

CITY OF ESCONDIDO PLOT PLAN

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sca
ARCHITECTURE

VIWEST
Group

2351 MEYERS AVE, ESCONDIDO, CA 92029

PROJECT ID: PL20-0654

Issue Dates

Planning	11.02.2020
Design Development	-
Plan Check	-
Bid Set	-
Permit Set	-
Construction Set	-

Drawing Date **04/10/2022**

Check By **GL**

Drawn By **MM**

Scale **AS NOTED**

Job Number **3446**

Sheet Number

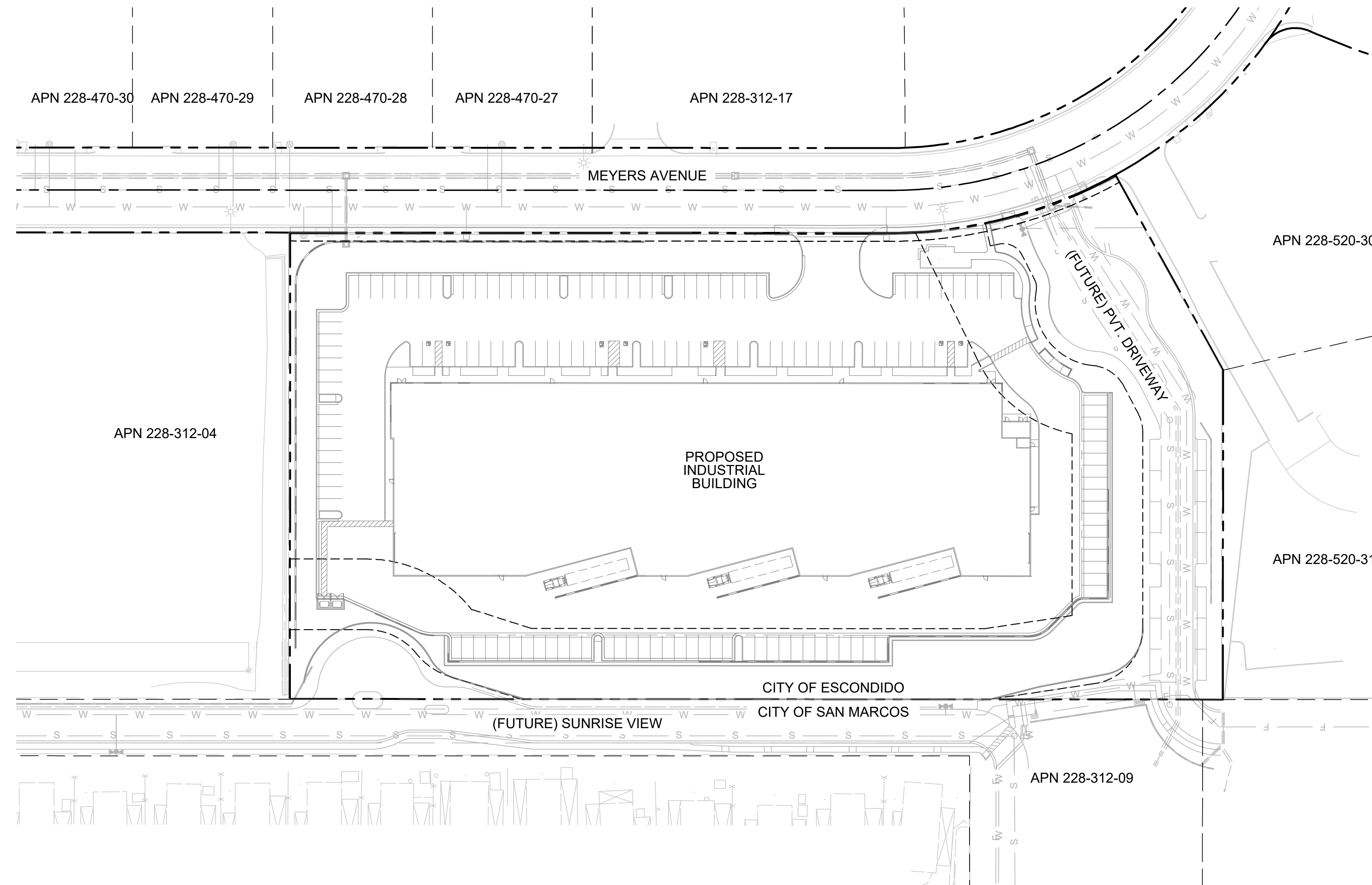
C1

LEGEND

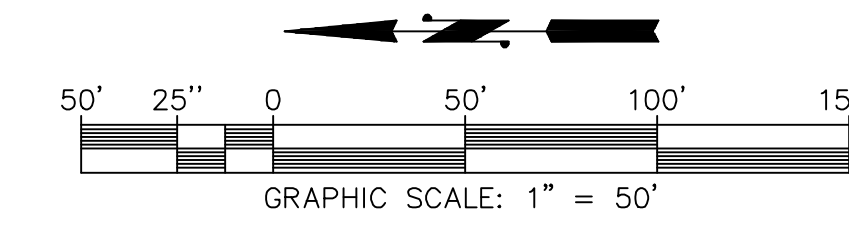
	EXISTING RIGHT OF WAY OR PROPERTY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SLOPE (2:1 MAX)
	PROPOSED CUT/FILL LINE
	PROPOSED LIMIT OF GRADING
	PROPOSED AC PAVEMENT
	PROPOSED CONCRETE
	PROPOSED 6" CURB (PER SDRSD G-01)
	PROPOSED 6" CURB & GUTTER (PER SDRSD G-02)
	PROPOSED 3" RIBBON GUTTER
	PROPOSED BROW DITCH (TYPE PER PLAN, PER SDRSD D-75)
	PROPOSED RETAINING WALL
	PROPOSED SOUND WALL (PER LANDSCAPE PLANS)
	EXISTING SEWER LINE
	PROPOSED PRIVATE 6" SEWER (PER C.O.E. S-2-E) & CLEANOUT (PER SDRSD SC-01)
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN (SIZE PER PLAN)
	EXISTING WATER LINE
	PROPOSED 2" PRIVATE WATER LINE
	PROPOSED 8" PRIVATE FIRE LINE
	PROPOSED 2" WATER METER, 2" WATER SERVICE & BACKFLOW (PER C.O.E. W-2-E & W-10-E)
	PROPOSED 2" IRRIGATION SERVICE
	PROPOSED FIRE HYDRANT (PER C.O.E. W-3-E)
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED POST INDICATOR VALVE
	PROPOSED GATE VALVE
	PROPOSED THRUST BLOCK
	PROPOSED BACKFLOW PREVENTION ASSEMBLY (PER C.O.E. W-8-E)
	PROPOSED BUILDING FIRE POINT OF CONNECTION
	PROPOSED BUILDING SEWER POINT OF CONNECTION
	PROPOSED BUILDING WATER POINT OF CONNECTION
	PROPOSED ROOF DRAIN
	PROPOSED TRANSFORMER (PER ARCHITECT PLANS)
	PROPOSED CURB INLET (TYPE PER PLAN, PER SDRSD D-02)
	PROPOSED CATCH BASIN
	PROPOSED TYPE A STORM DRAIN CLEANOUT (PER SDRSD D-09)
	PROPOSED TYPE F CATCH BASIN (PER SDRSD D-07)
	PROPOSED TYPE G CATCH BASIN (PER SDRSD D-08)
	PROPOSED SITE LIGHT
	PROPOSED STREET LIGHT
	TRUNCATED DOMES (SDRSD G-30)
	PROPOSED BIOLEAK MODULAR WETLAND SYSTEM
	PROPOSED STORMTRAP DETENTION SYSTEM

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACREAGE	MH	MANHOLE
APN	ASSESSOR PARCEL NO.	MWS	MODULAR WETLAND SYSTEM
BMP	BEST MANAGEMENT PRACTICE	PL	PROPERTY LINE
BO	BLOW-OFF	POC	POINT OF CONNECTION
CAV	COMBINATION AIR VALVE	PROP	PROPOSED
CB	CATCH BASIN	PUE	PUBLIC UTILITY EASEMENT
CL	CENTERLINE	RCB	REINFORCED CONCRETE BOX
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CY	CUBIC YARDS	R/W	RIGHT OF WAY
C&G	CURB AND GUTTER	RW	RETAINING WALL
DWY	DRIVEWAY	SD	STORM DRAIN
E	EAST	SF	SQUARE FEET
ESMT	EASEMENT	SFM	SEWER FORCED MAIN
EX	EXISTING	SMH	SANITARY SEWER MANHOLE
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SYSB	SIDE YARD SETBACK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOW LINE	TR	TREE
FS	FINISHED SURFACE	TW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
GV	GATE VALVE	VCP	VITRIFIED CLAY PIPE
H	HEIGHT	W	WATER
IE	INVERT ELEVATION	WI	WITH
MAX	MAXIMUM	WM	WATER METER



KEY MAP
SCALE 1" = 50'



STATEMENT OF FACTS

THE PROPOSED PLOT PLAN IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

THE DESIGN OF THE TYPE OF IMPROVEMENTS OF THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE APPLICABLE GENERAL OR SPECIFIC PLANS.

THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

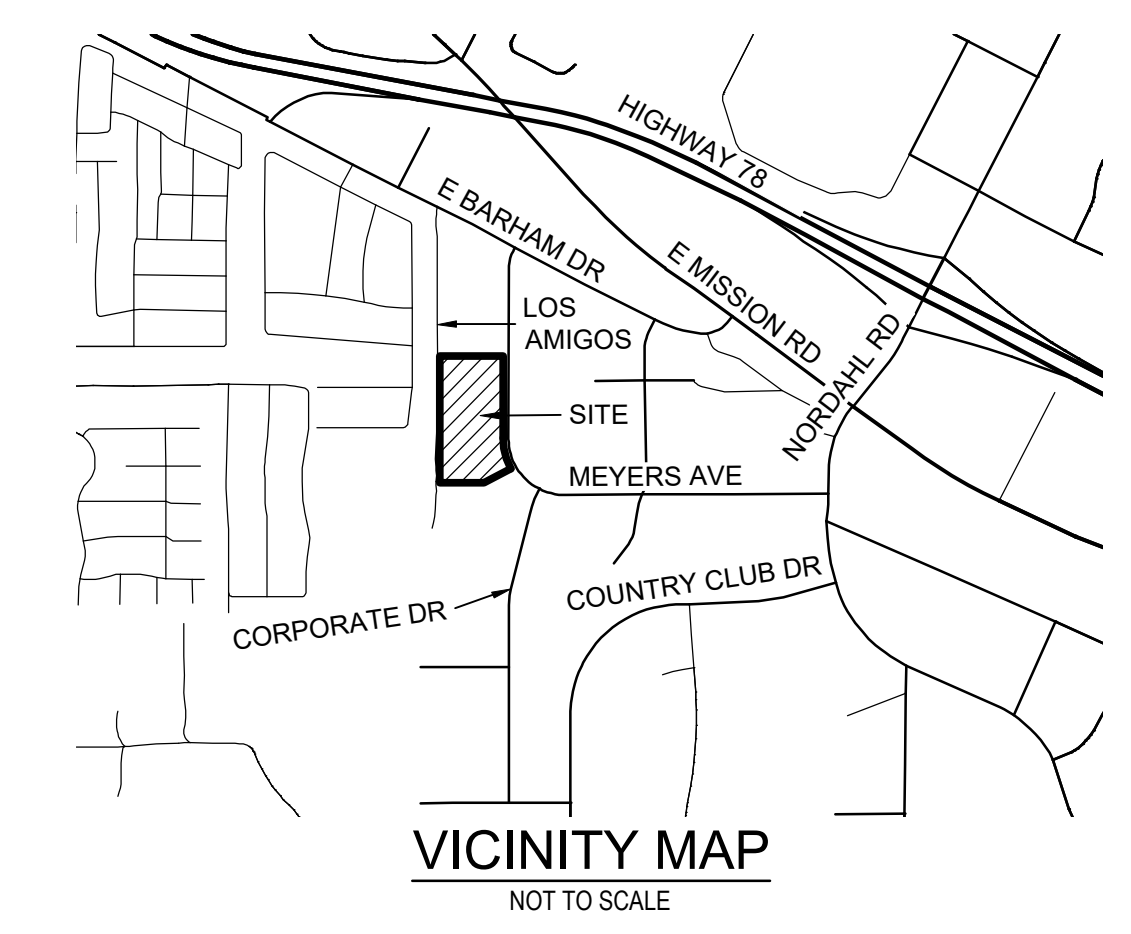
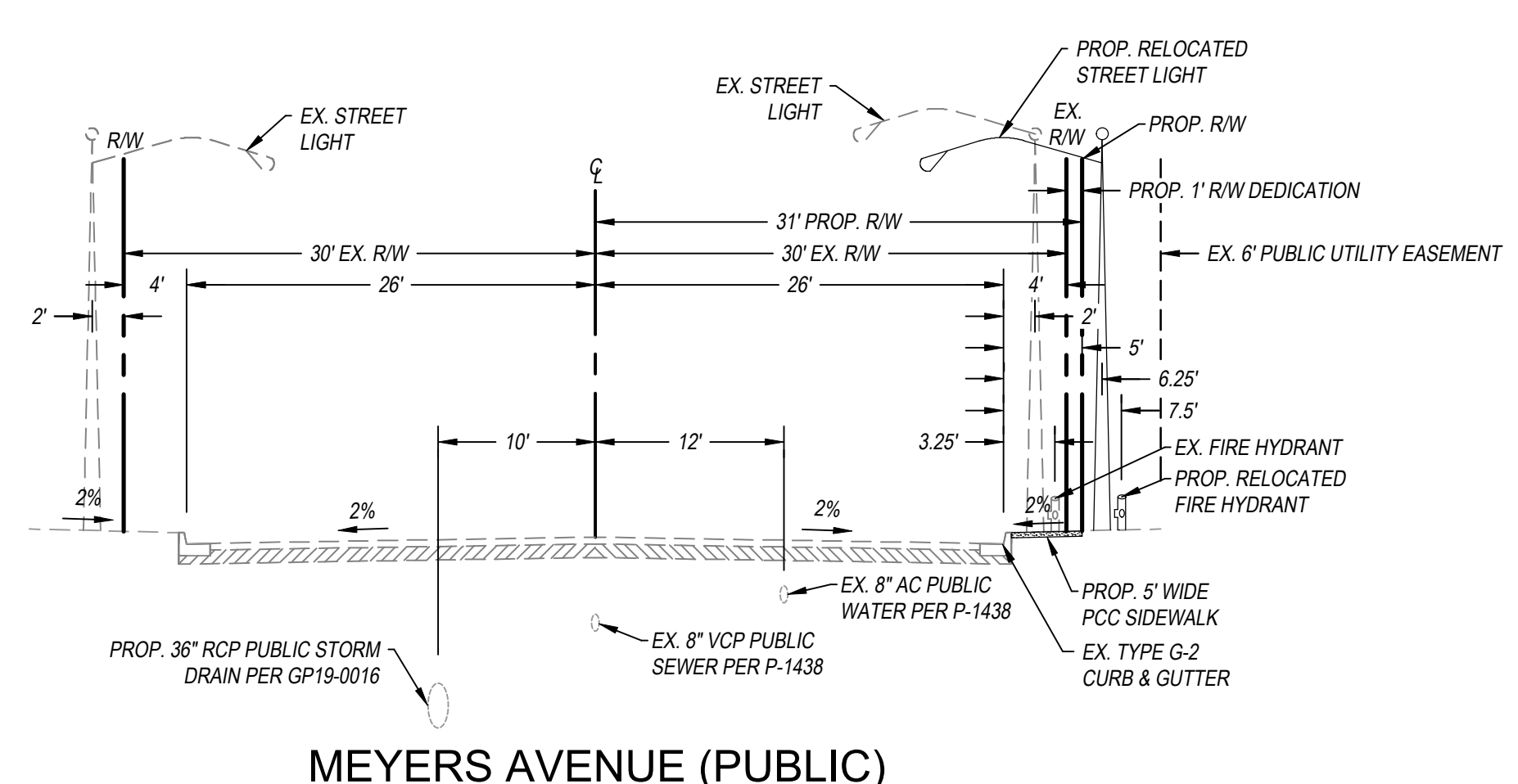
THE DESIGN OF THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLE INJURE FISH OR WILDLIFE OR THEIR HABITAT.

THE DESIGN OF THE TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

THE DESIGN OF THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS OR RECORD, OR EASEMENTS ESTABLISHED BY COURT JUDGMENT, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION. IN THIS CONNECTION, THE DIRECTOR OF PLANNING AND BUILDING MAY RECOMMEND APPROVAL OF A MAP IF HE FINDS THAT ALTERNATE EASEMENTS, OR ACCESS FOR USE, WILL BE PROVIDED, AND THAT THESE WILL BE SUBSTANTIALLY EQUIVALENT TO ONES PREVIOUSLY ACQUIRED BY THE PUBLIC.

ALL REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT HAVE BEEN MET.

THE DESIGN OF THE IMPROVEMENTS HAS PROVIDED, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. NOTE: SPECIFIC EXAMPLES TO SUBSTANTIATE THIS FINDING MUST BE PROVIDED. EXAMPLES OF PASSIVE OR NATURAL OPPORTUNITIES IN SUBDIVISION DESIGN INCLUDE LOT SIZE OR CONFIGURATION, TO PERMIT ORIENTATION OF A STRUCTURE IN AN APPROPRIATE ALIGNMENT FOR SOUTHERN EXPOSURE, ETC.)



OWNER/DEVELOPER

VWP ESCONDIDO, LLC
2350 E. CAMELBACK ROAD, SUITE 305
PHOENIX, AZ 85016

ENGINEER OF WORK

GREGORY W. LANG
RCE NO. 68075



ASSESSOR'S PARCEL NO.

228-312-05

LEGAL DESCRIPTION

PARCEL 3, OF PARCEL MAP NO. 9838, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON MARCH 26, 1980, AS FILE NO. 80-103462 OF OFFICIAL RECORDS.

FIRE: CITY OF ESCONDIDO

SEWER: CITY OF ESCONDIDO

WATER: RINCON DEL DIABLO MUNICIPAL WATER DISTRICT

TOPOGRAPHY: FIELD TOPOGRAPHIC SURVEY PERFORMED BY EXCEL ENGINEERING ON AUGUST 14, 2012 AND AERIAL SURVEY PERFORMED BY ANALYTICAL PHOTOGRAMMETRIC SURVEYS, INC ON FEBRUARY 13, 1998.

SITE ADDRESS

2351 MEYERS AVE
ESCONDIDO, CA 92026

GENERAL NOTES

GRADING AND IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CITY OF ESCONDIDO STANDARDS.

EASEMENTS OF RECORD NOT SHOWN HEREON SHALL BE HONORED, ABANDONED AND/OR RELOCATED TO THE SATISFACTION OF ALL INTERESTED PARTIES, AND PUBLIC UTILITY EASEMENT NECESSARY TO SERVE THIS PROJECT WILL BE COORDINATED WITH SERVING UTILITY COMPANIES.

ALL EXISTING UTILITIES ARE SHOWN PER AVAILABLE RECORDS. ACTUAL FIELD CONDITIONS MAY VARY.

ALL EXISTING OVERHEAD ON-SITE UTILITIES TO BE UNDERGROUND.

TOTAL LOT SIZE: 217,891 SF (5.00 AC) GROSS

AREA OF DISTURBANCE: 178,697 SF (4.10 AC)

ZONE: PLANNED DEVELOPMENT - INDUSTRIAL (PD-I)

GENERAL PLAN: LIGHT INDUSTRIAL (M-1)

PROPOSED SETBACK: FRONT YARD = 10' MINIMUM
SIDE YARD = NONE
REAR YARD = 20' MINIMUM (ADJOINING PROPOSED RESIDENTIAL)

PROJECT IS PROPOSED TO BE ON A SANITARY SEWER SYSTEM.

WATER DISTRICT: RINCON DEL DIABLO MUNICIPAL WATER DISTRICT

SEWER DISTRICT: CITY OF ESCONDIDO

EARTHWORK

GRADED AREA	4.10	[ACRES]
CUT QUANTITIES	28,000	[CYD]
FILL QUANTITIES	14,000	[CYD]
ANTICIPATED SPOILS	14,000	[CYD]
EXPORT	14,000	[CYD]

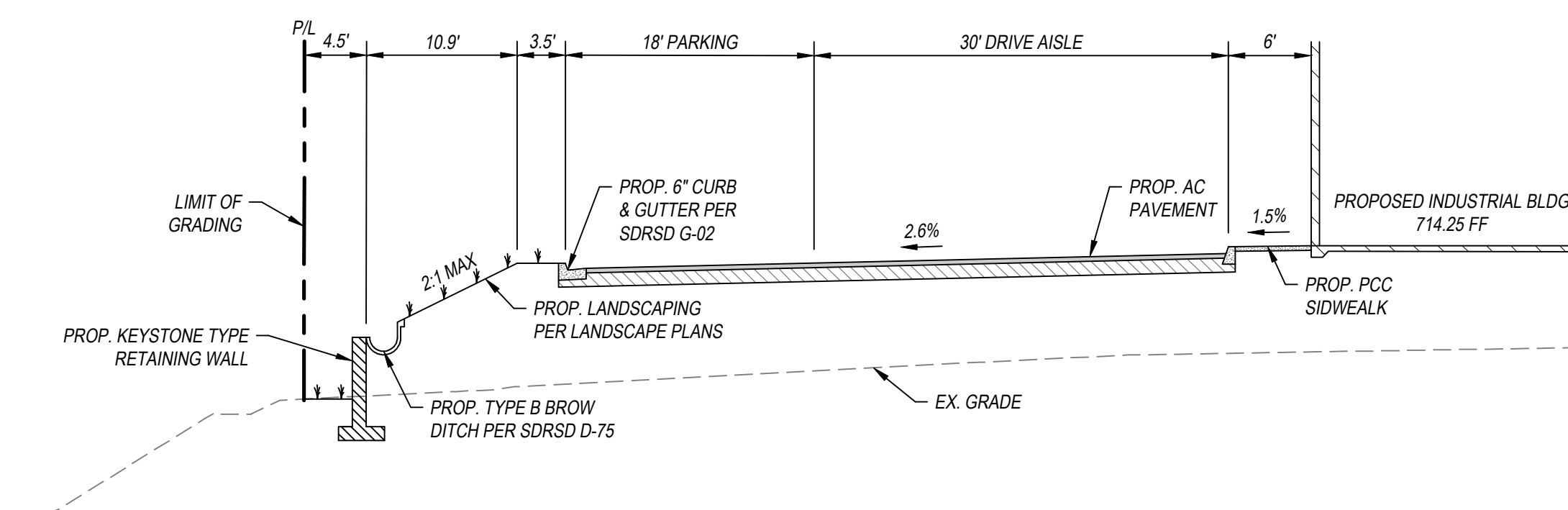
NOTE: THE GRADING QUANTITIES ABOVE ARE AN ESTIMATE FOR PERMITTING PURPOSES ONLY. THE QUANTITIES ABOVE DO NOT REFLECT SPOILS DUE TO LOSS FROM CLEARING AND GRUBBING, STOPPING, SHRINKAGE, SWELL, BULKING, UNSUITABLE MATERIALS, REMEDIAL GRADING, UTILITY TRENCH SPOILS, UNDERGROUND STORM WATER VAULTS, RETAINING WALL BACKFILL, BUILDING FOUNDATIONS/FOOTINGS, ETC. SUBGRADE IS ASSUMED TO BE 1-FOOT BELOW PROPOSED FINISH GRADE, TO ACCOUNT FOR PAVEMENT AND SLAB THICKNESSES.

SHEET INDEX

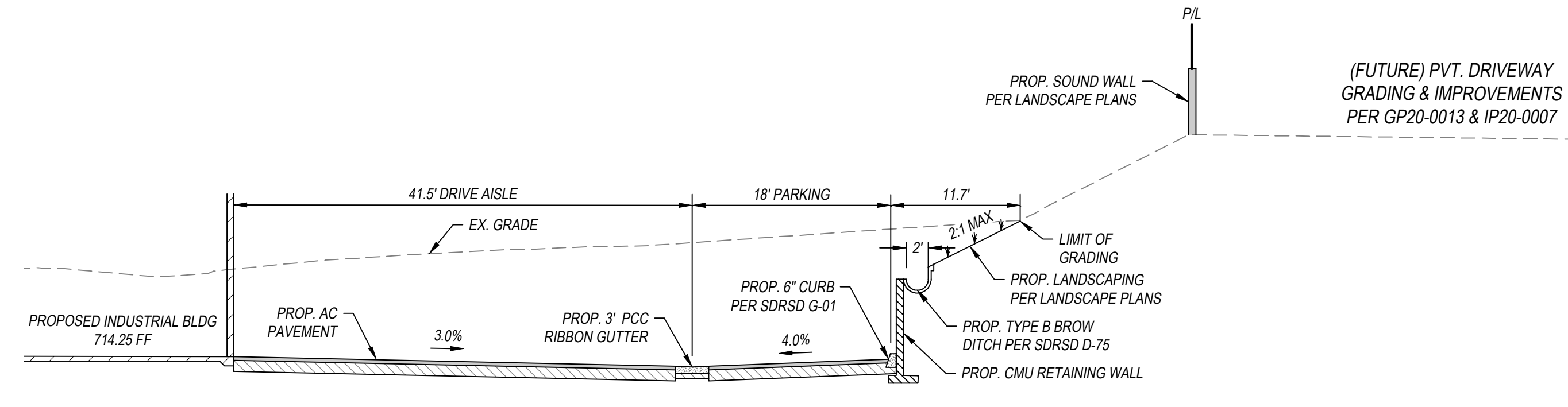
- C1 - PLOT PLAN
- C2 - SITE SECTIONS
- C3 - PRELIMINARY GRADING AND UTILITY PLAN
- C4 - PRELIMINARY FIRE PLAN

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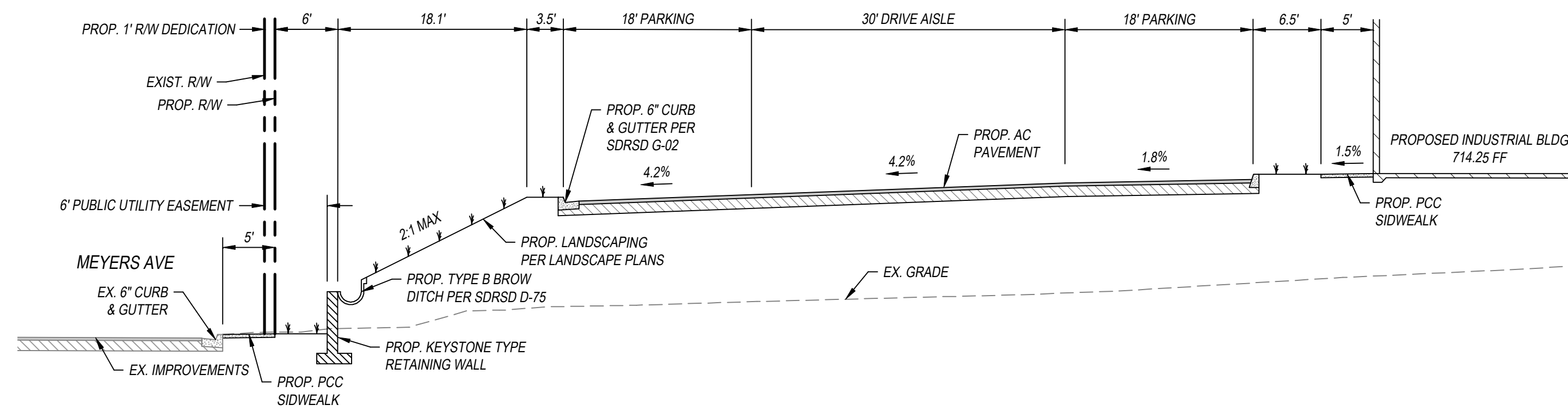
CITY OF ESCONDIDO PLOT PLAN



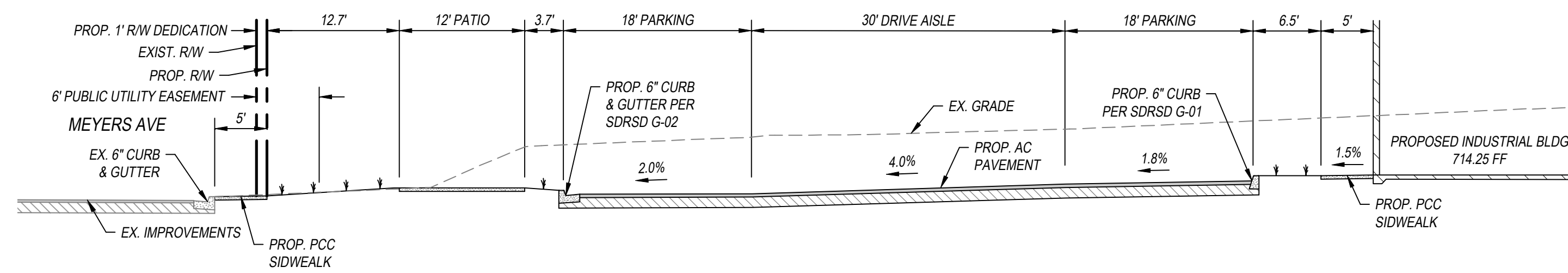
A SITE SECTION
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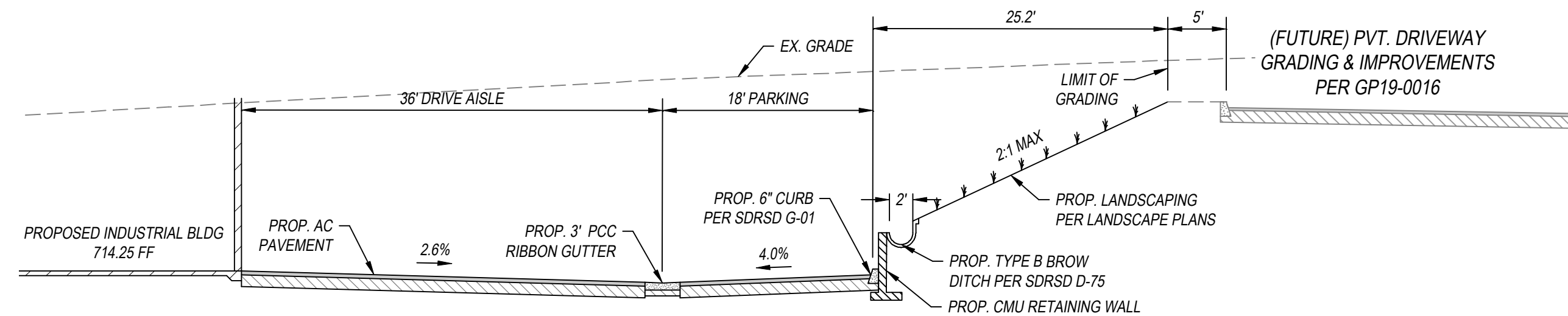
E SITE SECTION
2 NOT TO SCALE



B SITE SECTION
2 NOT TO SCALE



C SITE SECTION
2 NOT TO SCALE



D SITE SECTION
2 NOT TO SCALE



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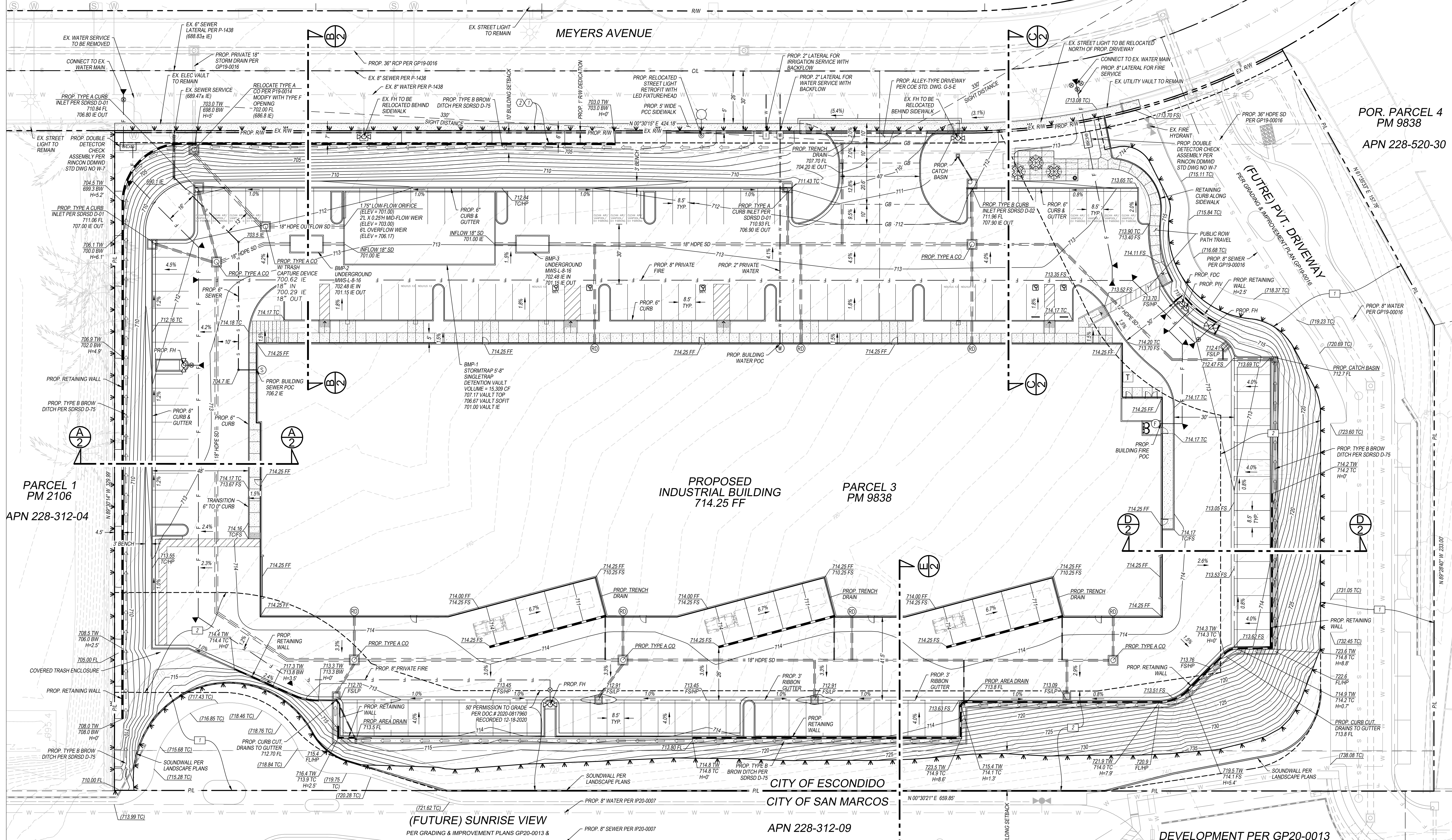
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CITY OF ESCONDIDO PLOT PLAN

PARCEL 3 PM 14664 APN 228-470-29
 PARCEL 2 PM 14664 APN 228-470-28
 PARCEL 1 PM 14664 APN 228-470-27
 PARCEL B PM 11936 APN 228-312-17
 PARCEL A PM 11936 APN 228-312-17



PARCEL 1 PM 2106 APN 228-312-04
 PROPOSED INDUSTRIAL BUILDING 714.25 FF
 PARCEL 3 PM 9838 APN 228-520-31
 PARCEL 4 PM 9838 APN 228-520-30
 CITY OF ESCONDIDO
 CITY OF SAN MARCOS
 APN 228-312-09
 APN 228-312-1197
 DEVELOPMENT PER GP20-0013

NOTES:

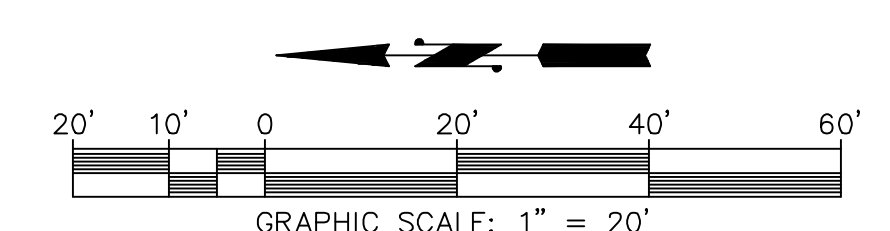
- ALL EXISTING AND PROPOSED STREET LIGHTS SHALL BE RETROFITTED WITH AN LED FIXTUREHEAD.
- ALL EXISTING AND PROPOSED CATCH BASINS AND CURB INLETS SHALL BE MARKED WITH THE WORDS "NO DUMPING - DRAINS TO RIVER" OR SIMILAR CITY APPROVED STORM DRAIN MARKER.

EASEMENTS OF RECORD:

- EASEMENT FOR TREE PLANTING IN FAVOR OF CITY OF ESCONDIDO PER MAP 9838
- PUBLIC UTILITY EASEMENT IN FAVOR OF CITY OF ESCONDIDO REC. DOC. NO. 1982-370549, O.R.
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED APRIL 01, 1958 AS INSTRUMENT NO. 51554 IN BOOK 7018, PAGE 147 OF OFFICIAL RECORDS.

PROPOSED EASEMENTS:

- EASEMENT FOR ACCESS PER ESCROW DOCUMENTS EXHIBIT "D"
- EASEMENT FOR TEMPORARY CONSTRUCTION PER ESCROW DOCUMENTS EXHIBIT "E"



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REGISTERED PROFESSIONAL ENGINEER
 No. RCE 68075
 Exp. 06-30-23
 CIVIL
 STATE OF CALIFORNIA

VIWEST Group
 2351 MEYERS AVE, ESCONDIDO, CA 92029

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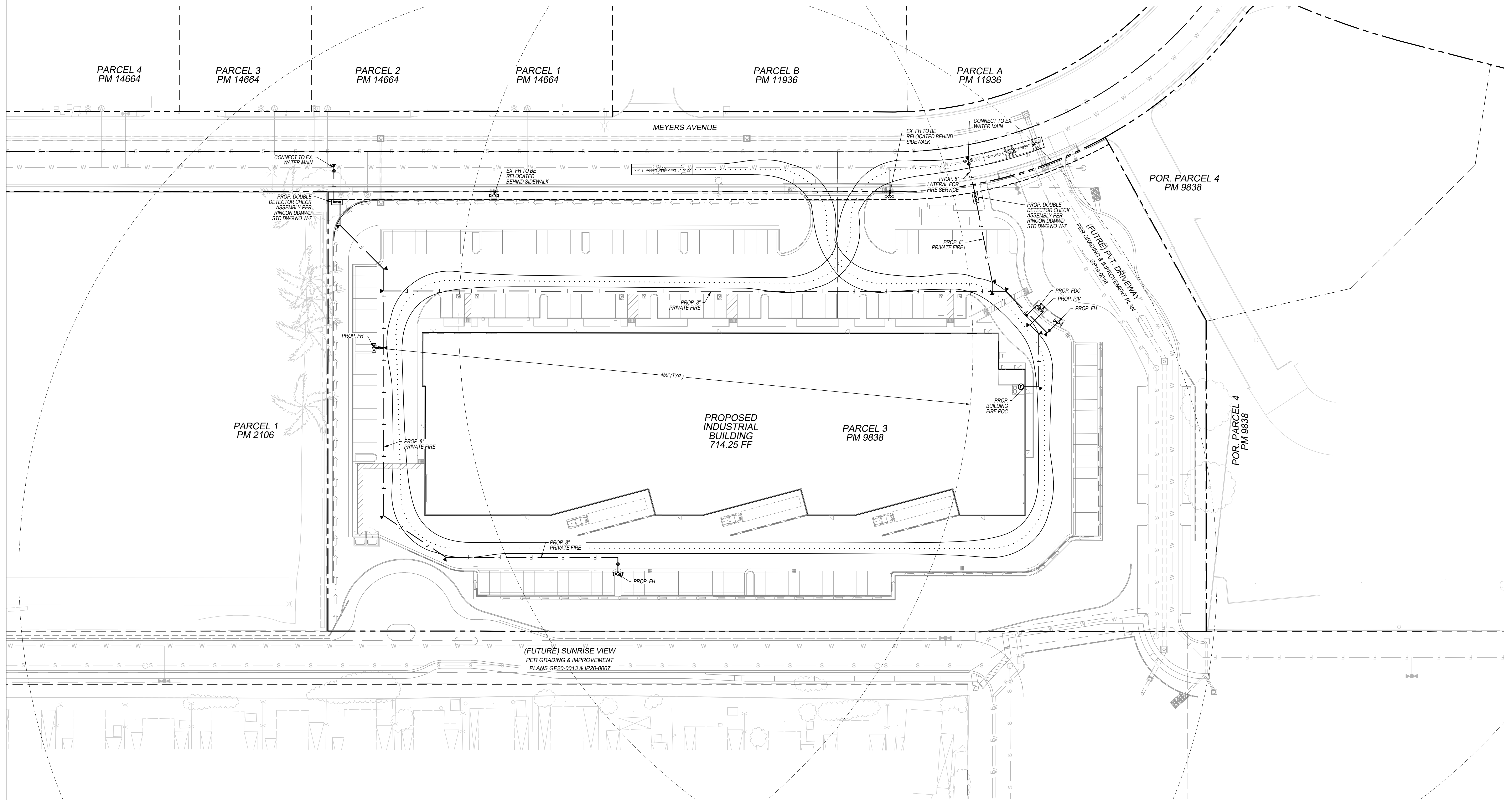
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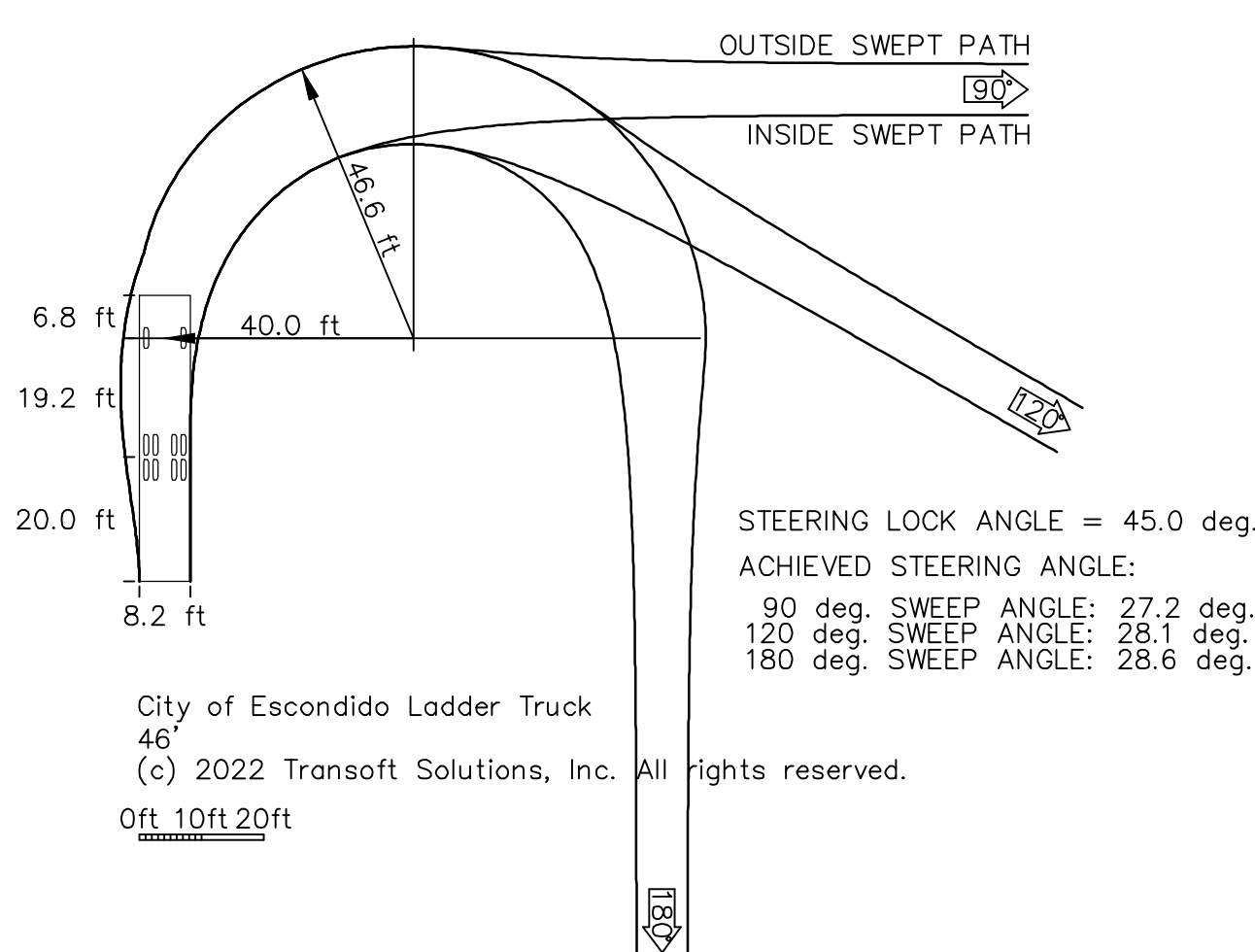
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C3

CITY OF ESCONDIDO PLOT PLAN



PRELIMINARY FIRE PLAN
SCALE 1" = 30'



ESCONDIDO FIRE DEPARTMENT
TRUCK
2014 Specifications

TRAINING MANUAL DRIVER OPERATOR
07-26-17
707.01
PAGE 1 OF 3
Revised 12-13-18

2014 SUTPHEN MODEL SPH 100 AERIAL

HS#	5451
MODEL	TS100
WHEEL BASE	230"
TILT CAB CLEARANCE	13FT HIGH 3 FEET IN FRONT
LENGTH	48'6"
HEIGHT	11' 6"
WIDTH	9' 11" MIRROR TO MIRROR
WEIGHT (GVRW)	75,000 LBS
TURNING RADIUS	38'6" (2 FT PLATFORM SWING OUT)

ESCONDIDO FIRE DEPARTMENT LADDER TRUCK DIMENSIONS
NOT TO SCALE

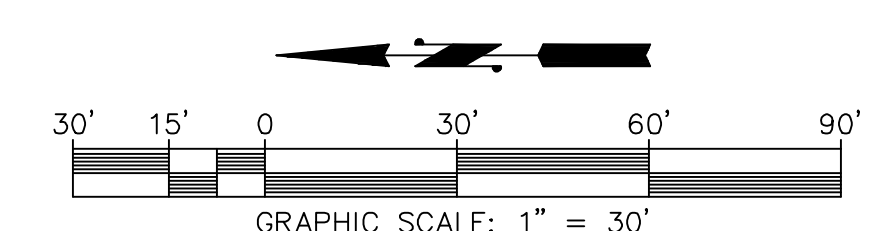
BUILDING	BUILDING AREA (SF)	CONSTRUCTION TYPE	FIRE FLOW FROM CFC APP. B (GPM)	DISCOUNT FOR FIRE SPRINKLERS	REDUCED FIRE FLOW (GPM)	FLOW DURATION (HRS)	FIRE HYDRANTS REQUIRED	AVG. SPACING BETWEEN HYDRANTS (FT)	MAX. DISTANCE FROM STREET FRONTAGE (FT)
INDUSTRIAL BLDG	67,300	III-B	5,500	50%	2,750	4	3	675	338

REFERENCE 2019 CALIFORNIA FIRE CODE APPENDIX B & C

PER TABLE B105.2 OF THE 2019 CALIFORNIA FIRE CODE, A FIRE FLOW REDUCTION OF 75% IS ALLOWED FOR BUILDINGS WITH AUTOMATIC SPRINKLER SYSTEMS. ADDITIONALLY, THE REDUCED FIRE FLOW SHALL NOT BE LESS THAN 1,500 GPM. THE PROJECT WILL INCLUDE A 50% FIRE FLOW REDUCTION FOR AUTOMATIC FIRE SPRINKLERS.

THE AVERAGE SPACING BETWEEN HYDRANTS IS 450 FEET PER TABLE C102.1 OF THE 2019 CALIFORNIA FIRE CODE. IN ACCORDANCE WITH SECTION 903.3.1.1 OF CALIFORNIA FIRE CODE, A 50% FIRE HYDRANT SPACING INCREASE IS PERMITTED FOR BUILDINGS WITH AUTOMATIC SPRINKLER SYSTEMS. ALL BUILDINGS WILL INCLUDE AUTOMATIC SPRINKLER SYSTEMS. THEREFORE, THE AVERAGE SPACING BETWEEN HYDRANTS IS INCREASED BY 50%.

THE MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT IS 225 FEET PER TABLE C102.1 OF THE 2019 CALIFORNIA FIRE CODE. IN ACCORDANCE WITH SECTION 903.3.1.1 OF CALIFORNIA FIRE CODE, A 50% FIRE HYDRANT SPACING INCREASE IS PERMITTED FOR BUILDINGS WITH AUTOMATIC SPRINKLER SYSTEMS. ALL BUILDINGS WILL INCLUDE AUTOMATIC SPRINKLER SYSTEMS. THEREFORE, THE MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE IS INCREASED BY 50%.



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BRECKEN W. LANE
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C4