The main campus is located at 710 W. 13th Avenue, and this project would incorporate two additional parcels located at 1118 S. Redwood Street (APN 236-091-1000) and 1130 S. Tulip Street (APN 236-072-1400) into their facility.
- REQUEST:** A Modification to an existing Conditional Use Permit for Redwood Terrace Continuing Care Retirement Community to incorporate two additional single-family residences into their facility. Approval is also requested to move the existing sales office, currently located on the main campus, into one of the newly acquired single-family residences (1118 S. Redwood Street). The proposal also includes the adoption of the environmental determination prepared for the project.
- STAFF RECOMMENDATION:** Approval
- GENERAL PLAN DESIGNATION:** Campus: Urban 2
Other Properties: Urban 1
- ZONING:** Campus: R-2-8 (Light Multiple Residential, 8,000 SF minimum lot size)
Other Properties: R-1-7 (Single-Family Residential, 7,000 SF minimum lot size).

BACKGROUND/PROJECT DESCRIPTION: On April 24, 1973 a Conditional Use Permit (CUP) for a residential and nursing care facility and a Variance for a reduction in required parking were approved (case 73-33-CU/V). Since then, the CUP has been modified to incorporate a number of additional properties and activities into the facility. Currently, the facility is comprised of 11 properties, and includes independent and assisted living, and a memory care facility.

The current request is to allow the facility to expand into two (2) existing single-family residences located on separate lots across the street from the main campus, and to move the sales office, currently located at the southwest corner of the main campus, into the newly acquired unit at 1118 S. Redwood Street. The existing sales office would be converted to an additional residential unit.

1. Whether the expansion would affect traffic, parking, and pedestrian access in the neighborhood.
2. Whether the changes are appropriate for the neighborhood
3. Appropriateness of the request to move the sales office from the main campus to a separate single-family residence on the other side of Redwood Street.

REASON FOR STAFF RECOMMENDATION:

1. Staff believes the nature of the facility caring for so many residents who are no longer able to drive reduces the traffic and parking pressures in the area to acceptable levels. The additional residential units across the street from the main campus are already existing units and no density increase is being requested. Except for monitoring, cleaning and maintenance services provided by the main campus, the residence at 1130 S. Tulip Street will be occupied and function much as any the other residential unit in the neighborhood.
2. The properties acquired by Redwood Terrace will be fully renovated in the same fashion as previous single-family residential properties that have been incorporated into the facility. This includes extensive remodeling of the structures themselves and re-landscaping of each of the yards. Staff believes these renovations have improved the neighborhood, both in property value and appearance.
3. Staff believes that allowing the single-family residence at 1118 S. Redwood Street to operate as a model/sales office would not result in adverse impacts to adjacent properties. The neighborhood already has other non-residential uses, including an elementary school and two churches (one of which is immediately across the allow from the proposed model/sales office), all of which generate more noise and traffic than the proposed model/sales office would. The remodeling of this residence will include additional off-street parking spaces accessible from the adjacent alley which will not alleviate on-street parking concerns. The model/sales office will only have one or two employees operating on a fixed schedule (Mon 8:30 to 5:00, Tues-Thur 8:00 to 5:00, Sat 9:00 to 5:00, Sun closed)) and the number of daily customer visits is expected to be less than two. A street-legal golf cart stored on site will be used to take visitors to other places on campus if needed. These same functions already occur at the existing sales office on the corner of S. Redwood Street and 13th Avenue. An elementary school and church are also located at that intersection, and staff believes that relocating the model/sales office and related activities from that intersection will be a benefit to both Redwood Terrace and the surrounding neighborhood. The conversion of the existing sales office being into a residential unit without designated off-street parking will not adversely impact the neighborhood because most residents on Redwood Terrace's main campus do not drive. Staff feels the addition of this residential unit, along with the elimination of the single family house at 1118 S. Redwood as a typical residential unit will lead to a positive reduction in parking, traffic and noise for the surrounding neighborhood.
4. The proposed project is categorically exempt from environmental review in conformance with CEQA Section 15301 "Existing Facilities" and Section 15305 "Minor Alterations in Land Use Limitations."

Respectfully submitted,

Paul K. Bingham

Paul K. Bingham
Assistant Planner II



**REDWOOD TERRACE FACILITY
COMPONENTS SHOWING MAIN
CAMPUS, ACQUIRED INDEPENDENT
LIVING HOMES, THE TWO NEW
RESIDENCES AND THE EXISTING
SALES OFFICE**

**PROPOSED PROJECT
PHG17-0021**

A

AERIAL VIEW



FRONT (WEST) ELEVATION OF THE PROPOSED FUTURE SALES OFFICE AS SEEN FROM SOUTH REDWOOD STREET. NOTE EXISTING CHURCH FACILITY (TAN 2-STORY BUILDING) NORTH ACROSS THE ALLEY.



SIDE (NORTH) ELEVATION OF THE PROPOSED FUTURE SALES OFFICE AS SEEN FROM THE ALLEY.

**PROPOSED PROJECT
PHG17-0021**

P

PHOTOS



**FRONT (SOUTH) ELEVATION OF THE
EXISTING SALES OFFICE AS SEEN
FROM WEST 13th AVENUE**



**TYPICAL INDEPENDENT RESIDENTIAL UNIT ON CAMPUS. THE
EXISTING SALES OFFICE WILL BE CONVERTED TO ONE OF THESE.**

**EXISTING SALES OFFICE AND CAMPUS RESIDENCE
PHG17-0021**

P

PHOTOS



**FRONT (WEST) ELEVATION AS SEEN
FROM SOUTH TULIP STREET**



**GARAGE (NORTH) ELEVATION AS
SEEN FROM THE ALLEY BETWEEN
WEST 11th AND WEST 12th AVENUES**

**RESIDENCE AT 1130 S. TULIP STREET
PHG17-0021**

P

PHOTOS

FINDINGS OF FACT

PHG 17-0021

EXHIBIT "A"

Conditional Use Permit

1. The General Plan land use designations for the various sites within the project are Urban 1 and Urban 2, both residential in nature. The Redwood Terrace facility provides senior care at four levels, ranging from independent living to fulltime memory care to non-ambulatory patients. Approval of this Conditional Use Permit Modification is based on sound principals of land use in response to services required by the community, as senior care facilities are generally allowed in residential areas with compatible design elements.
2. This request will not cause deterioration of bordering land uses or create special problems for the area in which it is located because the proposed expansion of the facility does not increase the number of employees or residents already present in the neighborhood.
3. This Conditional Use Permit Modification has been considered in relationship with its effect on the community. As conditioned, the proposal would not increase the parking needs, noise or traffic in the neighborhood beyond their current levels.
4. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) in conformance with Section 15301 "Existing Facilities" and Section 15305 "Minor Alterations in Land Use Limitations." CEQA provides an exemption in cases of entitlements for use. A Notice of Exemption was prepared for the proposed project, and incorporated by this reference. The request does not have the potential for causing a significant effect on the environment.

CONDITIONS OF APPROVAL

PHG 17-0021

EXHIBIT "B"

1. Approval of this Conditional Use Permit Modification does not supersede any previous approval or conditions of the site. All previous conditions of cases 73-33-CU/V, 83-101-CUP/PUA, 89-67-CUP/PUA, 99-63-PPL, PHG10-0004, PHG14-0019, and PHG16-0004 shall remain in full force and effect and are incorporated herein by this reference unless modified herein.
2. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Community Development Director.
3. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Division, Building Official, and the Fire Chief.
4. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees, commissioners, or board members assume responsibility for the accuracy of said legal description.
5. Fire hydrant spacing and location must be approved by the Fire Department. The number, timing and minimum GPM fire flow shall be coordinated with the Fire Chief. Any necessary fire protection facilities and improvements shall be subject to the review and approval of the Fire Department.
6. All requirements of the Public Art Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.
7. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75).
8. Any proposed signage associated with this project must comply with the City's Sign Ordinance (Ord. 92-47).
9. All improvements to the facility must comply with all current Storm Water requirements.
10. The holder of the Conditional Use Permit shall make the premises available for inspection by City staff during operating hours, and shall provide such business records, licenses, and other materials necessary to evidence compliance with the conditions of approval.
11. This Conditional Use Permit may be referred back to the Zoning Administrator, or to the Planning Commission, for review and possible revocation or modification at a noticed public hearing upon receipt of nuisance complaints and/or non-compliance with the conditions of approval.
12. The City of Escondido hereby notifies the applicant that the County Clerk's office requires a documentary handling fee of \$50.00 in order to file a Notice of Exemption for the project (environmental determination for the project). In order to file the Notice of Exemption with the County Clerk, in conformance with the California Environmental Quality Act (CEQA) Section

15062, the applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the project (the final approval being the hearing date of the Planning Commission or City Council, if applicable), a check payable to the "County Clerk" in the amount of \$50.00. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. Failure to submit the required fee within the specific time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations will apply.

ZONING ADMINISTRATOR

- CASE NUMBER:** PHG 18-0019
- APPLICANT:** Chicken Lisa's (Alicia Gomez, Business Owner)
- PROJECT LOCATION:** The restaurant is located in Suite E of an existing retail center. The center is 1.69 acres and Suite E is 1,746 SF. Neighboring Suite F is 900 SF in size. Both are located on the southwest corner of West Country Club Lane and Village Road, addressed as 555 West Country Club Lane, Suite E (APN 224-610-0900).
- REQUEST:** Modification to a Conditional Use Permit to (1) allow a change in the existing Chicken Lisa's restaurant's current operating hours from 9:00 AM to 8:00 PM Monday-Thursday and 9:00 AM to 8:30 PM Friday-Sunday to 9:00 AM to 11:00 PM Sunday-Thursday and 9:00 AM to midnight Friday and Saturday, and; (2) to expand the existing restaurant into the neighboring suite of approximately 900 SF in size. The proposal also includes the adoption of the environmental determination prepared for the project.
- STAFF RECOMMENDATION:** Approval
- GENERAL PLAN DESIGNATION:** Planned Commercial (PC)
- ZONING:** PD-C (Planned Development Commercial).

BACKGROUND/PROJECT DESCRIPTION: The subject property is located in the Escondido Hills Plaza shopping center which was established as a Planned Development in 1977 (case 76-66-PD). While the Plaza is part of the Escondido Hills Master Development Plan and zoned PD-C (Planned Development Commercial), the center operates in accordance with CN (Neighborhood Commercial) development standards. Currently the Seven Eleven store located in Suite A of the center has a Type 20 ABC license (off-sale beer & wine) which allows sales of beer and wine for off-site consumption. The applicant was approved on July 19, 2018 (case PHG18-0007) for a Type 41 ABC license (on-sale beer & wine) allowing sales and service of beer and wine with food at their existing restaurant. The restaurant's current hours and days of operation are to close by 8:00 PM Monday through Thursday and by 8:30 PM on Fridays, Saturdays and Sundays. Per the CN development standards cited above, a Conditional Use Permit is required to allow alcohol sales and service at restaurants and to adjust hours of operation within the shopping center.

Staff feels the issues are as follows:

1. Whether the proposed expansion and change in operating hours are appropriate for the existing shopping center.
2. Whether there are safety concerns associated with the proposed expansion and change in hours of operation.

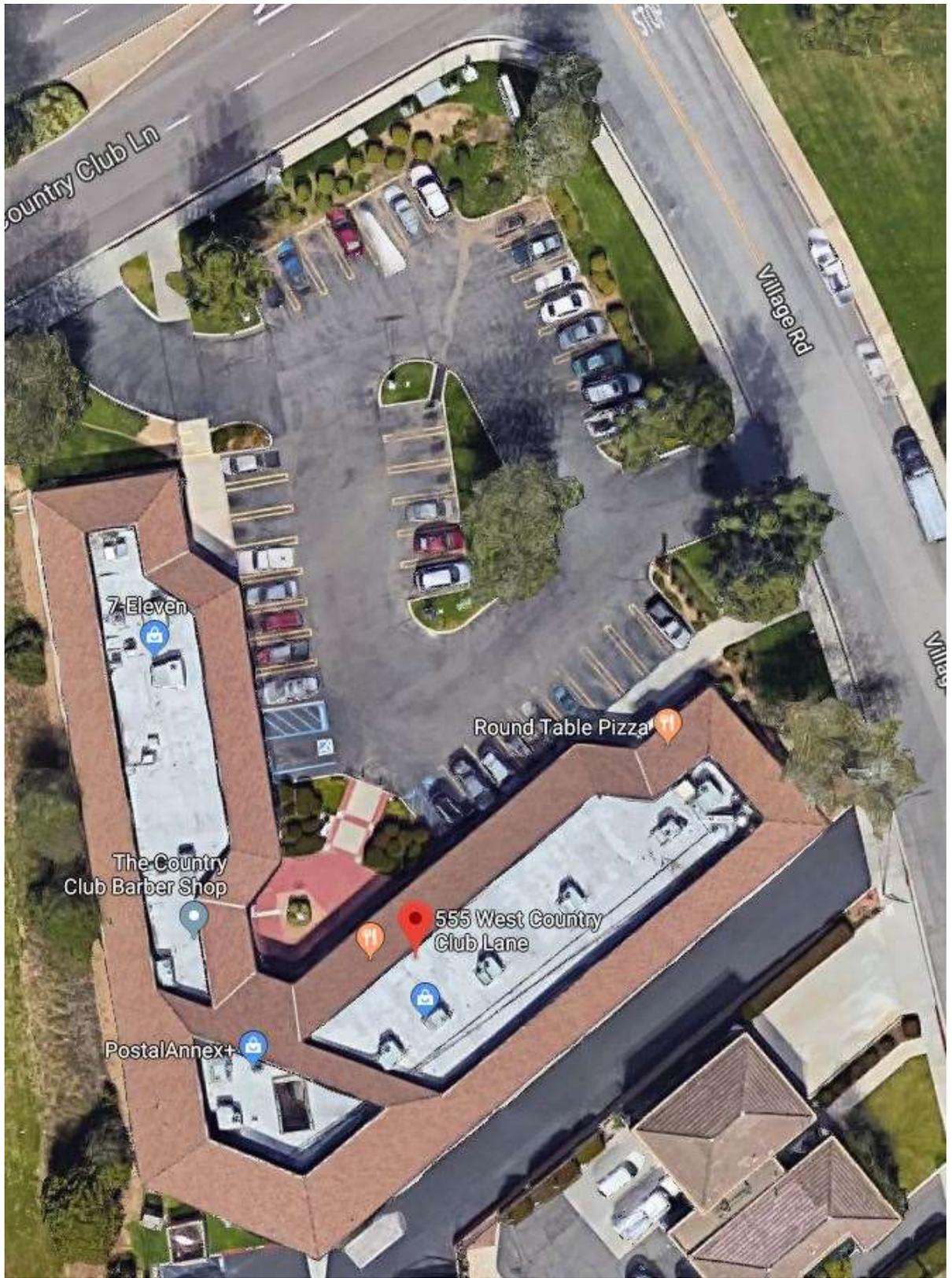
REASON FOR STAFF RECOMMENDATION: Staff believes that approving a Conditional Use Permit to expand the restaurant by 900 SF including more space to serve beer and wine would be appropriate, since they were granted approval for alcohol sales in July. The Planning Division depends ABC Licensing and the Police Department to evaluate requests involving alcohol licenses, expansions of venues selling alcohol and considering hours of operations in such establishments. They review and recommend appropriate conditions for the site and such use. ABC Licensing stated that if the adjacent suite it contiguous, which it is, that it can be covered under

the existing type 41 license. The Police Department did not identify any issues with this current request. The restaurant will continue to be subject to the requirements contained in Article 57 of the Zoning Code, which regulate the display and advertising of alcohol and are included in its previous CUP's conditions. The project is also subject to any separate provisions that might be required by the ABC license. Therefore, staff feels the CUP should be approved as conditioned. Staff has not received any comments from the public regarding this current request.

Respectfully submitted,

Paul K. Bingham

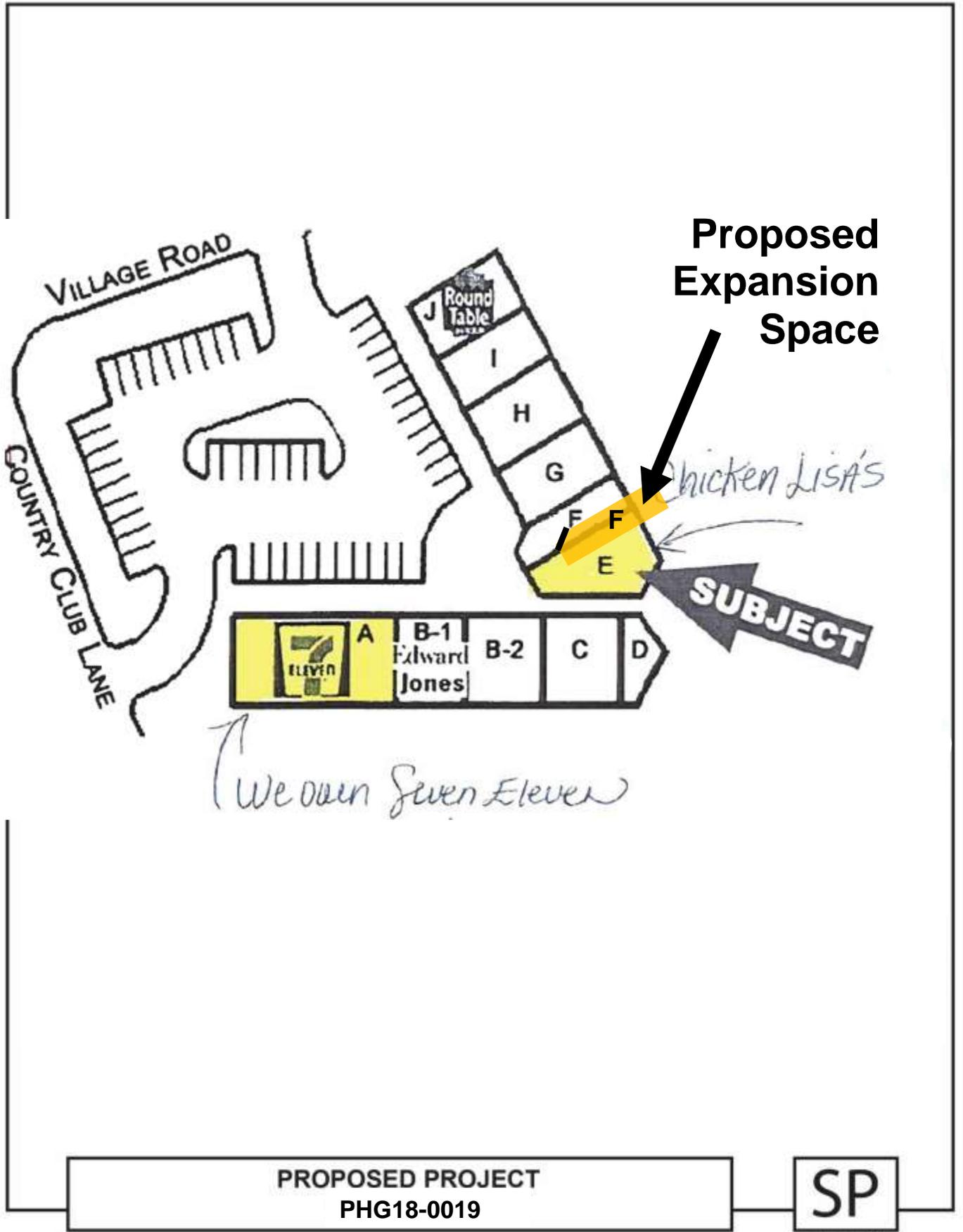
Paul K. Bingham
Assistant Planner II



PROPOSED PROJECT
PHG18-0019

A

AERIAL VIEW



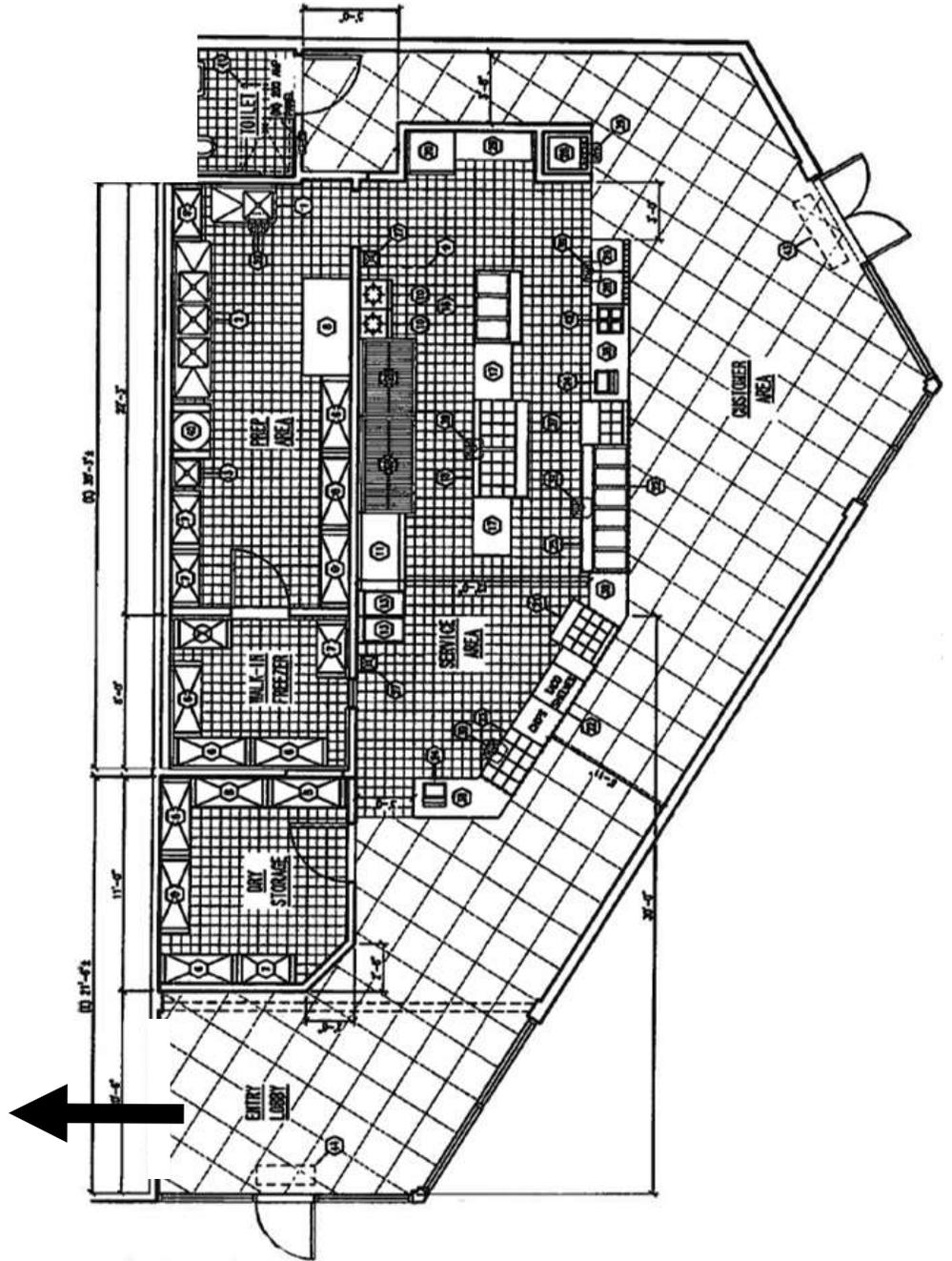
PROPOSED PROJECT
PHG18-0019

SP

SITE PLAN

FLOOR PLAN FOR
SUITE "E"
CHICKEN LISA'S
RESTAURANT

Proposed
access from
existing
restaurant

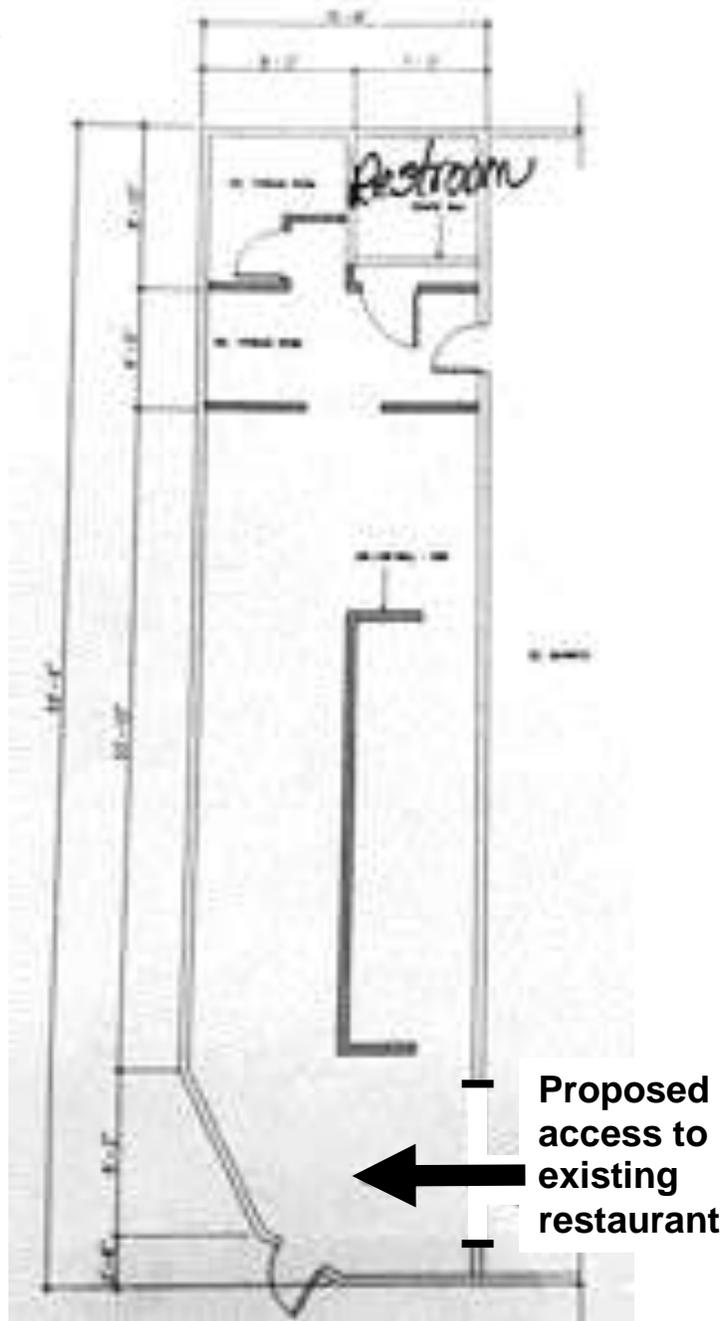


PROPOSED PROJECT
PHG18-0019

P

FLOOR PLAN

FLOOR PLAN FOR
SUITE "F"
CHICKEN LISA'S
RESTAURANT



PROPOSED PROJECT
PHG18-0019

P

FLOOR PLAN



**EXISTING RESTAURANT IN SUITE E
PHG18-0019**

P

FINDINGS OF FACT

EXHIBIT "A"

PHG 18-0019

Conditional Use Permit

1. The General Plan land use designation for the site is Planned Commercial (PC). The Escondido Hills Plaza is a small 16,324 SF planned commercial development on 1.69. Its intent was to provide the conveniences of a neighborhood commercial center to serve the surrounding residential development.
2. Granting the Conditional Use Permit for the proposed expansion of the existing use would be based on sound principles of land use and in response to services required by the community since the project would expand the availability of services already existing on the site.
2. Granting the Conditional Use Permit will not cause deterioration of bordering land uses or create special problems for the area since the site is zoned for commercial uses; the commercial suites of the center are already existing, alcohol sales are already taking place and conditions relating to additional alcohol sales will be applied to the permit to address potential alcohol-related concerns.
3. The proposed Conditional Use Permit has been considered in relationship to its effect on the community or neighborhood plan and would not result in a negative impact since the property is zoned commercial and was approved originally after careful consideration of the needs of the surrounded residential development. Potential alcohol-related issues will be governed by the Escondido Municipal Code, the Alcohol Beverage Control board regulations, and the business's current CUP Conditions of Approval, and additional conditions as included in Exhibit "B."
4. The proposed Conditional Use Permit has been considered in relationship to its effect on the neighborhood, and in light of its proposed days and hours of operation, which do not exceed the allowable hours of operation as found in the applicable CN zoning standards. A public notice was issued in accordance with city codes and state law for a public hearing to consider the proposed Conditional Use Permit, and no issues were identified at said hearing that would deem the proposed use to be incompatible with surrounding properties and uses.
5. The center has existed for nearly fifty years. The Escondido Police Department does not have any concerns with the expansion of this existing business providing alcohol sales as outlined in the subject request. No new suite space is being created in the center as an existing space is being changed over to restaurant use and connected to the existing restaurant by constructing a new wall opening. The other conditions of approval for the existing center are not being modified.
6. The business will continue to maintain its current public entrance and no new public entrances will be created.
7. The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) in conformance with Section 15301 (a), "Existing Facilities;" and 15321 (a)(2) "Enforcement Actions by Regulatory Agencies." CEQA provides an exemption in cases of entitlements for use. A Notice of Exemption was prepared for the proposed project, and incorporated by this reference. The request does not have the potential for causing a significant effect on the environment.

CONDITIONS OF APPROVAL

EXHIBIT "B"

PHG 18-0019

Planning Division Conditions

1. Approval of this Conditional Use Permit does not supersede any previous approval or conditions of the site. All previous conditions of cases 76-66-PD, 87-26-PD, 87-97-10-PD, PHG17-0003 and PHD18-0007 shall remain in full force and effect and are incorporated herein by this reference unless modified herein.

2. The business associated with this approval will be open to the public as follows:

Friday & Saturday: 9:00 AM – midnight
Sunday-Thursday: 9:00 AM – 11:00 PM

Modifications to these hours of operation must be approved, in writing, by the Director of Community Development after consultation with the Police Department.

3. The business's access door(s) shall be locked to public entry after the hours outlined above. The on-site manager of the business has the responsibility to enforce this policy. The performance guidelines for hours of operation established herein for the restaurant shall be adhered to going forward.
4. This permit does not authorize any outdoor dining, the expansion of the existing business's internal square footage beyond the 900 SF addressed in this CUP Modification or the elimination of any required parking on the site.
5. All alcohol sales and service activities at the facility shall strictly adhere to the State's ABC Type 41 beer and wine license regulations. Violations of these regulations will be grounds for revocation of this Conditional Use Permit.
6. The serving of alcohol shall only take place on-site in conjunction with the restaurant's food service and shall not be part of their off-site catering.
7. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
8. No signage relating to the availability and sales of alcohol on-site shall be permitted.
9. No changes in building signage is authorized under this permit. Any future changes to signage must be submitted as a separate application with payment of the review fees applicable at the time.
10. Parking for disabled persons shall be provided (including "Van Accessible" spaces and access aisle) in full compliance with chapter 2-71, part 2 of Title of the State Building code, including signage.
11. All project generated noise shall comply with the City's Noise Ordinance (Ord. 90-08) to the satisfaction of the Planning Division. No live music or entertainment is approved with this CUP.

12. This CUP shall become null and void unless utilized within twelve months of the effective date of approval.
13. All existing vegetation required as part of previous approvals, shall be maintained in a flourishing manner and kept free of all foreign matter, weeds and plant material not approved as part of the landscape plan. All existing irrigation shall be maintained in fully operations condition.
14. The holder of the Conditional Use Permit shall make the premises available for inspection by City staff during operating hours, and shall provide such business records, licenses, and other materials necessary to evidence compliance with the conditions of approval.
15. This Conditional Use Permit may be referred back to the Zoning Administrator, or to the Planning Commission, for review and possible revocation or modification at a noticed public hearing upon receipt of nuisance complaints and/or non-compliance with the conditions of approval.
16. The City of Escondido hereby notifies the applicant that the County Clerk's office requires a documentary handling fee of \$50.00 in order to file a Notice of Exemption for the project (environmental determination for the project). In order to file the Notice of Exemption with the County Clerk, in conformance with the California Environmental Quality Act (CEQA) Section 15062, the applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the project (the final approval being the hearing date of the Planning Commission or City Council, if applicable), a check payable to the "County Clerk" in the amount of \$50.00. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. Failure to submit the required fee within the specific time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180-day statute of limitations will apply.

ZONING ADMINISTRATOR

CASE NUMBER: PHG 18-0003, related to Planning Case Nos. (SUB15-0022 and PHG15-0031)

APPLICANT: Touchstone Communities

PROJECT LOCATION: On the southwestern corner of S. Centre City Parkway and Brotherton Road, addressed as 2329 Centre City Parkway

REQUEST: Precise Development Plan Modification for an approved 113-unit condominium/townhome project to add a leasing office and other usable space.

STAFF RECOMMENDATION: Approve, subject to conditions

GENERAL PLAN DESIGNATION: Specific Plan

ZONING: PD-R (Planned Development-Residential) within the South Centre City Specific Plan (Southern Entry District/Mixed-Use Overlay)

BACKGROUND/PROJECT DESCRIPTION: On May 11, 2016, the City Council approved the proposed "Del Prado" project that includes a Master and Precise Development Plan for 113 air-space, three-story condominium/townhome units on approximately 4.9 acres of land divided into a 3.47-acre northern and 1.4-acre southern component. Two Tentative Subdivision Maps (Del Prado North – 81 units and Del Prado South – 32 units) were also approved for the project because all of the subject parcels are not contiguous. The project consisted of a zone change, from General Commercial (CG) zoning to Planned Development-Residential (PD-R 24 du/ac) to allow a standalone residential development project. Project components includes a mix of two- and three-bedroom units ranging from 1,109 SF to 1,584 SF situated in 27 separate buildings (21 buildings Del Prado North and 6 buildings Del Prado South). A dedicated two-car garage would be provided for each unit along with additional on-site open parking spaces. The project includes shared recreational facilities including a pool, deck/trellis features and BBQ areas.

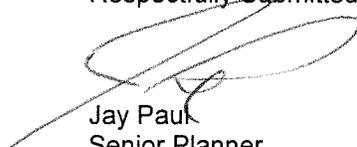
Since the project was approved, the South Centre City Specific Plan ("SCCSP") was adopted and the subject property/project is now located within the Southern Entry District of the Specific Plan with a corresponding mixed-use overlay. Although the new specific plan allows for mixed use, the South Entry District of the SCCSP allows for standalone multiple-family dwelling development with densities ranging from a minimum of 12.6 du/ac up to a maximum of 30 du/ac. The project density of 23 du/ac would be in conformance with the permitted land uses within the South Entry District of the specific plan.

Touchstone Communities is requesting a modification to the previously approved Precise Development Plan for the Del Prado North component of the project to add an approximately 2,792 SF Community Building to the project that would accommodate a leasing office, fitness and California type room. A large open storm water basin (approximately 80' x 45') also is being eliminated and a modified storm water design would be implemented that would provide more usable open space area around the proposed pool/deck and community building. The project also proposes to eliminate several low patio walls within the right-of-way fronting Brotherton Road. This modification also would require redesign of the corner architectural feature and project signage. On-site guest parking also was modified to include additional disabled parking spaces which reduces the number of on-site guest spaces. However, on-street spaces along Brotherton Road are allowed to be utilized as guest spaces and there a sufficient number of on-street spaces to provide the required number of quest spaces for the project. A modification to the Precise Development Plan is required because significant changes are being requested for the projects' site design. The Zoning Administrator is the authorized decision-maker for reviewing and granting discretionary approvals related to Precise Development Plan permit modifications.

REASON FOR STAFF RECOMMENDATION:

Staff believes the proposed Precise Plan modification is consistent with the purpose, character, and established development standards of the master development plan and in substantial conformance with the South Centre City Parkway Specific Plan. The new community building and redesign of the storm water basins will provide more recreational opportunities for the future residents, which would enhance the function and livability of the project's common space. In addition to the conditions of approval recommended in this staff report, the project is still subject to the previous conditions of approval (Planning Case Nos. SUB15-00022 and PHG15-0031). Staff has not received any comments from the public regarding the request.

Respectfully Submitted,



Jay Pauk
Senior Planner

**FINDINGS OF FACT
PHG 18-0003
EXHIBIT "A"**

Environmental Review Determination:

1. A Final Mitigated Negative Declaration (Final IS/MND) relative to the "Del Prado" project (City File No. ENV15-0011) has been prepared and adopted in conformance with the California Environmental Quality Act (CEQA). The findings of environmental review identified effects related to biological resources, geology/soils, noise, cultural and tribal cultural resources that might be potentially significant. However, design and minimization measures, revisions in the project plans, and/or mitigation measures agreed to by the applicant would provide mitigation to a point where potential impacts are reduced to less than a significant level. A Notice of Determination was filed with the County Clerk on May 18, 2016.

The action before the Zoning Administrator is directly related to the project considered in the Final IS/MND. The changes to the project, which have occurred since City Council approval of Ordinance No. 2016-05 on May 11, 2016, are "substantial modifications" requiring review and approval.

The overall setting for the project has not significantly changed since the adoption of the environmental documents. Surrounding properties have either remained undeveloped or have developed in accordance with the land use plan which was anticipated as part of the original project. The proposed project modifications do not involve any adverse physical changes in the environment and, hence, does not have the potential for causing a significant effect on the environment. Therefore, the previously-adopted environmental documents are sufficient and, pursuant to State CEQA Guidelines Section 15162 which identifies the requirements for which subsequent analysis is required, no further environmental review is required.

Precise Development Plan Modification:

1. The changes to the Precise Development Plan are consistent with the purpose, character, and established development standards of the Master Development Plan, approved on May 11, 2016 by the City Council. Granting the proposed Precise Plan Modification would provide more usable open space and recreation opportunities for the residents. The proposed multi-family residential/condominium project also would be consistent with the permitted uses and density of the Southern Entry District of the South Centre City Specific Plan. The architecture/ materials and colors of the new building would be compatible with the other residential buildings throughout the project. Adequate on- and off-site parking also would be provided for the project. Staff Design Review Board, reviewed the elevations, design, colors, and materials for the project on March 1, 2018 and April 5, 2018, and recommended approval the new site design changes.
2. Said changes to the Precise Development Plan have been reviewed and the Zoning Administrator concludes and finds, based on the analysis of the project described therein the October 25, 2018 Zoning Administrator staff report, that:
 - a. The proposed infill residential project would be in conformance with General Plan Housing Goals and Policies to expand the stock of all housing; increase homeownership; plan for quality

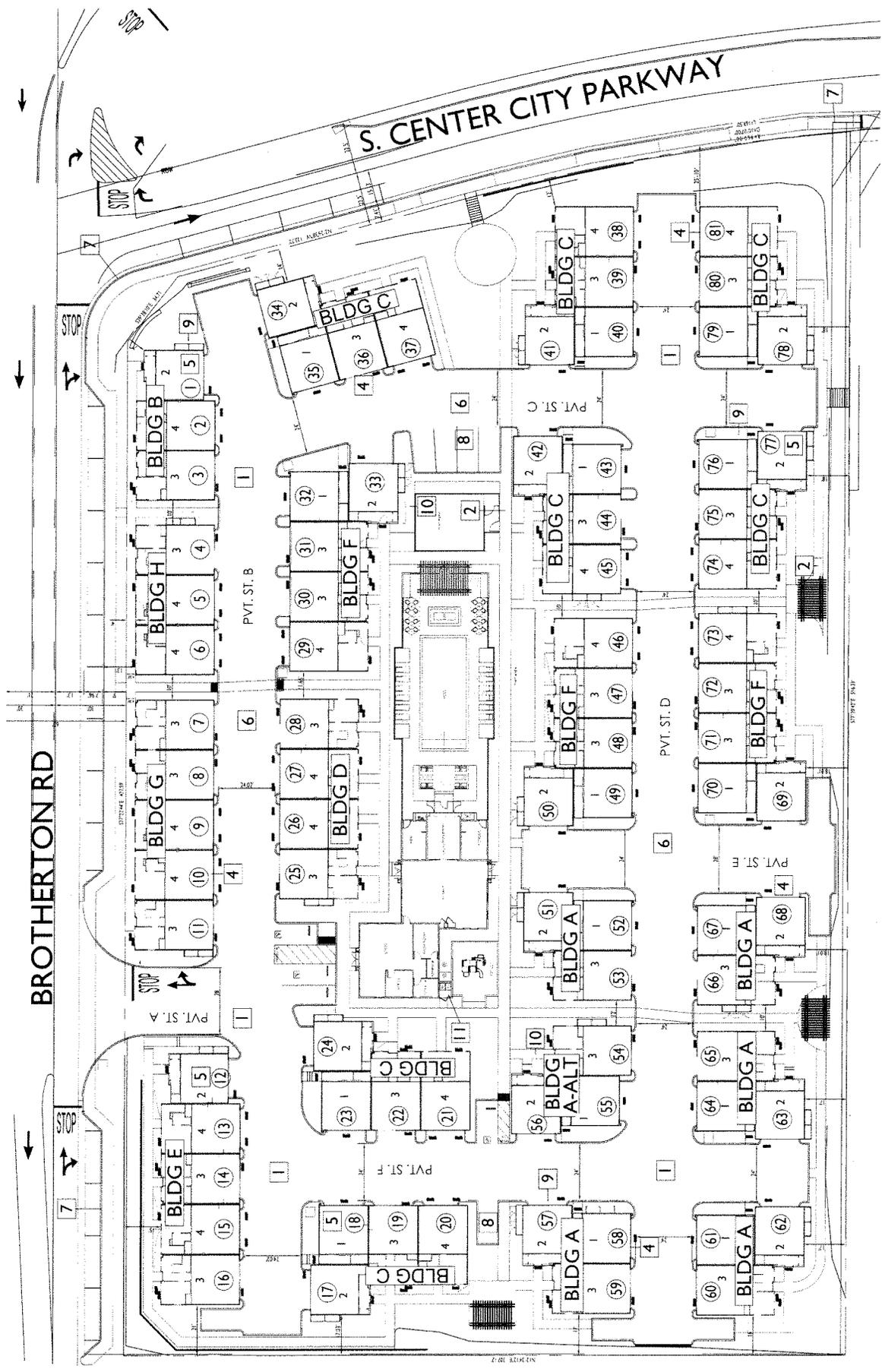
managed and sustainable growth; and encourage a compact, efficient urban form that promotes transit, supports nearby commercial establishments and takes advantage of infrastructure improvements installed to accommodate their intended intensities. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided to the site. The proposed design modification would not diminish the Quality-Of-Life Standards of the General Plan as the project would not materially degrade the level of service on the adjacent street or public facilities, or create excessive noise. Adequate on-site parking, circulation and public services would be provided to the site.

- b. The proposed location and design of the development allows it to be well integrated with its surroundings near residentially zoned property and will not cause deterioration of bordering land uses.
- c. All vehicular traffic generated by the proposed development would be accommodated safely and without causing undue congestion on adjoining streets, according to the Final IS/MND.
- d. All public facilities, sewer and water services are existing or will be available to the subject site, with proposed and anticipated improvements.
- e. The overall design of the proposed residential development would produce an attractive, beautiful, efficient and stable environment for living, since adequate parking, open space and landscaping would be provided.
- f. The proposed development would be well integrated into its surroundings. The new structures would incorporate compatible and well-thought out architecture, materials and colors. The project would not be visually obstructive or disharmonious with surrounding areas, or harm major views from adjacent properties.
- g. The approval of the Precise Plan Modification would be based on sound principles of land use because adequate parking, circulation, quality design, utilities and access would be provided for the development of the project.

**CONDITIONS OF APPROVAL
PHG 18-0003
EXHIBIT "B"**

Planning Division Conditions

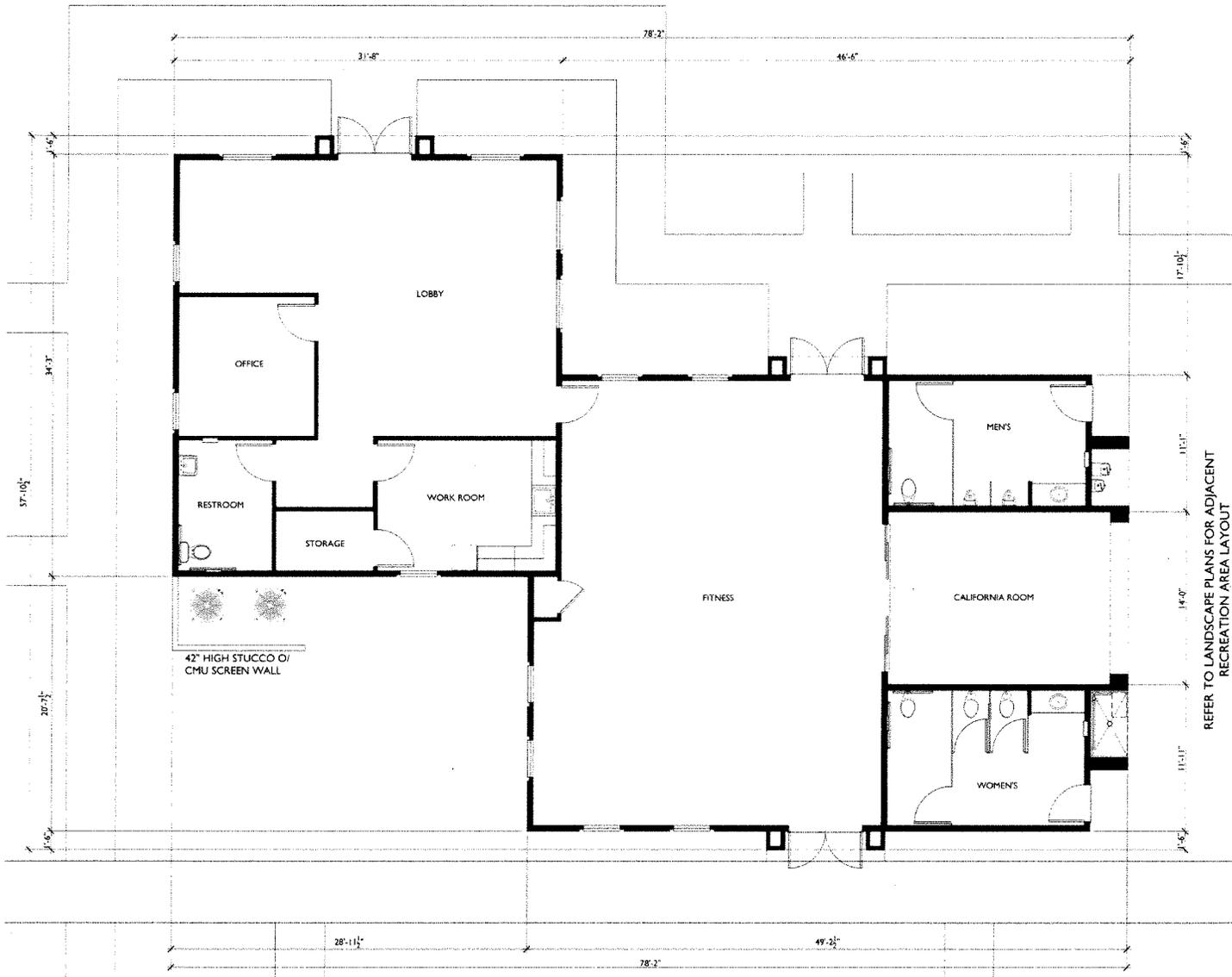
1. All conditions of approval applied to this Planned Development and Tentative Subdivision Map by previous approvals (SUB15-0022 and PHG15-0031) remain in effect except as revised by these conditions of approval. This includes all mitigation measures adopted concurrently with City Council Ordinance No. 2016-05. A mitigation monitoring and reporting program (MMRP) was also adopted in accordance with CEQA Guidelines Section 15074(d) to ensure implementation of the mitigation measures. As applicable, future developments within the "Del Prado" project is required to implement mitigation measures in the MMRP, unless lawfully modified.
2. The project architecture, materials and colors shall be in substantial conformance with the designs as detailed and referenced in the October 25, 2018 Zoning Administrator staff report.
3. The final design and location of the corner architectural element/monument sign shall be approved by the Staff Design Review Board. The architectural integrity and design of the sign and sign structure shall meet or exceed the same quality as approved by previous approvals (SUB15-0022 and PHG15-0031). Only the sign location and size is authorized by this Precise Development Plan Modification.
4. The number of on-site guest spaces may be modified in order to address any future requirements to conform to disabled parking or electric vehicle parking, provided sufficient on-street spaces along the project frontage are available for the project, to the satisfaction of the Director of Community Development.



PROPOSED PROJECT
PHG 18-0003-6.

S

SITE PLAN



DEL PRADO NORTH - 81 3-STORY ROW TOWN HOMES

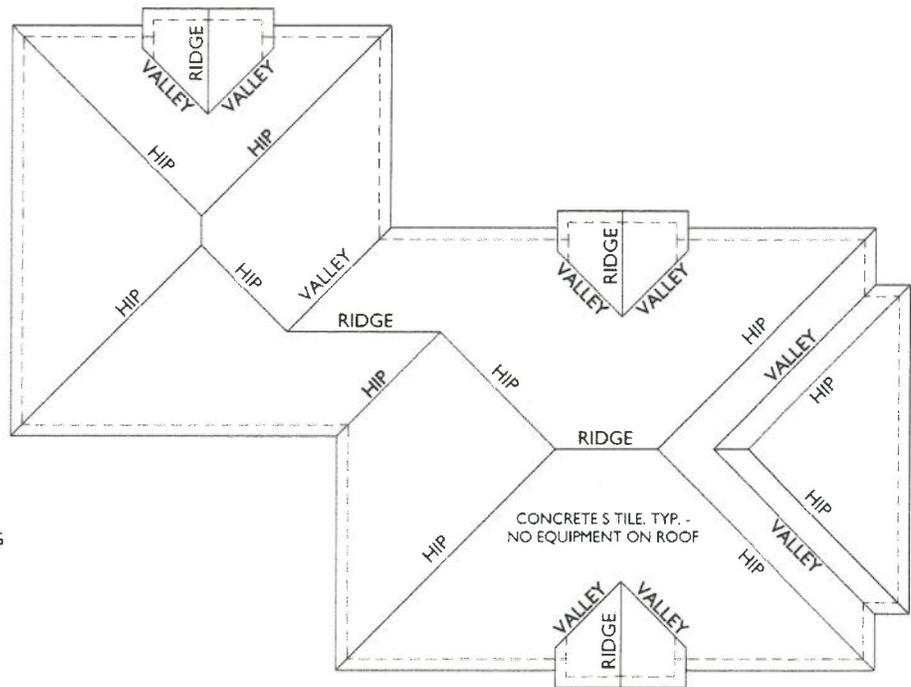
PROPOSED PROJECT
PHG 18-0003.7-

F

FLOOR PLAN



PERSPECTIVE



ROOF PLAN

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X FOAM @ DOORS
- 5 TRIM - SHAPED FOAM AT WINDOW SILLS
- 6 ADA COMPLIANT SHOWER
- 7 ADA COMPLIANT DRINKING FOUNTAIN
- 8 SHAPED FOAM CORNICE
- 9 DECORATIVE FOAM CORBELS
- 10 DECORATIVE METAL AWNING
- 11 DECORATIVE EXTERIOR LIGHT FIXTURE
- 12 DECORATED STUCCO RECESS

PROPOSED PROJECT
PHG 18-0003.8-



RIGHT ELEVATION



LEFT ELEVATION

PROPOSED PROJECT
PHG 18-0003.9-

E

ELEVATIONS



REAR ELEVATION



FRONT ELEVATION

PROPOSED PROJECT
PHG 18-0003₁₀₋

E

ELEVATIONS

COMMON COLORS



EAGLE ROOFING PRODUCTS
 PROFILE - CAPISTRANO
 COLOR - LOS PADRES BLEND

S - TILE ROOF



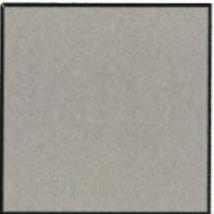
FRAZEE COLOR LIFE
 COLOR - TWIG CL 3267N
 MATERIAL - FASCIA / STUCCO TRIM

FASCIA/TRIM



FRAZEE COLOR LIFE
 COLOR - MASCARA CL 3207N
 MATERIAL - WINDOW TRIM & AWNINGS

ACCENT A



FRAZEE COLOR LIFE
 COLOR - VAULT CL 3255D
 MATERIAL - DECORATIVE METAL

METAL ACCENT

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'A' S-TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNIING

SCHEME COLORS



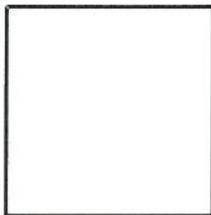
FRAZEE COLOR LIFE
 COLOR - AKAMINA CLW 1013W
 MATERIAL - MAIN STUCCO BODY

STUCCO 3



FRAZEE COLOR LIFE
 COLOR - STRING QUARTET CL 2394D
 MATERIAL - SHUTTERS & DOORS

ACCENT 3



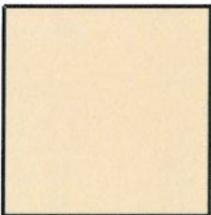
FRAZEE COLOR LIFE
 COLOR - MISTAYA CLW 1042W
 MATERIAL - MAIN STUCCO BODY

STUCCO - 2



FRAZEE COLOR LIFE
 COLOR - BULLS EYE CLC 1288N
 MATERIAL - SHUTTERS & DOORS

ACCENT 2



FRAZEE COLOR LIFE
 COLOR - JOHNSTON CL 2833M
 MATERIAL - MAIN STUCCO BODY

STUCCO - 1



FRAZEE COLOR LIFE
 COLOR - ORACLE CL 2995D
 MATERIAL - SHUTTERS & DOORS

ACCENT - 1

PROPOSED PROJECT
PHG 18-0003₁₁-



COLOR SCHEME 3



COLOR SCHEME 2

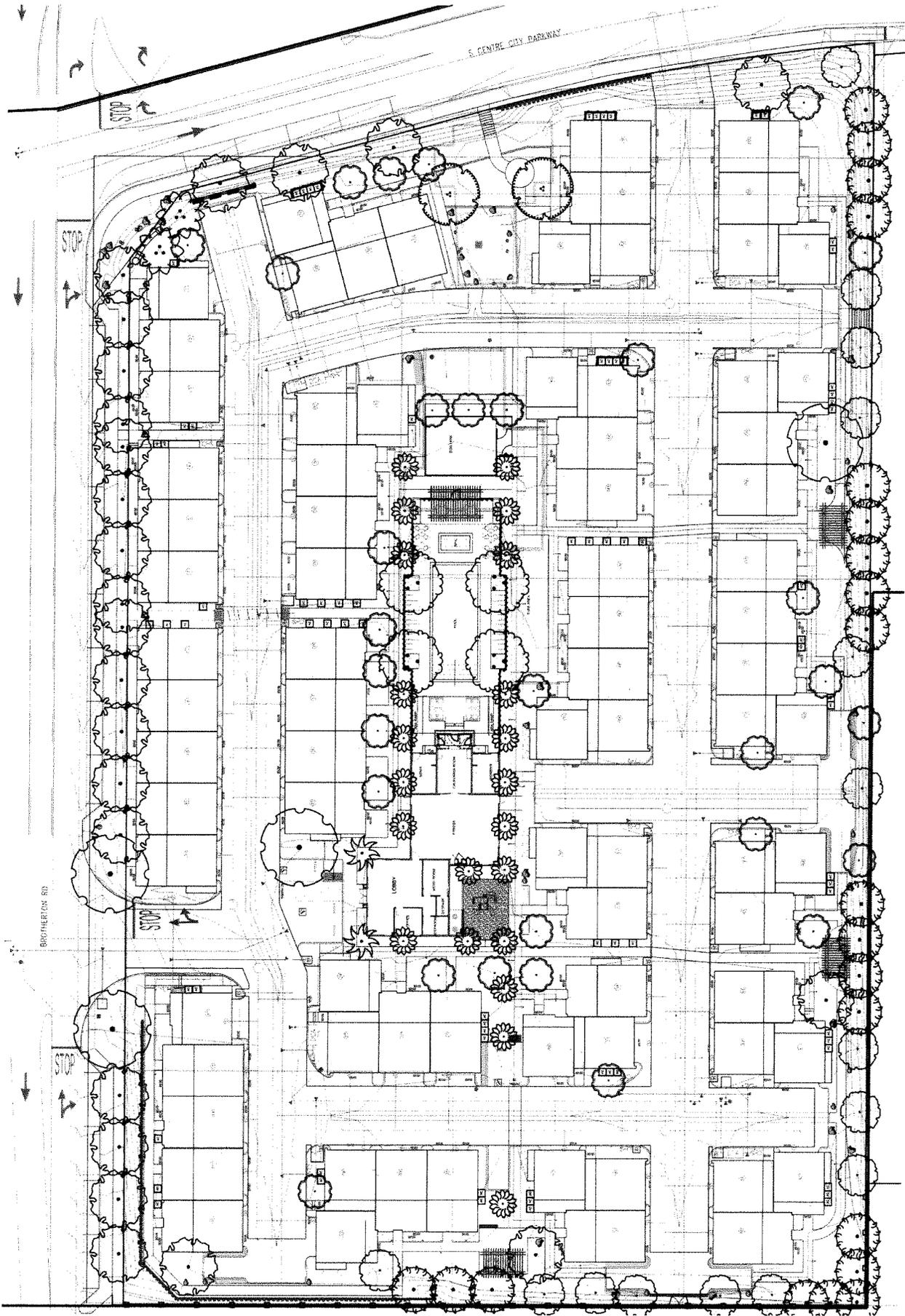


COLOR SCHEME 1

PROPOSED PROJECT
PHG 18-0003₁₂

E

ELEVATIONS



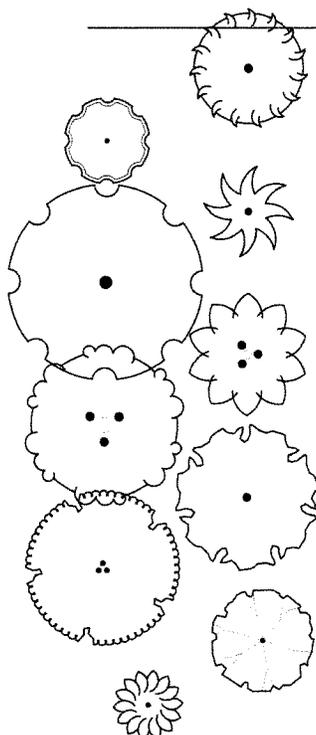
PROPOSED PROJECT
PHG 18-000313.



LANDSCAPE PLAN

DEVELOPMENT PLAN—PRELIMINARY LANDSCAPE PLAN CITY OF ESCONDIDO, CALIFORNIA

PLANT LEGEND



ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	REMARKS	WATER USE (24)	MATURE HEIGHT	MATURE WIDTH
TREES									
ACA-STE	ACACIA STENOPHYLLA	SHOESTRING ACACIA	21	24" BOX	PER PLAN	1.25'-2" CAL. STND	LOW	30'	20'
ARB-LNE	ARBUTUS UNEDO	STRAWBERRY TREE	30	24" BOX	PER PLAN	SINGLE TRUNK TREE FORM	LOW	8'-35'	8'-35'
ARC-CON	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM	2	10' BTH	PER PLAN	SINGLE TRUNK	MED	50'	10'-15'
CER-DES	CERCIDIUM DESERT MUSEUM	DESERT MUSEUM PALO VERDE	4	24" BOX	PER PLAN		LOW	35'	30'
CHA-HUM	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	2	48" BOX	PER PLAN	MULTI-TRUNK	LOW	20'	20'
OLE-EUR	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	4	24" BOX	PER PLAN	MULTI-TRUNK	LOW	25'-30'	25'-30'
RHU-LAN	RHUS LANCEA	AFRICAN SUMAC	24	24" BOX	PER PLAN		LOW	20'-30'	20'-35'
PLA-RAC	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	2	24" BOX	PER PLAN	MULTI-TRUNK	MED	30'-80'	20'-50'
QUE-AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	15	24" BOX	PER PLAN	MULTI-TRUNK SPECIMEN	LOW	20'-70'	20'-70'
WAS-ROB	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	22	15' B.T.H.	PER PLAN	SKINNED	LOW	100'	10'
SHRUBS									
ACH-MOO	ACHILLEA 'MOONSHINE'	MOONSHINE FERN LEAF YARROW	18	1 GAL.	PER PLAN		LOW	1'-2'	2'-3'
AGA-BLU	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	2	15 GAL.	PER PLAN	IN PLANTER POTS PER SIGN DETAIL	LOW	1'-2'	2'-3'
AGA-VIL	AGAVE VELMORINIANA 'TENTACLES'	OCTOPUS AGAVE	81	15 GAL.	PER PLAN		LOW	3'-4'	3'-4'
ALD-BLU	ALOE 'BLUE ELF'	BLUE ELF ALOE	543	1 GAL.	PER PLAN		LOW	18"	2"
ARC-SUN	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	83	5 GAL.	PER PLAN		LOW	4'-5'	4'-6'
ARI-PUR	ARISTIDA PURPUREA	PURPLE THREE AWIN	1,522	1 GAL.	PER PLAN		LOW	2"	2"
BAC-PIL	BACCHARIS PILLULARIS 'PIEGON POINT'	DWARF COYOTE BRUSH	89	1 GAL.	PER PLAN		LOW	8"-24"	6"
CAL-LIT	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	233	5 GAL.	PER PLAN		LOW	3'	3'
CEA-CON	CEANOTHUS 'CONCHA'	WILD LILAC	81	5 GAL.	PER PLAN		LOW	6'-7'	6'-8'
ERE-BLU	EREMOPHILA HYGROPHANA 'BLUE BELLS'	BLUE BELLS EMU BUSH	92	5 GAL.	PER PLAN		LOW	2'-3'	3'
HET-ARB	HETEROMELES ARBUTIFOLIA	TOYON CHRISTMAS BERRY	35	5 GAL.	PER PLAN		LOW	6'-10'	6'-10'
IEX-VOM	ILEX VOMITORIA 'STOKES DWARF'	STOKES DWARF YAUPOIN	306	5 GAL.	PER PLAN		LOW	3'-5'	3'-5'
LAN-NEW	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	109	1 GAL.	PER PLAN		LOW	2'-3'	3'-4'
LEY-CON	LEYMUS CONDENSATUS 'CANYON PRINCE'	BLUE LYME GRASS	190	1 GAL.	PER PLAN		LOW	2'-3'	2'-3'
LIG-JAP	LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	58	5 GAL.	PER PLAN		MED	6'-10'	4'-6'
LOM-LON	LOMANDBA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	686	1 GAL.	PER PLAN		MED	2'-3'	2'-4'
MAH-REP	MAHONIA AQUIFOLIUM 'REPENS'	CREeping BARBERRY	311	1 GAL.	PER PLAN		LOW	2'-3'	3'-4'
MUH-RIG	MUHLENBERGIA RIGENS	DEER GRASS	18	1 GAL.	PER PLAN		MED	4'	4'
POD-MAC	PODOCARPUS MACROPHYLLUS 'MAK'	SHRUBBY YEW PINE	131	5 GAL.	PER PLAN		MED	15'-26'	6'
RHA-CAL	RHAMNUS CALIFORNICA 'SAN BRUNO'	MOUND COFFEEBERRY	133	5 GAL.	PER PLAN		LOW	4'-6'	4'-6'
RHA-UMB	RHAMPHOLEPIS UMBELLATA 'MINOR'	YEDDO HAWTHORN	57	5 GAL.	PER PLAN		MED	3'-4'	3'-4'
SAL-POZ	SALVIA CLEVELANDII 'POZO BLUE'	CLEVELAND SAGE	92	5 GAL.	PER PLAN		LOW	3'-5'	5'-8'

1-35

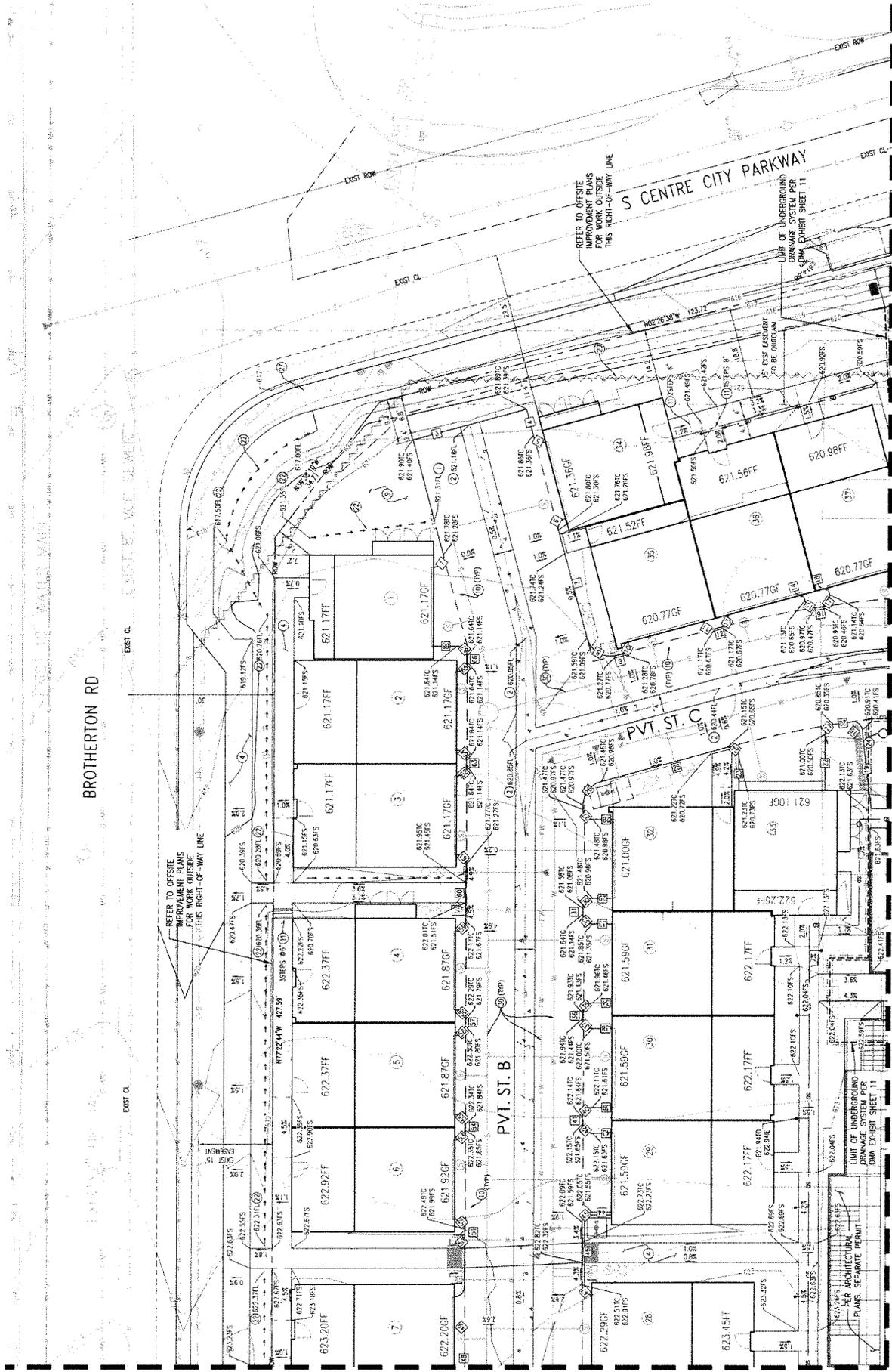
PLANT LEGEND

ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	REMARKS	WATER USE (24)	MATURE HEIGHT	MATURE WIDTH
VINES									
BOU-SAN	BOUGAINVILLEA 'SAN DIEGO RED'	SAN DIEGO RED BOUGAINVILLEA	8	5 GAL.	PER PLAN	REMOVE FROM STAKE AND ATTACH TO WALL	LOW	LOW	LOW
GROUNDCOVERS									
0'	CAR-PRA	CAREX PRAEGRACILIS	187	2" PLUGS	18" O.C.		MED	12"	18"
0'	ROS-HUN	ROSMARINUS OFF. 'HUNTINGTON CARPET'	270	1 GAL.	3" O.C.		LOW	1.5'	3'-5'
0'	SEN-MAN	SENECIO MANDRALISCAE	3,250	1 GAL.	12" O.C.		LOW	1'	2'
TURF GRASS									
0'-30"	MARATHON 1	HYBRID TALL FESCUE	3,518	SOD			HIGH		
BOULDERS									
0'-30"	24"-30" LANDSCAPE BOULDER	PATIALLY BURY PER DETAIL P-03	31						
0'-30"	36"-48" LANDSCAPE BOULDER	PATIALLY BURY PER DETAIL P-03	24						
0'-35"	NOTE	FURNISH AND INSTALL 'DESERT SELECT' BOULDERS FROM SOUTHWEST BOULDER.							
0'-35"	1/4" COBBLE FROM SOUTHWEST BOULDER AND STONE, COLOR: IRONWOOD		430 S.F.						

PROPOSED PROJECT
PHG 18-0003 14-



LANDSCAPE PLAN



BROTHERTON RD

S CENTRE CITY PARKWAY

REFER TO OFFSITE IMPROVEMENT PROGRAM FOR WORK OUTSIDE THIS RIGHT-OF-WAY LINE

LIMIT OF UNDERGROUND DRAINAGE SYSTEM PER DWA EXHIBIT SHEET 11

REFER TO OFFSITE IMPROVEMENT PROGRAM FOR WORK OUTSIDE THIS RIGHT-OF-WAY LINE

PVT. ST. B

PVT. ST. C

MATCHLINE SEE SHEET 7

MATCHLINE SEE SHEET 5

PROPOSED PROJECT
PHG 18-000315.

BROTHERTON RD

DIST. 0.

DIST. 0.

MATCHLINE SEE SHEET 4

PVT. ST. A

PVT. ST. B

MATCHLINE SEE SHEET 6



REFER TO OFF-SITE IMPROVEMENT PLANS FOR WORK OUTSIDE THIS RIGHT-OF-WAY LINE

PERMANENT WALL 1 PER SHEET 1

PERMANENT WALL 2 PER SHEET 2

PERMANENT WALL 3 PER SHEET 3

PERMANENT WALL 4 PER SHEET 4

PERMANENT WALL 5 PER SHEET 5

PERMANENT WALL 6 PER SHEET 6

PERMANENT WALL 7 PER SHEET 7

PERMANENT WALL 8 PER SHEET 8

PERMANENT WALL 9 PER SHEET 9

PERMANENT WALL 10 PER SHEET 10

PERMANENT WALL 11 PER SHEET 11

PERMANENT WALL 12 PER SHEET 12

PERMANENT WALL 13 PER SHEET 13

PERMANENT WALL 14 PER SHEET 14

PERMANENT WALL 15 PER SHEET 15

PERMANENT WALL 16 PER SHEET 16

PERMANENT WALL 17 PER SHEET 17

PERMANENT WALL 18 PER SHEET 18

PERMANENT WALL 19 PER SHEET 19

PERMANENT WALL 20 PER SHEET 20

PERMANENT WALL 21 PER SHEET 21

PERMANENT WALL 22 PER SHEET 22

PERMANENT WALL 23 PER SHEET 23

PERMANENT WALL 24 PER SHEET 24

PERMANENT WALL 25 PER SHEET 25

PERMANENT WALL 26 PER SHEET 26

PERMANENT WALL 27 PER SHEET 27

PERMANENT WALL 28 PER SHEET 28

PERMANENT WALL 29 PER SHEET 29

PERMANENT WALL 30 PER SHEET 30

PERMANENT WALL 31 PER SHEET 31

PERMANENT WALL 32 PER SHEET 32

PERMANENT WALL 33 PER SHEET 33

PERMANENT WALL 34 PER SHEET 34

PERMANENT WALL 35 PER SHEET 35

PERMANENT WALL 36 PER SHEET 36

PERMANENT WALL 37 PER SHEET 37

PERMANENT WALL 38 PER SHEET 38

PERMANENT WALL 39 PER SHEET 39

PERMANENT WALL 40 PER SHEET 40

PERMANENT WALL 41 PER SHEET 41

PERMANENT WALL 42 PER SHEET 42

PERMANENT WALL 43 PER SHEET 43

PERMANENT WALL 44 PER SHEET 44

PERMANENT WALL 45 PER SHEET 45

PERMANENT WALL 46 PER SHEET 46

PERMANENT WALL 47 PER SHEET 47

PERMANENT WALL 48 PER SHEET 48

PERMANENT WALL 49 PER SHEET 49

PERMANENT WALL 50 PER SHEET 50

PERMANENT WALL 51 PER SHEET 51

PERMANENT WALL 52 PER SHEET 52

PERMANENT WALL 53 PER SHEET 53

PERMANENT WALL 54 PER SHEET 54

PERMANENT WALL 55 PER SHEET 55

PERMANENT WALL 56 PER SHEET 56

PERMANENT WALL 57 PER SHEET 57

PERMANENT WALL 58 PER SHEET 58

PERMANENT WALL 59 PER SHEET 59

PERMANENT WALL 60 PER SHEET 60

PERMANENT WALL 61 PER SHEET 61

PERMANENT WALL 62 PER SHEET 62

PERMANENT WALL 63 PER SHEET 63

PERMANENT WALL 64 PER SHEET 64

PERMANENT WALL 65 PER SHEET 65

PERMANENT WALL 66 PER SHEET 66

PERMANENT WALL 67 PER SHEET 67

PERMANENT WALL 68 PER SHEET 68

PERMANENT WALL 69 PER SHEET 69

PERMANENT WALL 70 PER SHEET 70

PERMANENT WALL 71 PER SHEET 71

PERMANENT WALL 72 PER SHEET 72

PERMANENT WALL 73 PER SHEET 73

PERMANENT WALL 74 PER SHEET 74

PERMANENT WALL 75 PER SHEET 75

PERMANENT WALL 76 PER SHEET 76

PERMANENT WALL 77 PER SHEET 77

PERMANENT WALL 78 PER SHEET 78

PERMANENT WALL 79 PER SHEET 79

PERMANENT WALL 80 PER SHEET 80

PERMANENT WALL 81 PER SHEET 81

PERMANENT WALL 82 PER SHEET 82

PERMANENT WALL 83 PER SHEET 83

PERMANENT WALL 84 PER SHEET 84

PERMANENT WALL 85 PER SHEET 85

PERMANENT WALL 86 PER SHEET 86

PERMANENT WALL 87 PER SHEET 87

PERMANENT WALL 88 PER SHEET 88

PERMANENT WALL 89 PER SHEET 89

PERMANENT WALL 90 PER SHEET 90

PERMANENT WALL 91 PER SHEET 91

PERMANENT WALL 92 PER SHEET 92

PERMANENT WALL 93 PER SHEET 93

PERMANENT WALL 94 PER SHEET 94

PERMANENT WALL 95 PER SHEET 95

PERMANENT WALL 96 PER SHEET 96

PERMANENT WALL 97 PER SHEET 97

PERMANENT WALL 98 PER SHEET 98

PERMANENT WALL 99 PER SHEET 99

PERMANENT WALL 100 PER SHEET 100

PERMANENT WALL 101 PER SHEET 101

PERMANENT WALL 102 PER SHEET 102

PERMANENT WALL 103 PER SHEET 103

PERMANENT WALL 104 PER SHEET 104

PERMANENT WALL 105 PER SHEET 105

PERMANENT WALL 106 PER SHEET 106

PERMANENT WALL 107 PER SHEET 107

PERMANENT WALL 108 PER SHEET 108

PERMANENT WALL 109 PER SHEET 109

PERMANENT WALL 110 PER SHEET 110

PERMANENT WALL 111 PER SHEET 111

PERMANENT WALL 112 PER SHEET 112

PERMANENT WALL 113 PER SHEET 113

PERMANENT WALL 114 PER SHEET 114

PERMANENT WALL 115 PER SHEET 115

PERMANENT WALL 116 PER SHEET 116

PERMANENT WALL 117 PER SHEET 117

PERMANENT WALL 118 PER SHEET 118

PERMANENT WALL 119 PER SHEET 119

PERMANENT WALL 120 PER SHEET 120

PERMANENT WALL 121 PER SHEET 121

PERMANENT WALL 122 PER SHEET 122

PERMANENT WALL 123 PER SHEET 123

PERMANENT WALL 124 PER SHEET 124

PERMANENT WALL 125 PER SHEET 125

PERMANENT WALL 126 PER SHEET 126

PERMANENT WALL 127 PER SHEET 127

PERMANENT WALL 128 PER SHEET 128

PERMANENT WALL 129 PER SHEET 129

PERMANENT WALL 130 PER SHEET 130

PERMANENT WALL 131 PER SHEET 131

PERMANENT WALL 132 PER SHEET 132

PERMANENT WALL 133 PER SHEET 133

PERMANENT WALL 134 PER SHEET 134

PERMANENT WALL 135 PER SHEET 135

PERMANENT WALL 136 PER SHEET 136

PERMANENT WALL 137 PER SHEET 137

PERMANENT WALL 138 PER SHEET 138

PERMANENT WALL 139 PER SHEET 139

PERMANENT WALL 140 PER SHEET 140

PERMANENT WALL 141 PER SHEET 141

PERMANENT WALL 142 PER SHEET 142

PERMANENT WALL 143 PER SHEET 143

PERMANENT WALL 144 PER SHEET 144

PERMANENT WALL 145 PER SHEET 145

PERMANENT WALL 146 PER SHEET 146

PERMANENT WALL 147 PER SHEET 147

PERMANENT WALL 148 PER SHEET 148

PERMANENT WALL 149 PER SHEET 149

PERMANENT WALL 150 PER SHEET 150

PERMANENT WALL 151 PER SHEET 151

PERMANENT WALL 152 PER SHEET 152

PERMANENT WALL 153 PER SHEET 153

PERMANENT WALL 154 PER SHEET 154

PERMANENT WALL 155 PER SHEET 155

PERMANENT WALL 156 PER SHEET 156

PERMANENT WALL 157 PER SHEET 157

PERMANENT WALL 158 PER SHEET 158

PERMANENT WALL 159 PER SHEET 159

PERMANENT WALL 160 PER SHEET 160

PERMANENT WALL 161 PER SHEET 161

PERMANENT WALL 162 PER SHEET 162

PERMANENT WALL 163 PER SHEET 163

PERMANENT WALL 164 PER SHEET 164

PERMANENT WALL 165 PER SHEET 165

PERMANENT WALL 166 PER SHEET 166

PERMANENT WALL 167 PER SHEET 167

PERMANENT WALL 168 PER SHEET 168

PERMANENT WALL 169 PER SHEET 169

PERMANENT WALL 170 PER SHEET 170

PERMANENT WALL 171 PER SHEET 171

PERMANENT WALL 172 PER SHEET 172

PERMANENT WALL 173 PER SHEET 173

PERMANENT WALL 174 PER SHEET 174

PERMANENT WALL 175 PER SHEET 175

PERMANENT WALL 176 PER SHEET 176

PERMANENT WALL 177 PER SHEET 177

PERMANENT WALL 178 PER SHEET 178

PERMANENT WALL 179 PER SHEET 179

PERMANENT WALL 180 PER SHEET 180

PERMANENT WALL 181 PER SHEET 181

PERMANENT WALL 182 PER SHEET 182

PERMANENT WALL 183 PER SHEET 183

PERMANENT WALL 184 PER SHEET 184

PERMANENT WALL 185 PER SHEET 185

PERMANENT WALL 186 PER SHEET 186

PERMANENT WALL 187 PER SHEET 187

PERMANENT WALL 188 PER SHEET 188

PERMANENT WALL 189 PER SHEET 189

PERMANENT WALL 190 PER SHEET 190

PERMANENT WALL 191 PER SHEET 191

PERMANENT WALL 192 PER SHEET 192

PERMANENT WALL 193 PER SHEET 193

PERMANENT WALL 194 PER SHEET 194

PERMANENT WALL 195 PER SHEET 195

PERMANENT WALL 196 PER SHEET 196

PERMANENT WALL 197 PER SHEET 197

PERMANENT WALL 198 PER SHEET 198

PERMANENT WALL 199 PER SHEET 199

PERMANENT WALL 200 PER SHEET 200

PERMANENT WALL 201 PER SHEET 201

PERMANENT WALL 202 PER SHEET 202

PERMANENT WALL 203 PER SHEET 203

PERMANENT WALL 204 PER SHEET 204

PERMANENT WALL 205 PER SHEET 205

PERMANENT WALL 206 PER SHEET 206

PERMANENT WALL 207 PER SHEET 207

PERMANENT WALL 208 PER SHEET 208

PERMANENT WALL 209 PER SHEET 209

PERMANENT WALL 210 PER SHEET 210

PERMANENT WALL 211 PER SHEET 211

PERMANENT WALL 212 PER SHEET 212

PERMANENT WALL 213 PER SHEET 213

PERMANENT WALL 214 PER SHEET 214

PERMANENT WALL 215 PER SHEET 215

PERMANENT WALL 216 PER SHEET 216

PERMANENT WALL 217 PER SHEET 217

PERMANENT WALL 218 PER SHEET 218

PERMANENT WALL 219 PER SHEET 219

PERMANENT WALL 220 PER SHEET 220

PERMANENT WALL 221 PER SHEET 221

PERMANENT WALL 222 PER SHEET 222

PERMANENT WALL 223 PER SHEET 223

PERMANENT WALL 224 PER SHEET 224

PERMANENT WALL 225 PER SHEET 225

PERMANENT WALL 226 PER SHEET 226

PERMANENT WALL 227 PER SHEET 227

PERMANENT WALL 228 PER SHEET 228

PERMANENT WALL 229 PER SHEET 229

PERMANENT WALL 230 PER SHEET 230

PERMANENT WALL 231 PER SHEET 231

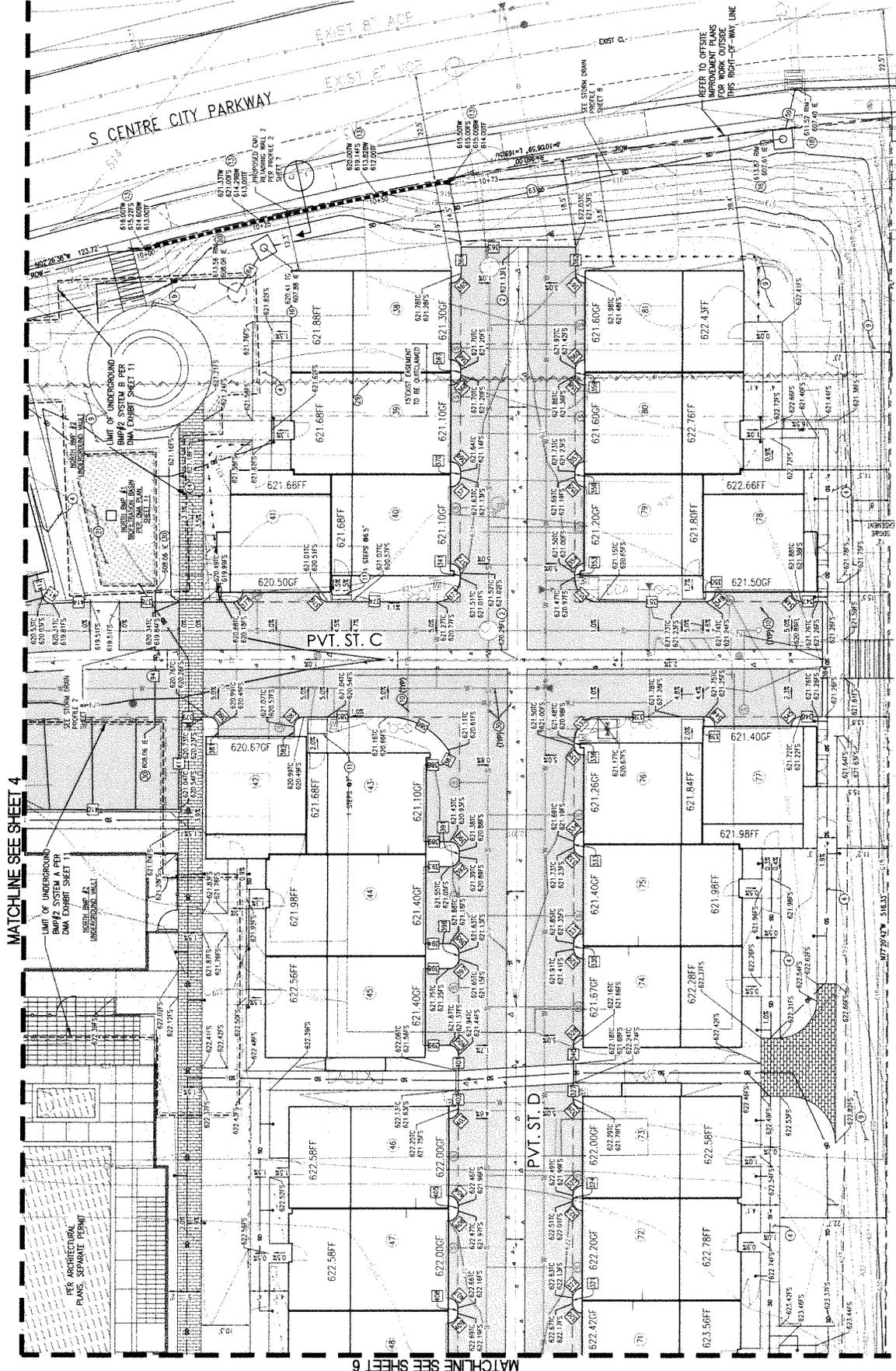
PERMANENT WALL 232 PER SHEET 232

PERMANENT WALL 233 PER SHEET 233

CONSTRUCTION NOTES

- 1) 12" WICK CURB CUT PER DETAIL 3 SHEET 2
- 2) 4" WIDE CONCRETE RIBBON CURB PER DETAIL 3 SHEET 2
- 3) CONCRETE WALKWAY PER DETAIL 2 SHEET 2
- 4) LANDSCAPE AREAS PER ARCHITECTURAL PLANS
- 5) PUBLIC UTILITY EASEMENT PER ON-SITE PLANS, PER SEPARATE PERMIT
- 6) STAIRS PER ARCHITECTURAL PLANS
- 7) CHUI RETAINING WALL SET PER SHEET 9
- 8) GRADED SWALE PER DETAIL 7 SHEET 2
- 9) WATER MAIN, FIRE WATER MAIN, SEWER MAIN AND ALL APPURTENANCES ARE PER IMPROVEMENT PLANS, SEPARATE PERMIT SHOWN FOR REFERENCE ONLY

PROPOSED PROJECT

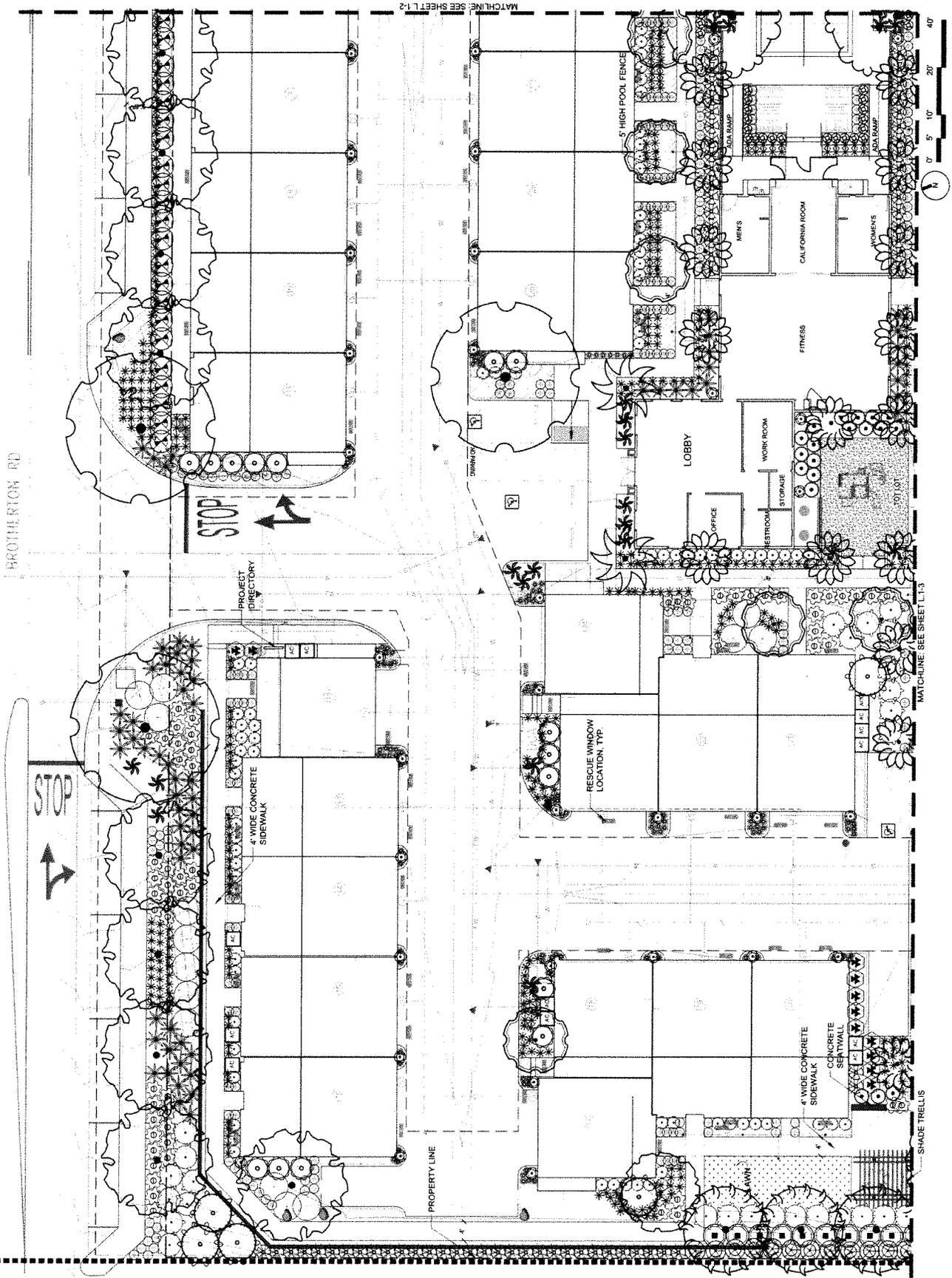


MATCHLINE SEE SHEET 4

MATCHLINE SEE SHEET 6

PROPOSED PROJECT
PHG 18-0003

TENTATIVE MAP - DEL PRADO (NORTH) SITE
 DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN
 CITY OF ESCONDIDO, CALIFORNIA

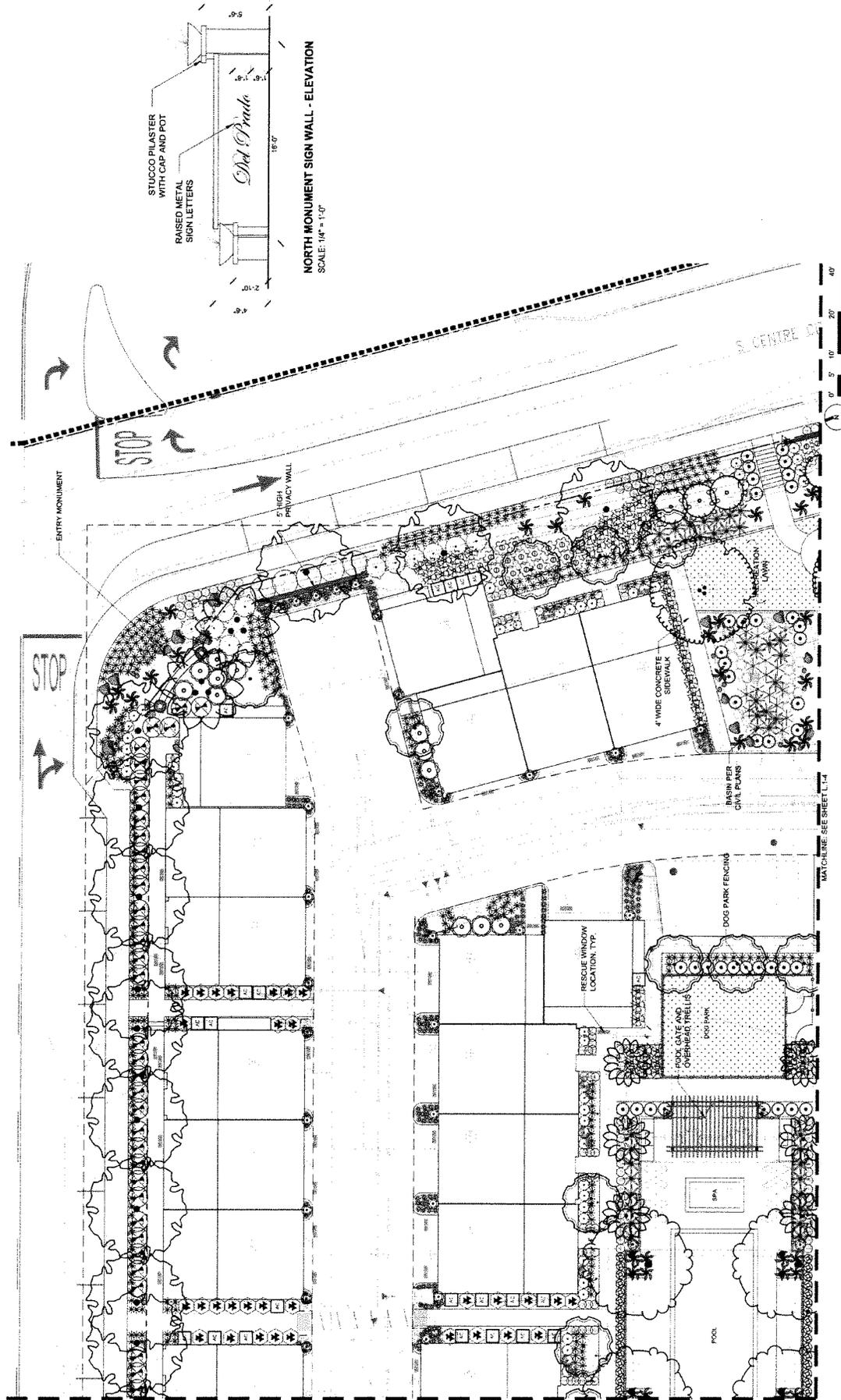


PROPOSED PROJECT
 PHG 18-0003₁₉.



LANDSCAPE PLAN

TENTATIVE MAP - DEL PRADO (NORTII) SITE
 DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN
 CITY OF ESCONDIDO, CALIFORNIA

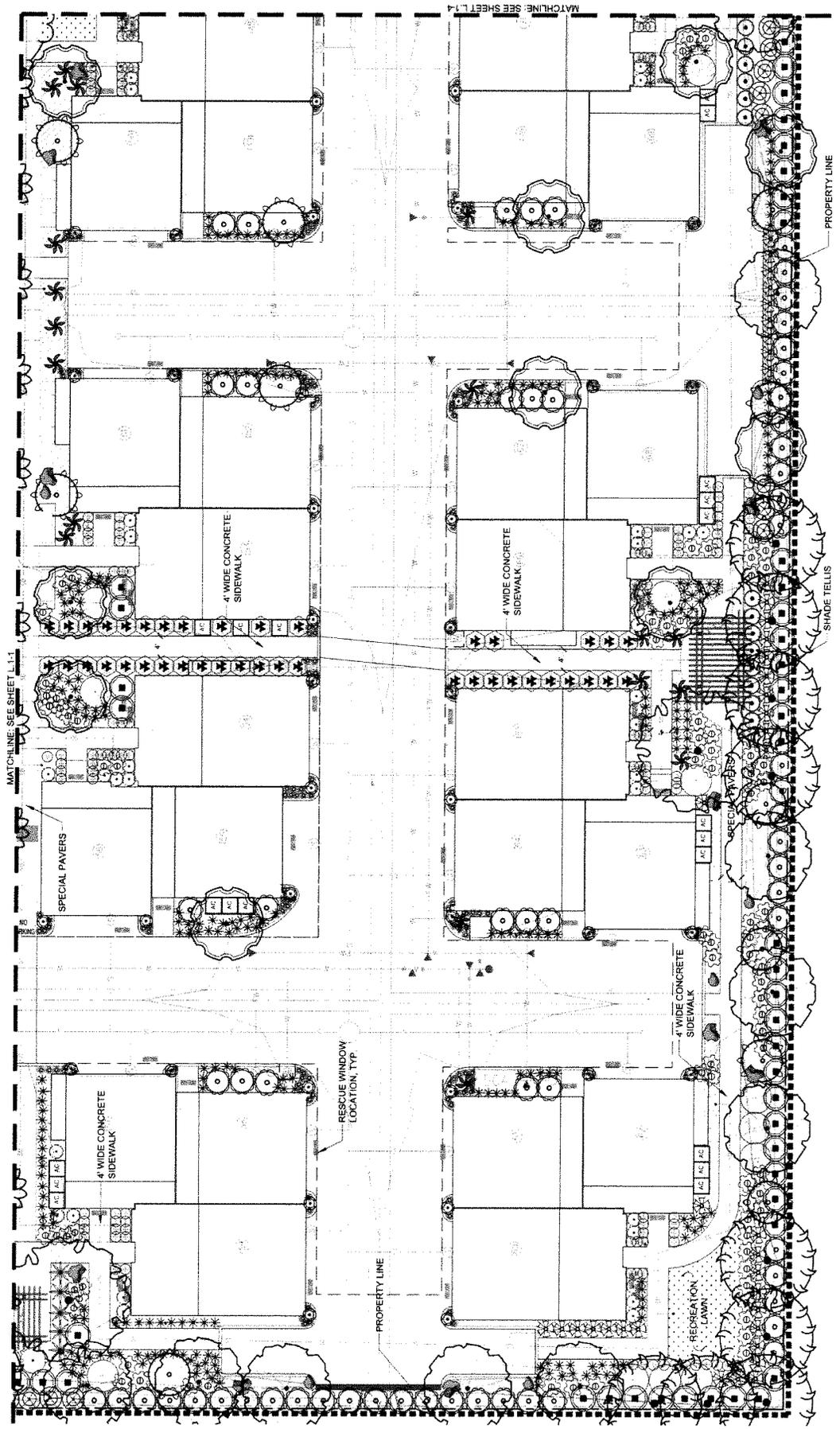


PROPOSED PROJECT
 PHG 18-0003 20-

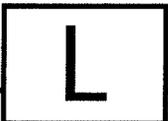


LANDSCAPE PLAN

TENTATIVE MAP – DEL PRADO (NORTH) SITE
 DEVELOPMENT PLAN – PRELIMINARY LANDSCAPE PLAN
 CITY OF ESCONDIDO, CALIFORNIA

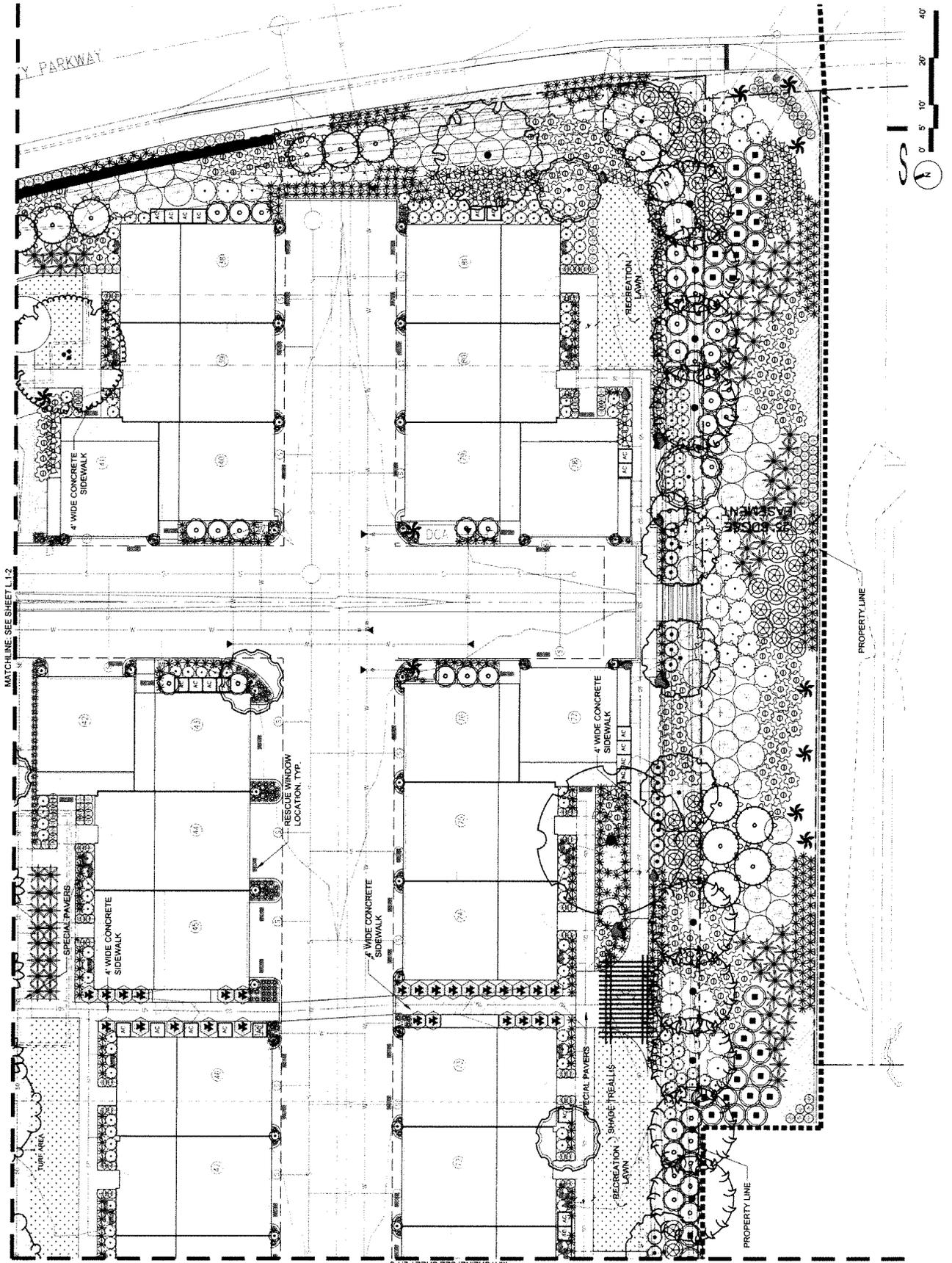


PROPOSED PROJECT
PHG 18-0003₂₁

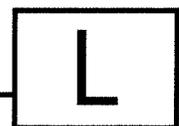


LANDSCAPE PLAN

TENTATIVE MAP - DEL PRADO (NORTH) SITE
 DEVELOPMENT PLAN - PRELIMINARY LANDSCAPE PLAN
 CITY OF ESCONDIDO, CALIFORNIA

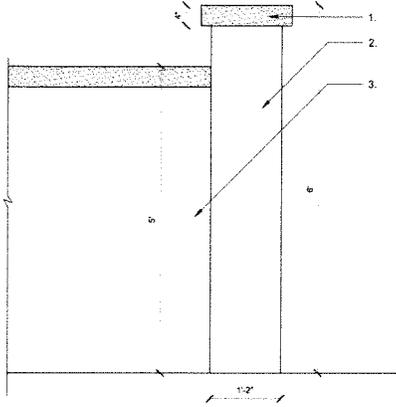


PROPOSED PROJECT
 PHG 18-000322-



LANDSCAPE PLAN

TENTATIVE MAP – DEL PRADO (NORTH) SITE DEVELOPMENT PLAN – PRELIMINARY LANDSCAPE PLAN CITY OF ESCONDIDO, CALIFORNIA

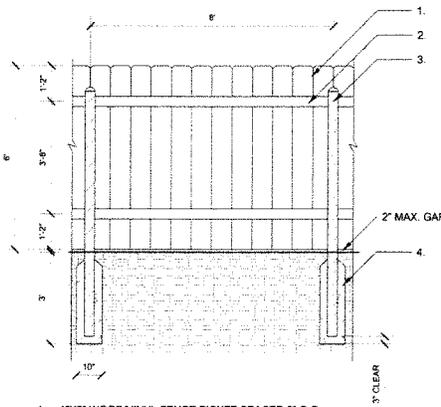


1. 4" THICK PRECAST CONCRETE CAP
2. CMU PILASTER AT END OF WALL WITH STUCCO FINISH
3. CMU WALL WITH STUCCO FINISH

NOTE: WALLS AND PILASTERS TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

5' HIGH PRIVACY WALL DETAIL

SCALE: 1/2" = 1'-0"



1. 1"X8" WOOD/VINYL FENCE PICKET SPACED 8" O.C.
2. 2"X4" WOOD/VINYL STRINGER
3. 4" DIA. GALVANIZED STEEL FENCE POST SET IN CONC. FOOTING
4. CONCRETE FOOTING

NOTE: WOOD / VINYL FENCES TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD/VINYL FENCE DETAIL

SCALE: 1/2" = 1'-0"



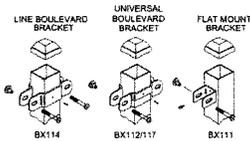
1. WOOD A/C SCREEN

NOTE: WOOD A/C SCREENS TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD A/C SCREEN DETAIL

SCALE: 1/2" = 1'-0"

- NOTES:
- ALL STEEL COMPONENTS SHALL BE COATED WITH PERMACOAT® THERMAL STRATIFICATION COATING PROCESS. COLOR: BLACK
 - PROVIDE SHOP DRAWINGS FOR APPROVAL
 - VALUE'S SHOWN ARE NOMINAL, INSTALL PER MANUFACTURER'S INSTRUCTIONS



BRACKET OPTIONS

1. 2-1/2" SQUARE X 14 GAUGE POST (3" SQUARE X 12 GA. FOR GATES)
2. 1-1/2" MONTAGE PLUS RAIL - SEE CROSS SECTION THIS SHEET
3. 3/4" SQUARE X 18 GAUGE PICKET
4. SELF LATCHING GATE LATCH WITH KEY CARD READER PER ELECTRICAL
5. GATE UPRIGHT - 1-3/4" X 14 GAUGE
6. SELF-CLOSING HEAVY DUTY HINGES (2)
7. BRACKET OPTIONS PER DETAIL THIS SHEET
8. CONCRETE FOOTING
9. ATTACH TO BUILDING OR WALLS WITH FLAT MOUNT BRACKETS (BX111)
10. STEEL MESH
11. GATE LATCH PANIC BAR
12. KICK PLATE
13. CONC. MOW CURB. SEE DETAIL 4 THIS SHEET

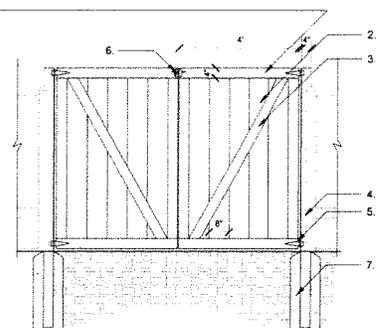
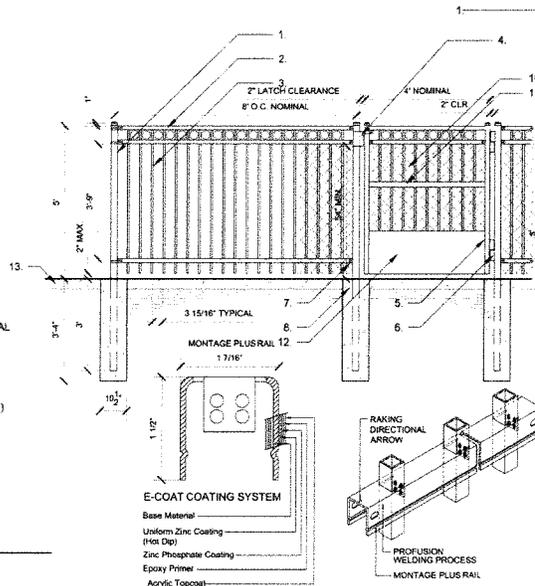
NOTE: STEEL VIEW FENCE AND GATES SHALL BE DARK BROWN OR BLACK

STEEL VIEW FENCE AND GATE

AMERISTAR - MONTAGE PLUS - MAJESTIC

C-04

SCALE: 1/2" = 1'-0"



1. 2"X4" WOOD/VINYL FRAME AROUND GATE
2. 1"X8" WOOD/VINYL FENCE BOARD
3. 2"X4" WOOD/VINYL DIAGONAL CROSS BEAM
4. 4"X4" WOOD/VINYL POST (SET HINGE SIDE WHEN STEEL VENCE POST IS SET, ATTACH HOUSE SIDE TO HOUSE)
5. GALVANIZED STEEL HINGE
6. GALVANIZED STEEL BOLT LATCH
7. CONCRETE FOOTING

NOTE: WOOD / VINYL GATE TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD/VINYL GATE DETAIL

SCALE: 1/2" = 1'-0"

PROPOSED PROJECT
PHG 18-0003₂₃

