

DESIGN REVIEW FOR :

VIWEST GROUP

2351 MEYERS AVENUE, ESCONDIDO, CALIFORNIA

PARKING CALCULATIONS	PROJECT DATA	PROJECT TEAM	SHEET INDEX
<p>TOTAL BUILDING AREA: 67,300 S.F. (INCLUDING 6,000 SF OF MEZZANINE)</p> <p>PARKING RATIO: OFFICE: 1/300, MANUFACTURING: 1/500, WAREHOUSE: 1/800</p> <p>TOTAL REQUIRED PARKING SPACES: OFFICE = 12,000 SF @ 1/300 = 40 STALLS, MANUFACTURING 50% = 33,650 SF @ 1/500 = 67 STALLS, WAREHOUSE = 21,650 SF @ 1/800 = 27 STALLS</p> <p>134 STALLS REQUIRED (143 REGULAR + 8 ACCESSIBLE)</p> <p>151 STALLS PROVIDED (143 REGULAR + 8 ACCESSIBLE)</p> <p>FUTURE ELECTRIC VEHICLE CHARGING: 18 REQUIRED (BASED ON 151 REQUIRED STALLS), 18 PROVIDED (RACEWAY INSTALLED), (16 REGULAR + 1 STANDARD ACCESSIBLE + 1 VAN ACCESSIBLE)</p> <p>CLEAN AIR / VANPOOL / EV: 21 REQUIRED (BASED ON 151 REQUIRED STALLS), 21 PROVIDED</p> <p>SHORT-TERM BICYCLE PARKING: 67,300 S.F. BLDG. AREA X .1 SPACE / 1000 S.F. = 6.73 SPACES, 7 REQUIRED</p> <p>FIRE LANE/DRIVE AISLE: 24' MINIMUM</p>	<p>GENERAL PLAN: M-1 LIGHT MANUFACTURING</p> <p>ZONE: PLANNED DEVELOPMENT-INDUSTRIAL PD-1</p> <p>ASSESSOR'S PARCEL NO.: 228-312-05 AND 228-312-06</p> <p>TOTAL SITE AREA: 215,742 SF (4.92 ACRES)</p> <p>CONSTRUCTION TYPE: III - B (FULLY-SPRINKLERED)</p> <p>OCCUPANCY CLASSIFICATION: B, F1, S1</p> <p>EXISTING USE: N/A</p> <p>PROPOSED USE: WAREHOUSE</p> <p>FRONT SETBACK: 10 FEET MINIMUM</p> <p>REAR SETBACK: 20 FEET MINIMUM AT RESIDENTIAL, 10' MINIMUM AT STREET</p> <p>SIDE YARD SETBACK: 20 FEET MINIMUM AT RESIDENTIAL, 10' MINIMUM AT STREET</p> <p>MAX. BUILDING HEIGHT: NO RESTRICTIONS APPLY (PER CODE)</p> <p>N/A</p> <p>BUILDING SQUARE FOOTAGE: FIRST FLOOR: 61,300 SF, MEZZANINES: 6,000 SF, TOTAL: 67,300 SF</p>	<p>APPLICANT: VIWEST GROUP, 2390 E. CAMELBACK RD. STE 305, SAN DIEGO, CA 92102, PHONE: (602) 957-8300, CONTACT: RODNEY BODEN</p> <p>CIVIL ENGINEER: PLSA, 1911 SAN DIEGO AVE, STE A, SAN DIEGO, CA 92102, PHONE: (619) 651-6665, CONTACT: RYAN WAUFLE</p> <p>LANDSCAPE ARCHITECT: RIDGE LANDSCAPE ARCHITECTS, 8841 RESEARCH DRIVE, SUITE 200, IRVINE, CA 92618, PHONE: (949) 397-1323, CONTACT: RON STARK</p> <p>ARCHITECT: SCA ARCHITECTURE, 13280 EVENING CREEK DRIVE SOUTH, SUITE 125, SAN DIEGO, CA 92128, PHONE: (658) 783-4777, CONTACT: DANA TSUI</p> <p>ELECTRICAL ENGINEER: MPE CONSULTING INC, 11807 THORNHILT RD, SAN DIEGO, CA 92127, PHONE: (658) 783-4445, CONTACT: DENNY HIRZEL</p>	<p>TS1 TITLE SHEET</p> <p>C1 CIVIL PLOT PLAN</p> <p>C2 CIVIL SITE SECTIONS</p> <p>C3 GRADING AND UTILITY PLAN</p> <p>AS100 SITE PLAN</p> <p>AS101 SITE SECTIONS / TRASH ENCLOSURE</p> <p>A100 FLOOR PLANS</p> <p>A120 ROOF PLAN</p> <p>A200 EXTERIOR ELEVATIONS</p> <p>L1.01 LANDSCAPE PLAN</p> <p>L2.01 LANDSCAPE PLANTS/TREES</p> <p>L3.01 PLANT SCHEDULE/PLAN</p> <p>E1.1 SITE LIGHTING PLAN</p> <p>E1.2 SITE PHOTOMETRIC CALCULATIONS</p>
CODES	LEGAL DESCRIPTION	PROJECT DESCRIPTION	VICINITY MAP
<p>THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE THE CURRENT EDITION OF CCR TITLE 24 INCLUDES: CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE</p> <p>2019 (CBC) CALIFORNIA BUILDING CODE</p> <p>2019 (CMC) CALIFORNIA MECHANICAL CODE</p> <p>2019 (CFC) CALIFORNIA PLUMBING CODE</p> <p>2019 (CFC) CALIFORNIA FIRE CODE</p> <p>2019 (CEC) CALIFORNIA ELECTRICAL CODE</p> <p>2019 (CEBC) CALIFORNIA EXISTING BUILDING CODE</p> <p>2019 (CGBC) CALIFORNIA GREEN BUILDING STANDARDS CODE</p> <p>2019 CALIFORNIA REFERENCE STANDARDS CODE</p> <p>CAC - TITLE 24 2016 CALIFORNIA ENERGY CODE</p> <p>NFPA 13 - SPRINKLER SYSTEMS, 2016 EDITION</p> <p>NFPA 72 - FIRE ALARM & SIGNALING CODE, 2016 EDITION</p>	<p>REAL PROPERTY IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:</p> <p>PARCEL 3, OF PARCEL MAP NO. 9838, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON MARCH 26, 1980, AS FILE NO. 80-103462 OF OFFICIAL RECORDS.</p> <p>APN: 228-312-05-00 AND 228-312-06-00</p>	<p>PROJECT CONSISTS OF:</p> <ol style="list-style-type: none"> 1. PROPOSED 67,300 TOTAL S.F. NEW WAREHOUSE BLDG. WHICH ALSO INCLUDES 6,000 TOTAL S.F. OF MEZZANINE AREA (ACCESSORY TO WAREHOUSE SPACE) 2. TWO TOTAL GRADE LOADING DOCK DOORS AND THREE DOCK LEVEL DOORS 3. REFUSE & RECYCLE ENCLOSURE AREA 	<p>h NOT TO SCALE</p>



PROJECT ID: PL20-0654

Issue Dates

Planning	11.02.2020
Design Development	-
Plan Check	-
Bid Set	-
Permit Set	-
Construction Set	-

Drawing Date: 4/10/2022

Check By: AR

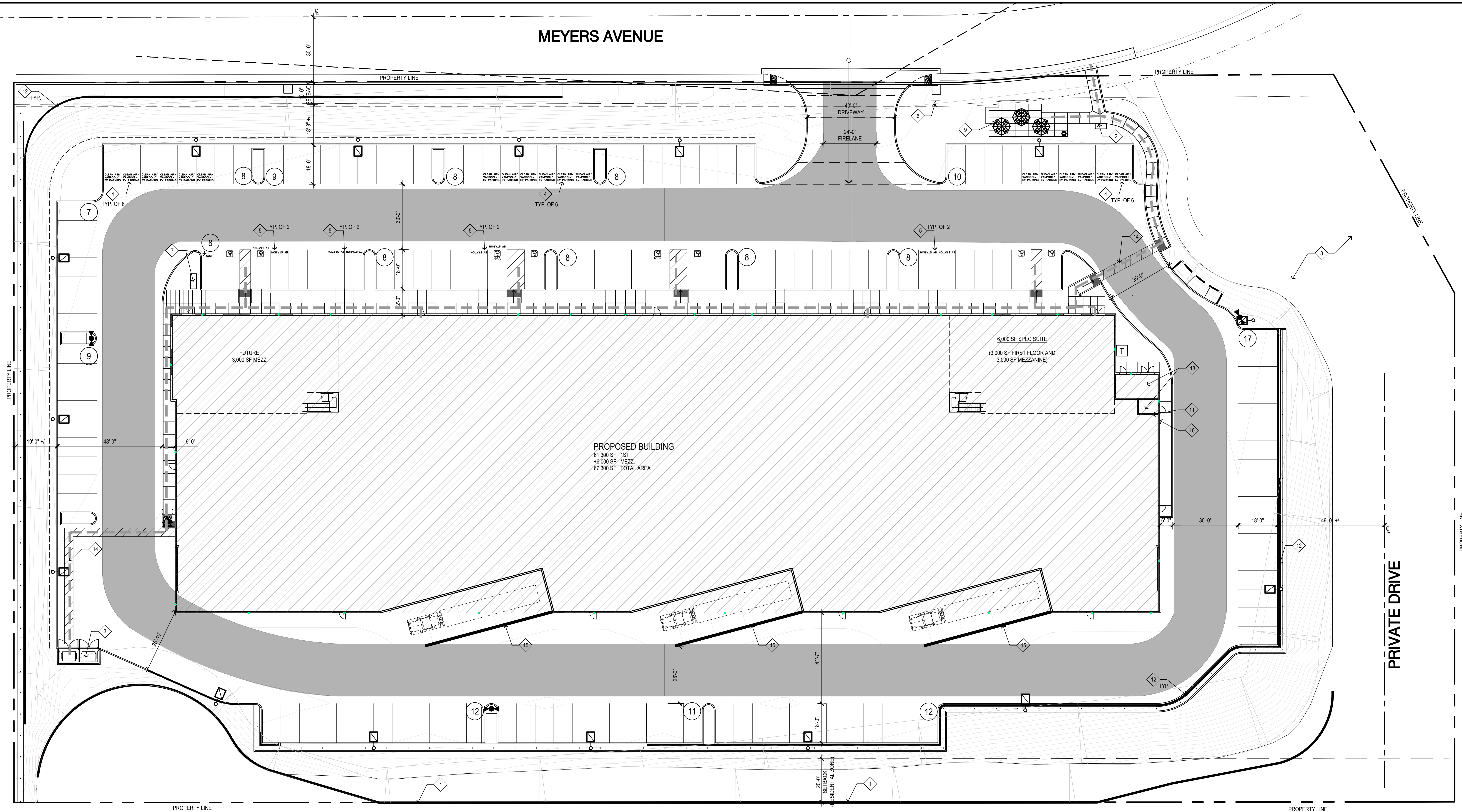
Drawn By: DT

Scale: AS NOTED

Job Number: 17025.S01

Sheet Number

MEYERS AVENUE



PROPOSED BUILDING
61,300 SF 1ST
+6,000 SF MEZZ
67,300 SF TOTAL AREA

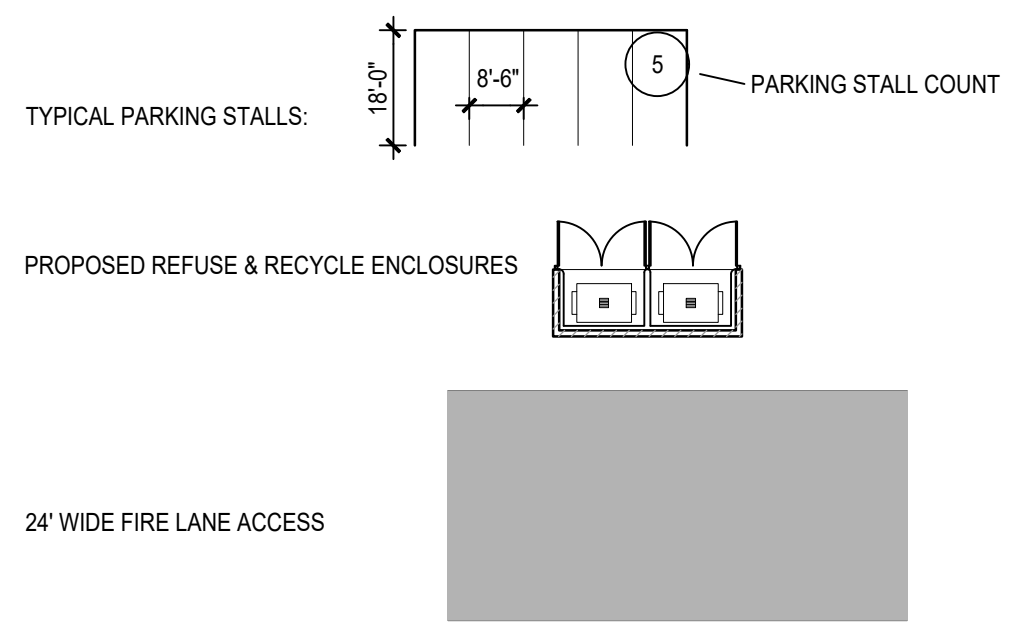
SITE PLAN

SCALE: 1" = 20'-0"



SITE PLAN LEGEND

- SITE ACCESSIBLE PATH OF TRAVEL (MIN. 4' WIDE)
- PARCEL LINES
- RETAINING WALL PER CIVIL DRAWINGS
- FIRE HYDRANT (NEW PRIVATE U.N.O.)
- ELECTRICAL TRANSFORMER PAD
- 25'-0" HIGH PARKING LOT LIGHTS
- ACCESSIBLE PARKING STALL (8' WIDE X 18' DEEP), 2% MAX. SLOPE IN ANY DIRECTION, VAN ACCESSIBLE ON LEFT SIDE OF MARKED 8' WIDE STEP-OUT
- FIRE TRUCK TURNING RADIUS: (PER CITY OF ESCONDIDO F.D.)



SITE PLAN KEYNOTES

- 1. 6' TALL SOUND SCREEN WALL (SEE LANDSCAPE DRAWINGS)
- 2. SHORT-TERM BIKE PARKING - LOOP BIKE RACK (7 BICYCLES)
- 3. TRASH ENCLOSURE SEE (S101)
- 4. CARPOOL AND ZERO EMISSION PARKING STALLS
- 5. ELECTRIC VEHICLE CHARGING STATIONS (RACEWAY INSTALLED)
- 6. MONUMENT SIGN
- 7. USPS PARKING STALL W/ ADJACENT GROUND-MTD. TENANT MAILBOX
- 8. ACCESS EASEMENT TO RESIDENTIAL DEVELOPMENT
- 9. OUTDOOR AMENITY AREA - REFER ALSO TO LANDSCAPE PLANS
- 10. GAS METER AND GAS STUB UP
- 11. FIRE RISER
- 12. RETAINING WALLS PER CIVIL
- 13. ELECT. ROOM & TELEPHONE MPOE/ FIRE RISER ROOM
- 14. DRIVE AISLE CROSSINGS WITH THE FOLLOWING FOR PEDESTRIAN SAFETY: ACCESSIBLE PATH AT LESS THAN 2% SLOPE, PAINTED 4-FT. W. PEDESTRIAN PATH WITH DIRECTIONAL SIGNAGE; ACCESSIBLE CURB RAMPS PER CITY STDS., TRUNCATED DOME INDICATORS PER CITY STDS. AT DRIVE AISLE CROSSINGS
- 15. 42" DOCK WALL (MINIMUM HEIGHT FROM FINISHED ADJACENT SURFACE)

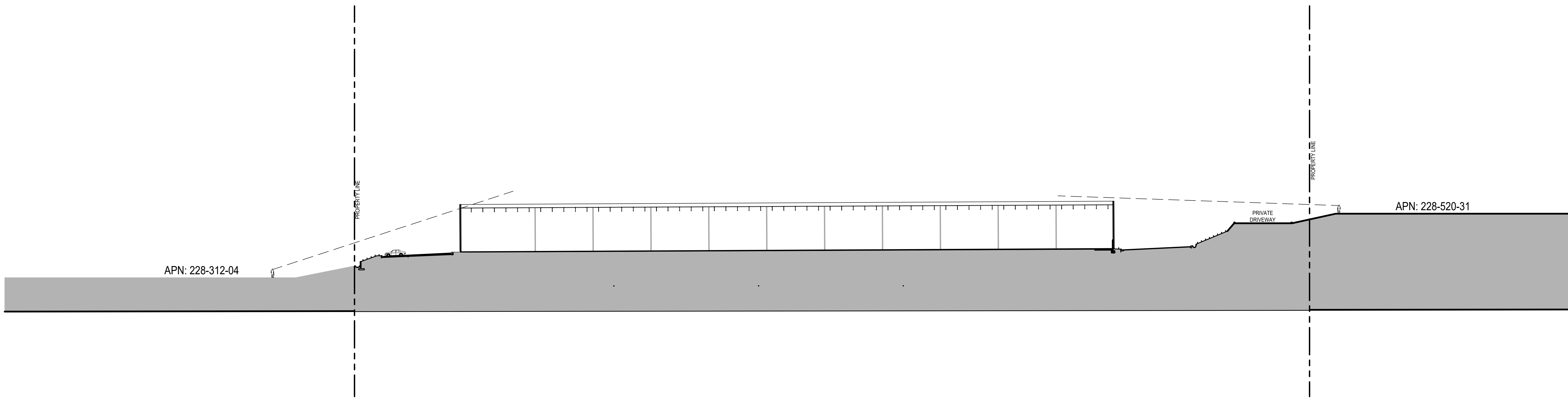
SITE PLAN GENERAL NOTES

1. PROPOSED SIGNAGE SHALL COMPLY WITH CITY OF SAN ESCONDIDO SIGN ORDINANCE
2. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER CITY OF ESCONDIDO REQUIREMENTS.



PROJECT ID: PL20-0654

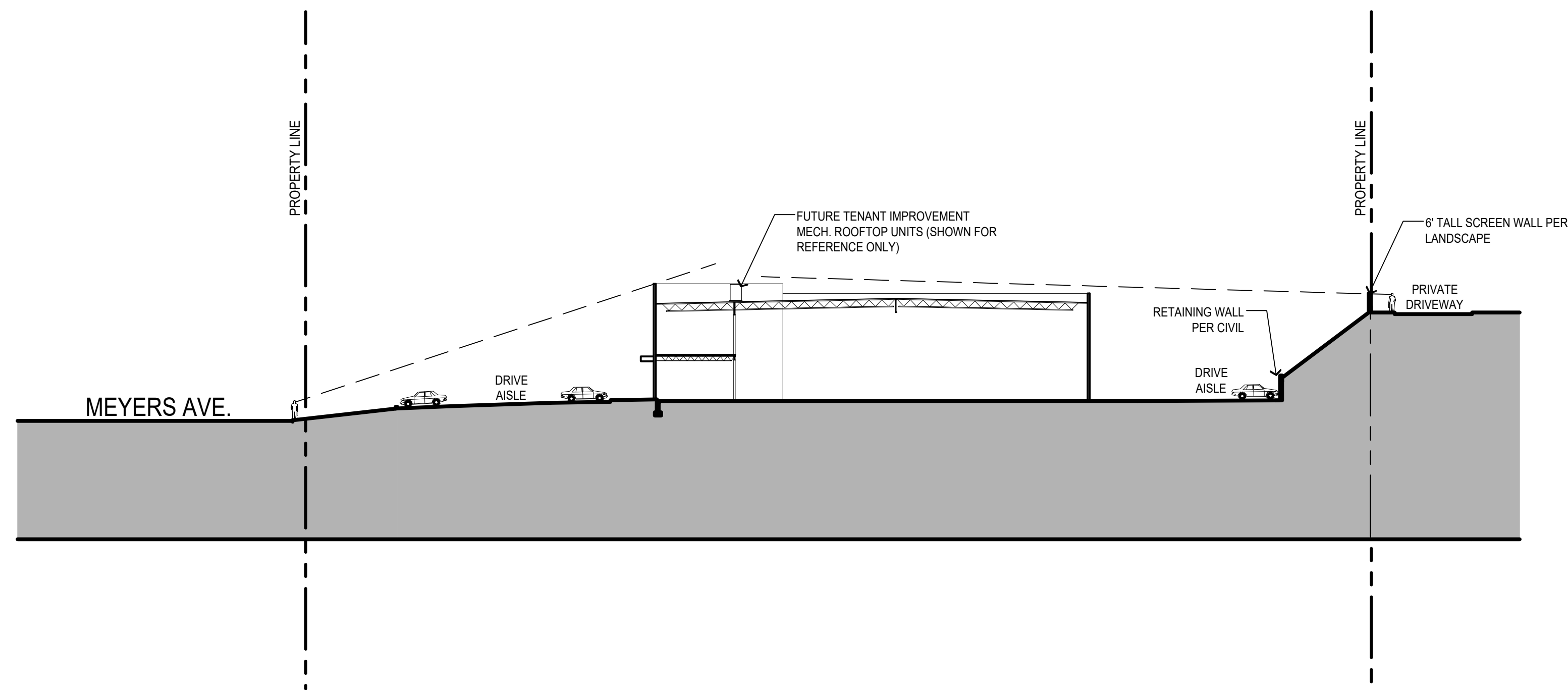
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Job Number	17025.S01
Sheet Number	



SITE SECTION A-A

1" = 30'-0"

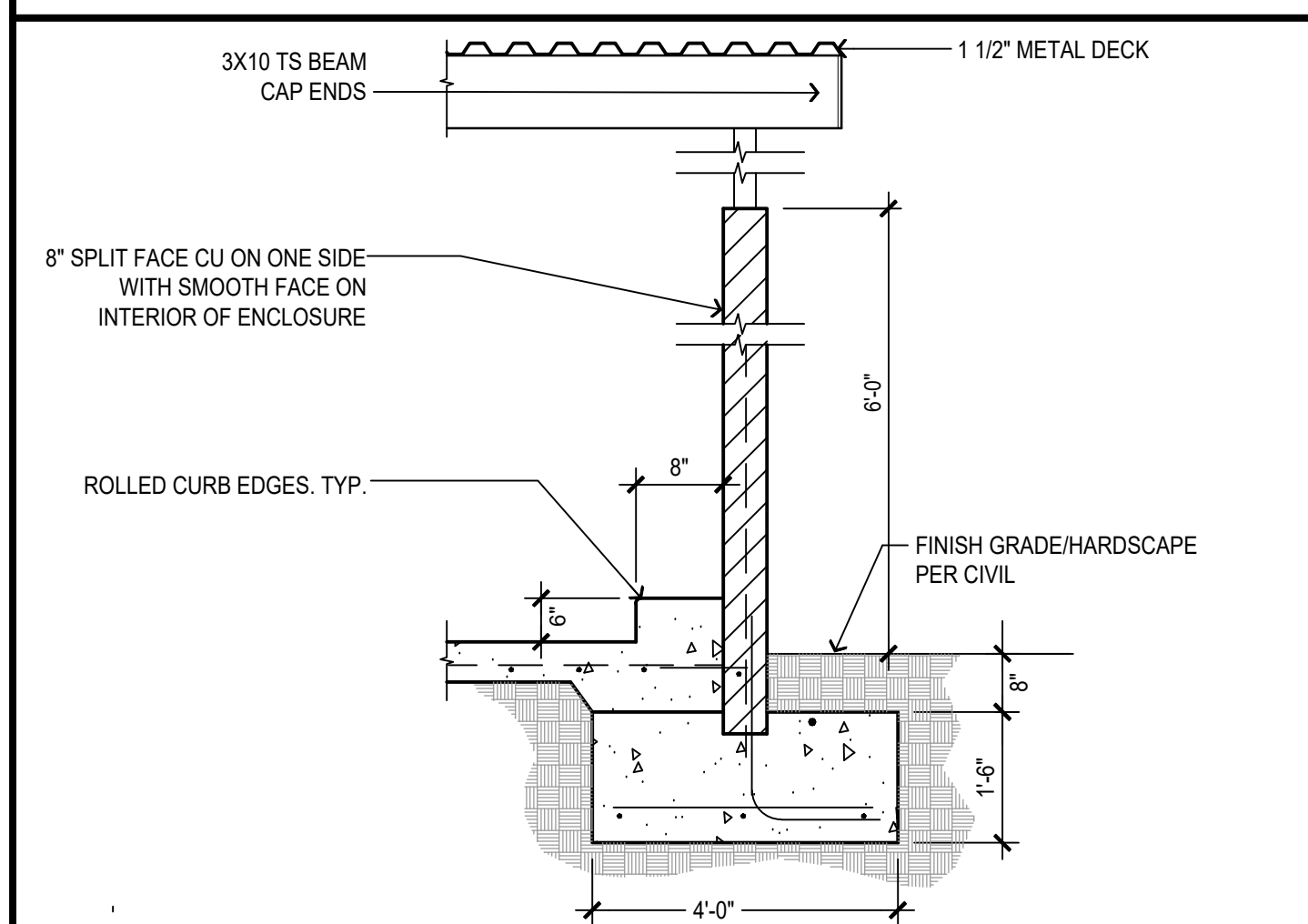
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SITE SECTION B-B

1" = 30'-0"

4



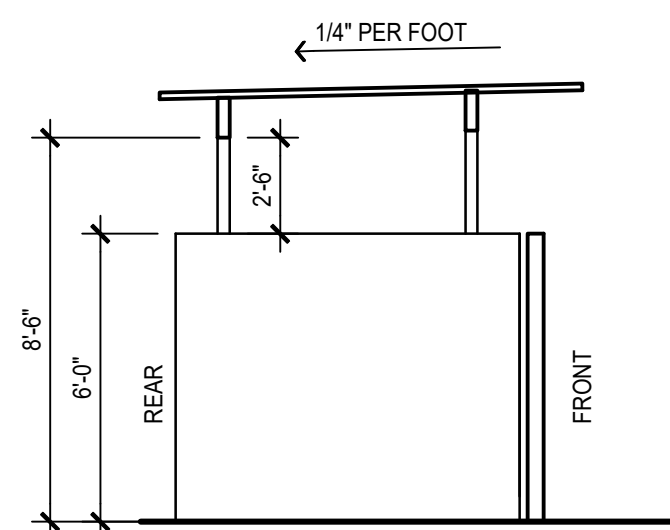
TRASH ENCLOSURE SECTION

1/2" = 1'-0"

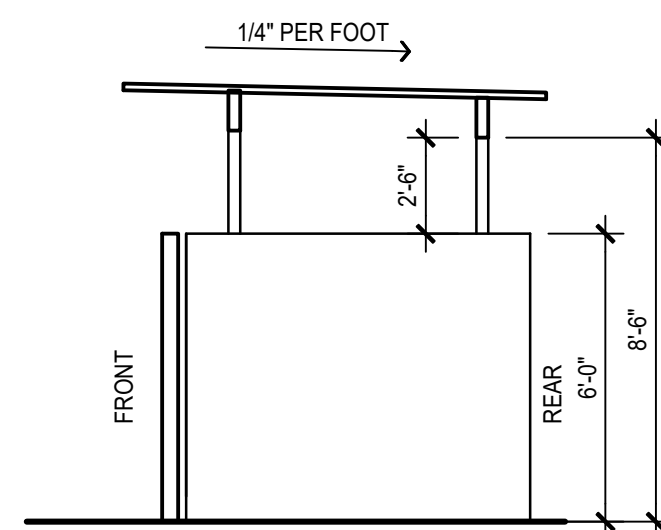
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TRASH ENCLOSURE ELEVATIONS

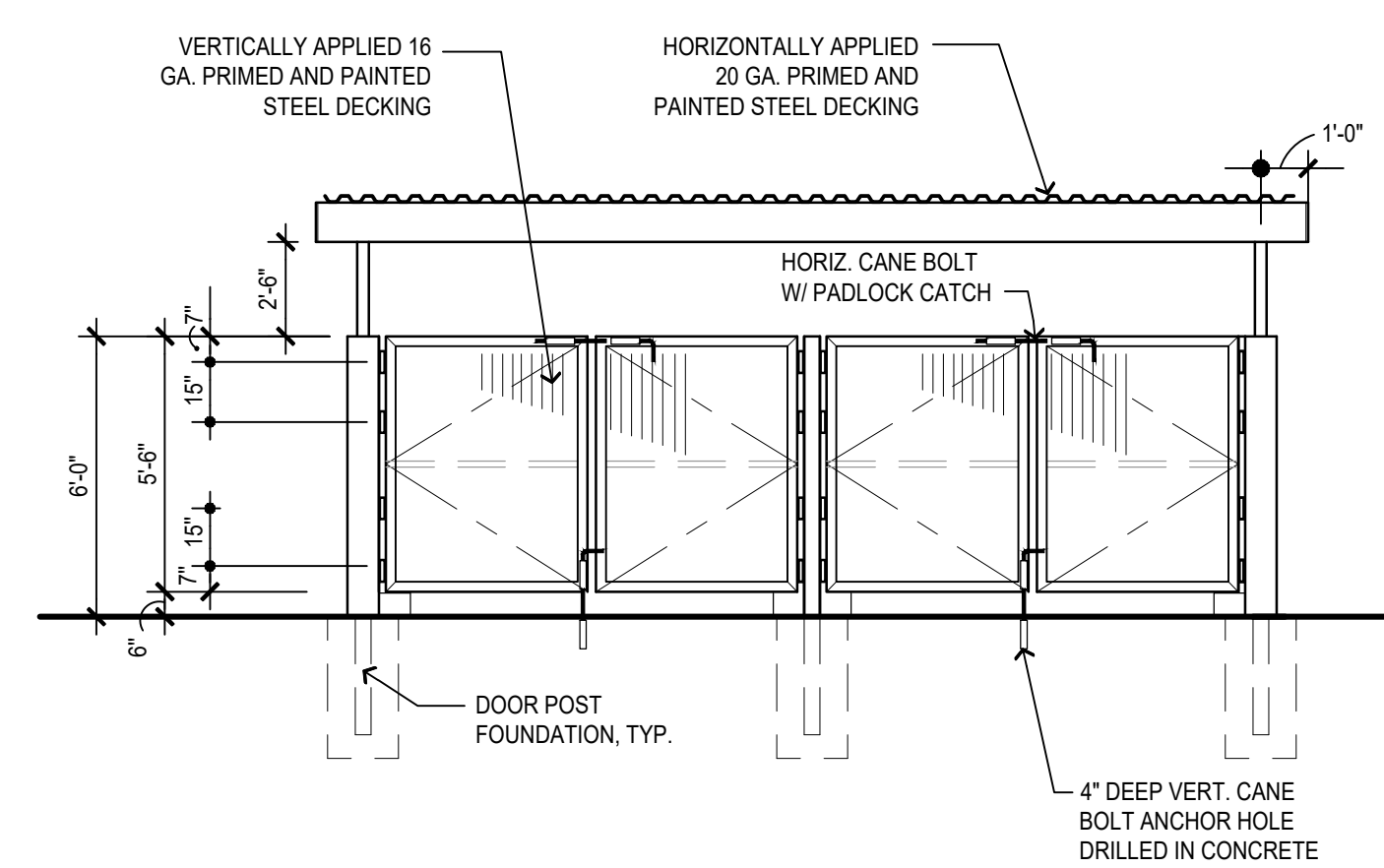
NOTE:
1. ALL STEEL TO BE GALVANIZED AND PAINTED.
COLOR T.B.D. BY ARCH.
2. WALL MATERIAL - TILT UP CONCRETE PANEL



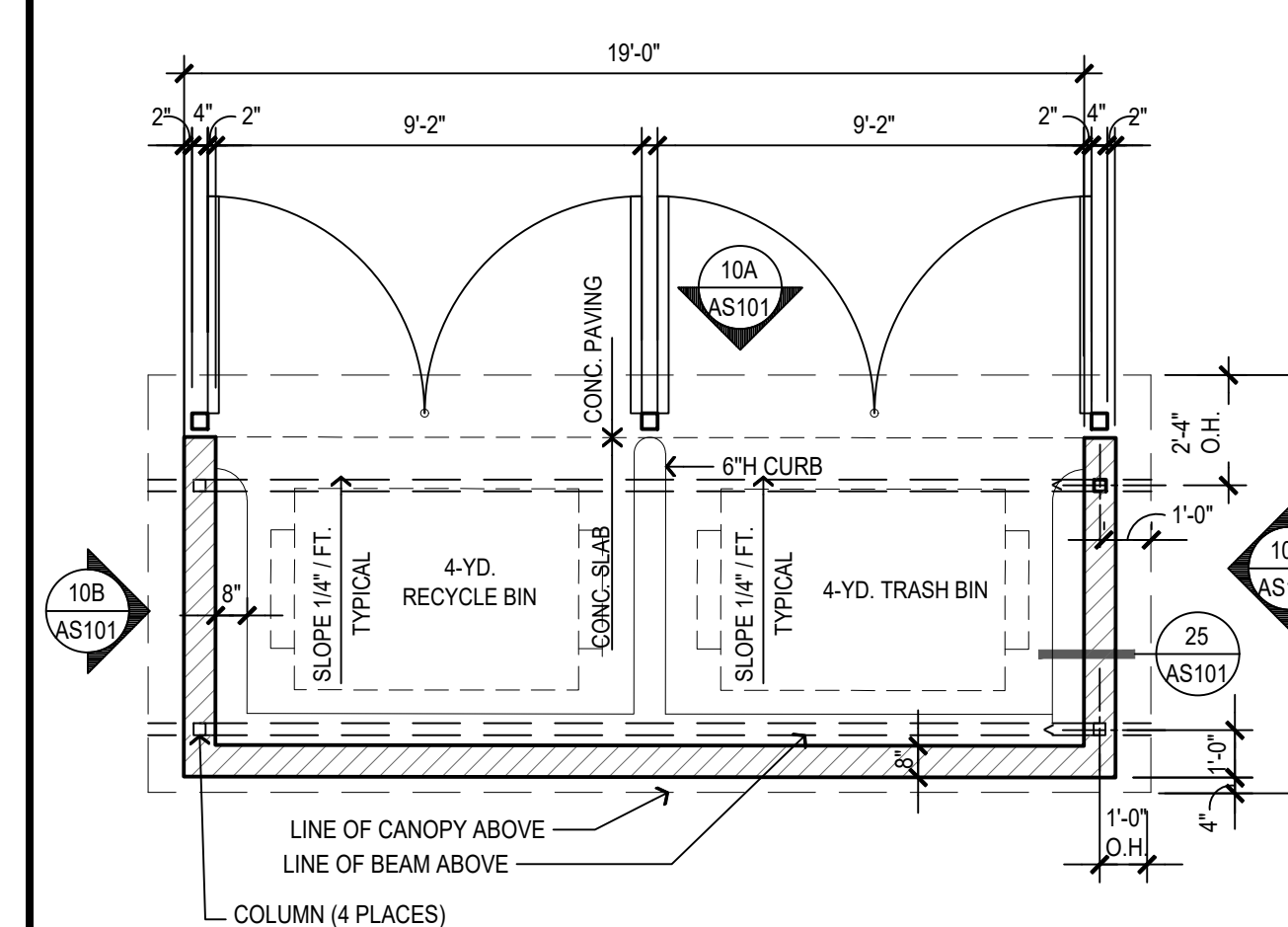
10C. SIDE ELEVATION



10B. SIDE ELEVATION



10A. FRONT ELEVATION



10. TRASH ENCLOSURE PLAN

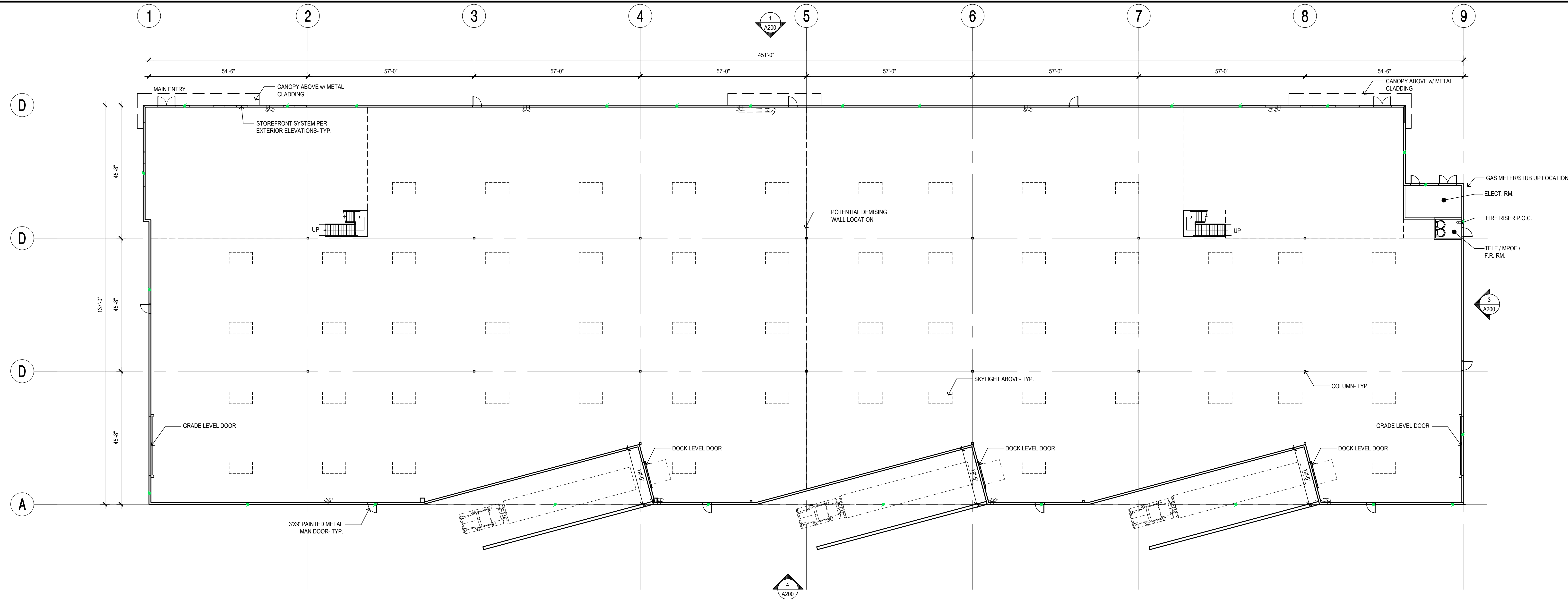
1/4" = 1'-0"

10

1/4" = 1'-0"

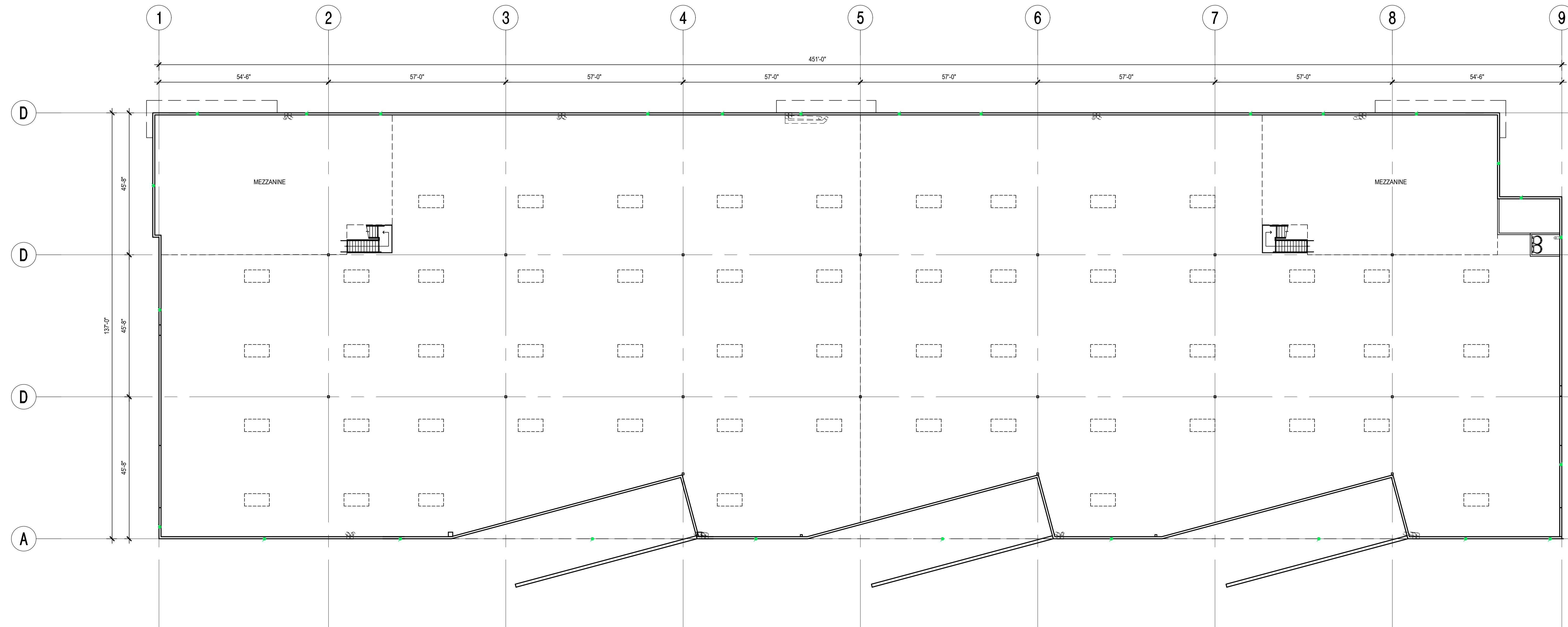
5

DISCRETIONARY RESUBMITTAL 4-11-2022



GROUND LEVEL FLOOR PLAN

SCALE: 1/16" = 1'-0"



MEZZANINE LEVEL PLAN

SCALE: 1/16" = 1'-0"



PROJECT ID: PL20-0654

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Construction Set	-

Drawing Date 4/10/2022

Check By AR

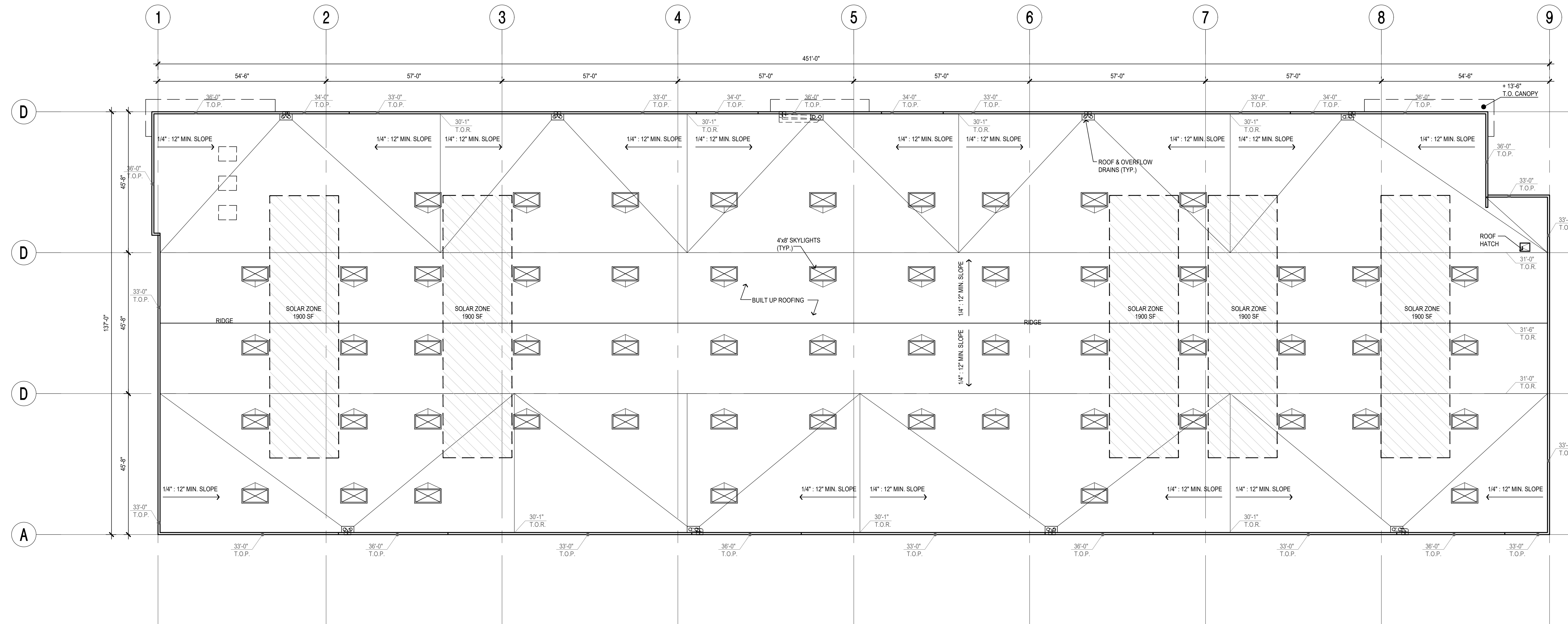
Drawn By DT

Scale AS NOTED

Job Number 17025.S01

Sheet Number

DISCRETIONARY RESUBMITTAL 4-11-2022



ROOF PLAN
SCALE: 1/16" = 1'-0"



NOTE: SLAB SLOPES AT 5%. ALL ELEVATIONS NOTED ON THIS PLAN ARE FROM FINISHED FLOOR. ALL ROOF SLOPES MINIMUM 1/4" PER FOOT.

ROOF CALCULATIONS:

SKYLIGHT PER CEC SECTION 140.3 (MINIMUM 3% OF ROOF AREA)

ROOF AREA = 57,100 SF
 REQUIRED SKYLIGHT AREA = 57,100 x 3% = 1,713 SF
 MINIMUM SKYLIGHT SIZE = 4' X 8' (32 SF)
 TOTAL NUMBER OF SKYLIGHTS REQUIRED FOR DAYLIGHTING = 55
 TOTAL NUMBER OF SKYLIGHTS PROVIDED = 55

SOLAR ZONE

ROOF AREA = 57,100 SF
 REQUIRED SOLAR AREA = (57,100 - 1,743) X 15% = 8454 SF MINIMUM
 REQUIRED SOLAR AREA = 8,454 SF
 PROPOSED SOLAR AREA = 8,720 SF

ROOF PLAN LEGEND:

ROOF HEIGHTS ARE GIVEN ABOVE THE FIRST FLOOR FINISH SLAB ELEVATIONS TO TOP OF ROOF SHEATHING.

- 0'-0" ROOF ELEVATION, FINISH FLOOR TO TOP OF ROOF SHEATHING (TYP. U.O.N.)
- 0'-0" T.O.P. TOP OF PARAPET ELEVATION, FINISH FLOOR TO TOP OF PARAPET (TYP. U.O.N.)
- 1/4" / FT. SLOPE DENOTES MIN. ROOF SLOPE FLOW LINE
- ☒ FIXED 4'X8' SKYLIGHT
- ☒-S 4'X8' SKYLIGHT/ SMOKE VENT W/ MANUAL RELEASE FROM OUTSIDE AND INSIDE



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Drawn By: DT

Scale: AS NOTED

Job Number: 17025.S01

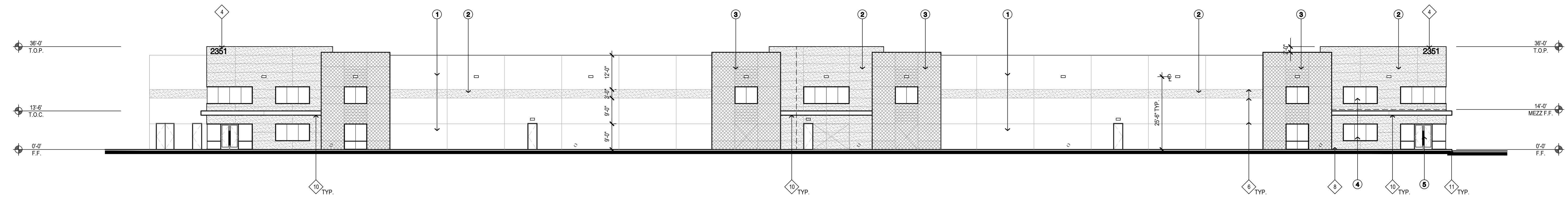
Sheet Number

DISCRETIONARY RESUBMITTAL 4-11-2022

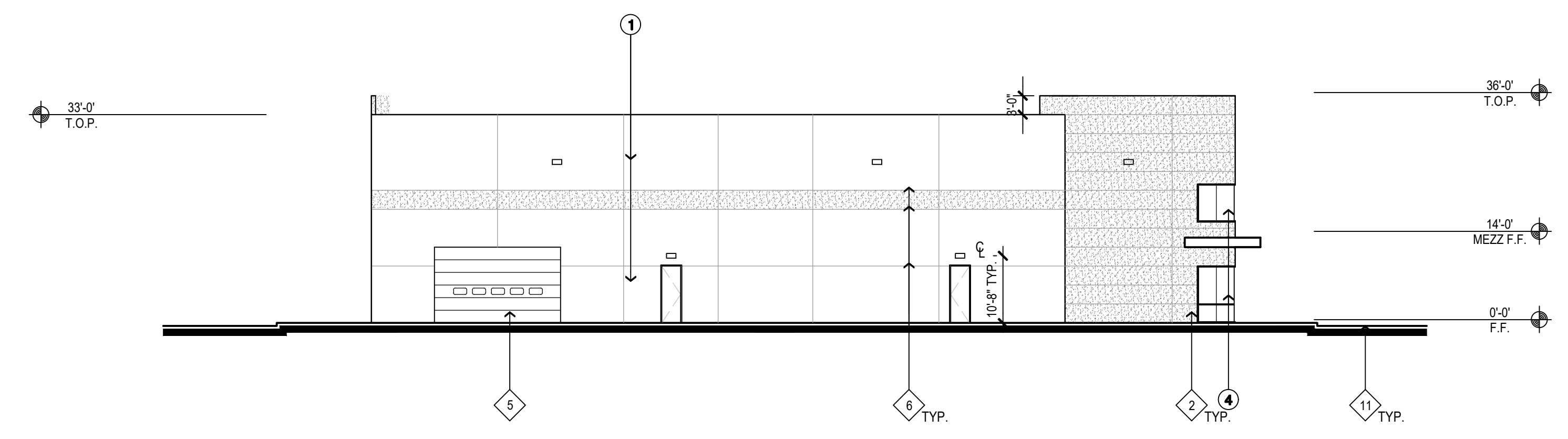


Issue Dates	
Planning	11.02.2020
Design Development	-
Plan Check	-
Bid Set	-
Permit Set	-
Construction Set	-

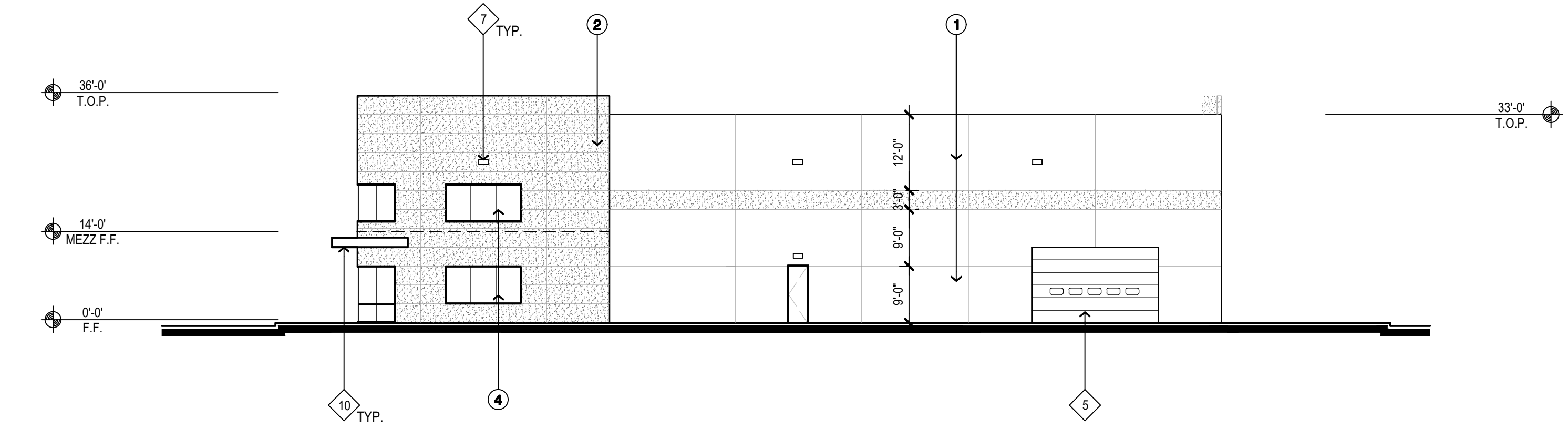
Drawing Date	4/10/2022
Check By	AR
Drawn By	DT
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Job Number	17025.S01
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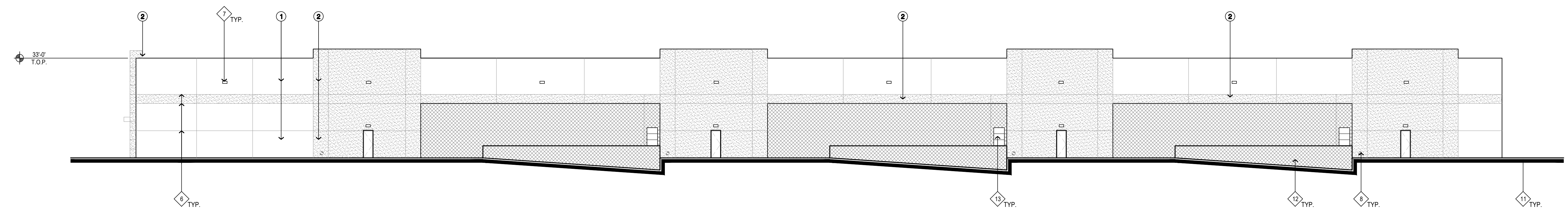
1 EAST EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"



2 NORTH EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"



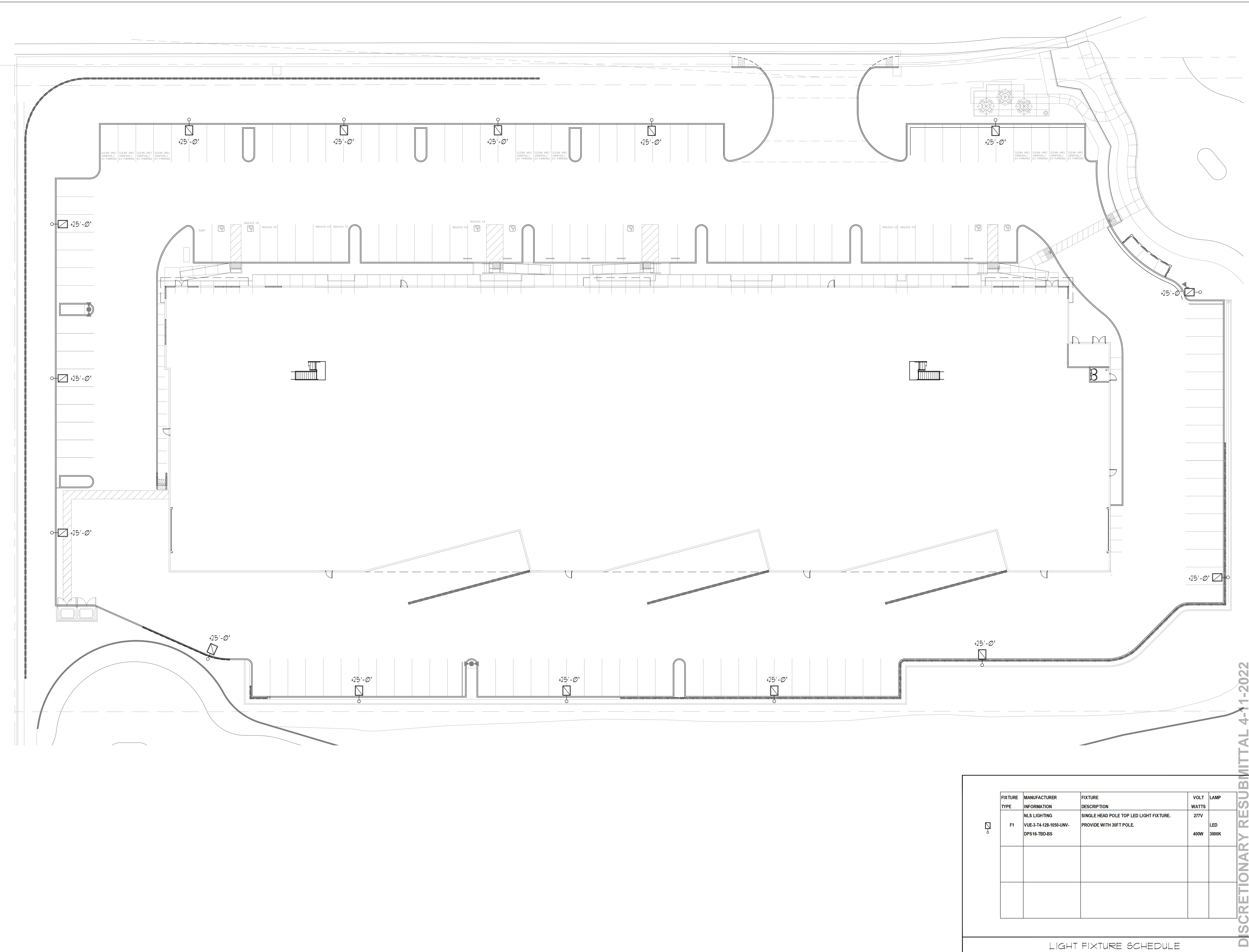
4 WEST EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"

FINISH MATERIAL LEGEND:

	1 PAINTED CONCRETE TILT-UP PANEL FIELD COLOR - TBD
	2 PAINTED CONCRETE TILT-UP PANEL ACCENT COLOR - TBD
	3 PAINTED CONCRETE TILT-UP PANEL ACCENT COLOR - TBD
	4 2"x4" ALUMINUM STOREFRONT, FRONT SET SYSTEM, w/CAPTURED HORIZONTALS AND BUTT GLAZED VERTICALS- w/ DUAL PANE TINTED GLAZING GLAZING: INSULATED GLAZING PPG SOLARBAN 80 (2) SOLARBLUE + CLEAR, MULLIONS: PPG DURANAR SUNSTORM GALAXY SILVER UC 106683F
	5 ALUMINUM / GLASS NARROW STILE STOREFRONT DOORS TO MATCH SURROUNDING STOREFRONT SPECS. COLOR/FINISH: PPG DURANAR SUNSTORM GALAXY SILVER UC 106683F

KEY NOTES:

	1 PAINTED CONCRETE TILT-UP PANELS		12 42" HIGH LOADING DOCK RETAINING WALLS
	2 STOREFRONT SYSTEM		13 DOCK LEVEL DOOR
	3 PAINTED METAL MAN-DOOR TO MATCH SURROUNDING WALL PAINT COLOR		
	4 PLASTIC 24" H x 3" W x 1" DEEP INDIVIDUALLY CUT ADDRESS NUMBERS. GLUE NUMBER TO THE CONCRETE PANEL. LETTER FONT: HELVETICA. COLOR: TBD. VERIFY ADDRESS, STYLE & LOCATION w/ CITY OF ESCONDIDO.		
	5 20"x12" PAINTED SECTIONAL GRADE LEVEL DOOR TO MATCH SURROUNDING WALL FIELD PAINT COLOR.		
	6 3/4"-IN. HORIZ. & VERT. V-GROOVE REVEALS IN CONC. PANEL. PAINTED TO MATCH SURROUNDING WALL COLOR		
	7 WALL PACK LIGHT FIXTURES		
	8 OVERFLOW DRAIN w/DOWNSPOUT COVER DRAIN		
	9 NOT USED		
	10 CANOPY CLAD WITH PREFORMED ALUMINUM PANEL SYSTEM- COLOR PPG DURANAR SUNSTORM GALAXY SILVER		
	11 HARDSCAPE/LANDSCAPE PER CIVIL AND LANDSCAPE PLANS		



Issue Dates

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Design Development	-
Plan Check	-
Bid Set	-
Permit Set	-
Construction Set	-

Drawing Date: 03/25/2022

Check By	DH
Drawn By	AC
Scale	AS NOTED
Job Number	17025.S01
Sheet Number	

FIXTURE TYPE	MANUFACTURER INFORMATION	FIXTURE DESCRIPTION	VOLT WATTS	LAMP
F1	NLS LIGHTING VUE-3-T4-128-1050-UNV-DPS16-TBD-BS	SINGLE HEAD POLE TOP LED LIGHT FIXTURE. PROVIDE WITH 30FT POLE.	277V 400W	LED 3000K

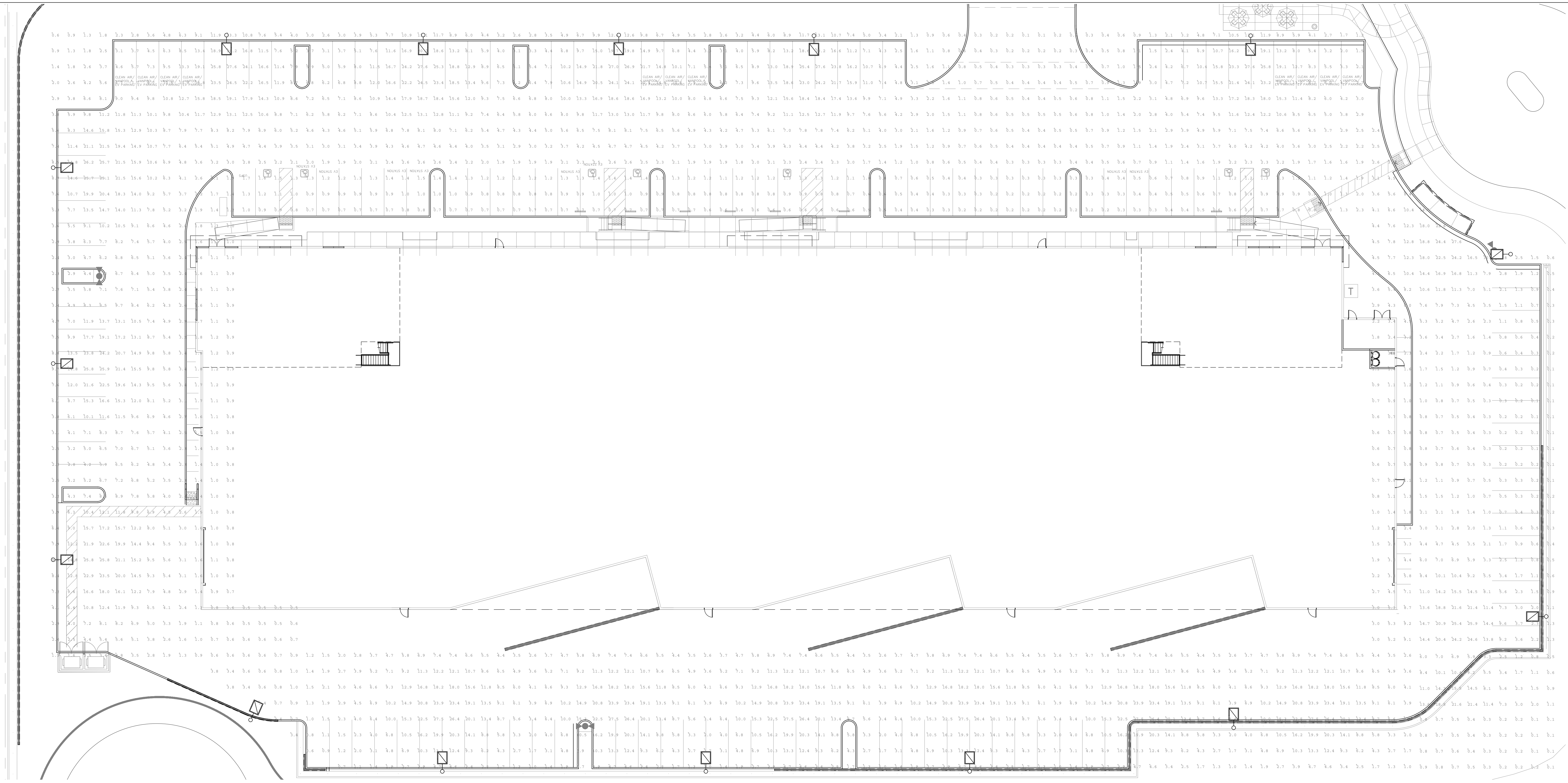
LIGHT FIXTURE SCHEDULE

DISCRETIONARY RESUBMITTAL 4-11-2022

SITE LIGHTING PLAN

SCALE:
 1/16" = 1'-0"

E1.1



NLS LIGHTING **VUE-3**
FULL CUTOFF SITE LIGHTING

FORM AND FUNCTION

- Dark Sky Compliant, Full Cutoff
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds E3 foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for Parking Lots, Auto Dealerships, Municipalities, Tennis Courts, Field Lighting

CONSTRUCTION

- Aluminum
- External cooling fan, Finite Element Analysis (FEA) designed
- Corrosion resistant external hardware

FINISH

- 3-5 mils electrostatic powder coat
- NLS standard high-quality finishes prevent corrosion protects against and extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.

LISTINGS

- Certified to UL 1998
- UL E750
- CSA C22 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium® Premium (DLC-P)

LED WATTAGE CHART

Light Size	144" (1200)	144" (1200)	144" (1200)	144" (1200)	144" (1200)
112 (T1)	112 (T1)	112 (T1)	112 (T1)	112 (T1)	112 (T1)
128 (T2)	128 (T2)	128 (T2)	128 (T2)	128 (T2)	128 (T2)
144 (T3)	144 (T3)	144 (T3)	144 (T3)	144 (T3)	144 (T3)
160 (T4)	160 (T4)	160 (T4)	160 (T4)	160 (T4)	160 (T4)
176 (T5)	176 (T5)	176 (T5)	176 (T5)	176 (T5)	176 (T5)
192 (T6)	192 (T6)	192 (T6)	192 (T6)	192 (T6)	192 (T6)

ELECTRICAL

- 120V/277V White (L/N) or 347-480 Volts (P-N)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is > .95, THD maximum load is 15%
- All internal wiring UL certified for 600 Volts and 100°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- Luminaire uses LMW LEDs
- CRI > 90
- Color temperatures: 3000K, 4000K, 5000K

OPTIONS

- **BIRD SPIES (BS)** - Offers effective and humane deterrent for larger bird species and provides cost effective long-term solution to nuisance bird infestations and protect your property.
- **MARINE GRADE FINISH (MGF)** - A multi-step process creating protective finishing coat against harsh environments.
- Chemically washed in a 5 stage cleaning system.
- Pre-baked
- Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer.
- 1-2 feet inside pole coverage top and bottom.
- Oven Baked
- Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness
- **SHIELDS (HSS, FSS)** - Four-sided House Side Shield (HSS) is designed for full property line outfall. Front Side Shield (FSS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.
- **FSP-211 (FSP-X)** - Passive Infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
- FSP-20 mounting heights 9-20 feet.
- FSP-40 mounting heights 21-40 feet.
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, nonprogrammable in the field.
- **NEMA 7-PIN RECEPTACLE (P7)** - An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10V dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.

OPTICS

Recessed Star Power Optical System is 95% reflective material. Utilizes a linear diffused pattern, softening the light distribution and eliminating any dark shadows or striations.

- LED Types

TYPE (T1) TYPE (T2) TYPE (T3) TYPE (T4) TYPE (T5) TYPE (T6)

NLS LIGHTING 701 Kinghill Place, Carlsbad, CA 92008
Call Us Today (760) 341-3037

LED LUMEN CHART

Light Size	112" (900)	128" (1050)	144" (1200)	160" (1350)	176" (1500)	192" (1650)
112 (T1)	112 (T1)	112 (T1)	112 (T1)	112 (T1)	112 (T1)	112 (T1)
128 (T2)	128 (T2)	128 (T2)	128 (T2)	128 (T2)	128 (T2)	128 (T2)
144 (T3)	144 (T3)	144 (T3)	144 (T3)	144 (T3)	144 (T3)	144 (T3)
160 (T4)	160 (T4)	160 (T4)	160 (T4)	160 (T4)	160 (T4)	160 (T4)
176 (T5)	176 (T5)	176 (T5)	176 (T5)	176 (T5)	176 (T5)	176 (T5)
192 (T6)	192 (T6)	192 (T6)	192 (T6)	192 (T6)	192 (T6)	192 (T6)

L70 DEPRECIATION
483,000 Hours (@77°F/25°C)

MOUNTING OPTIONS

- **Knuckle Mount**
- **Tennis Arm**
- **Truncheon Mount**
- **Direct Pole Mount**

DPX ARM LENGTH

DPX	18"	24"	30"	36"	42"	48"
VUE-3	18"	24"	30"	36"	42"	48"

FSP-211

NLS LIGHTING 701 Kinghill Place, Carlsbad, CA 92008
Call Us Today (760) 341-3037

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Illuminance	Fc	5.59	27.6	0.1	55.80	276.00

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description
☑	11	VUE-3-T4-128L-1-30K_1	SINGLE	VUE-3-T4-128L-1-30K

13280 Evening Creek Drive South | Suite 125
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ARCHITECTURE

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mpe consulting
CONSULTING ENGINEERS

REGISTERED PROFESSIONAL ENGINEER
DANIEL W. MAJORS
E018377
Exp. 6-30-22
STATE OF CALIFORNIA

VIATEST
2351 MEYERS AVE, ESCONDIDO, CA 92029

PROJECT ID: PL20-0654

SITE PHOTOMETRIC CALCULATIONS

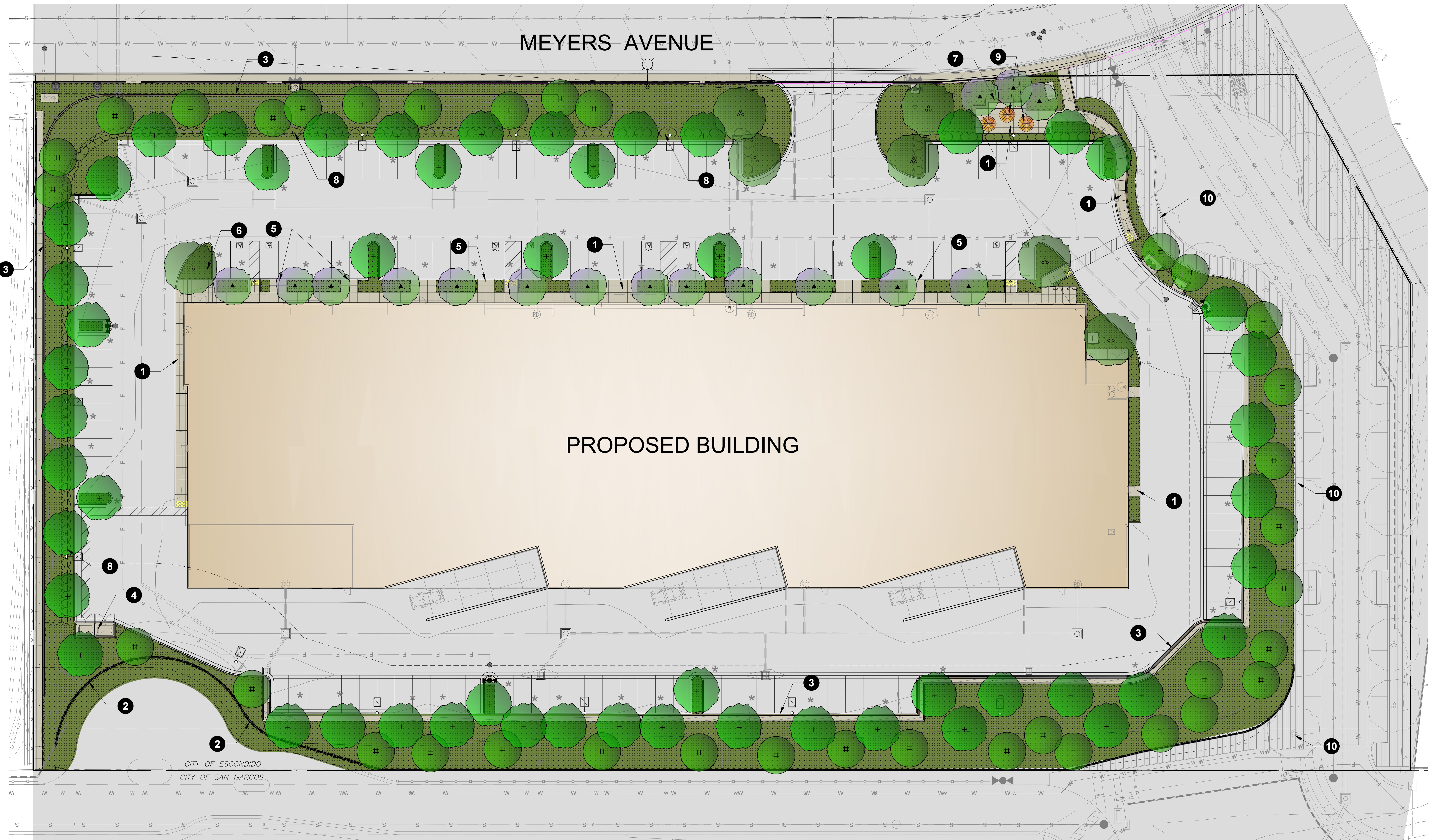
Issue Dates
Planning 11.02.2020
Design Development
Plan Check
Bid Set
Permit Set
Construction Set

Drawing Date: 03/25/2022

Check By: DH
Drawn By: AC
Scale: AS NOTED
Job Number: 17025.S01
Sheet Number

E1.2

SCALE: 1/16" = 1'-0"



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
SHRUBS, GRASSES & GROUNDCOVERS					
■	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL.	18" O.C.	L
■	BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH	1 GAL.	36" O.C.	L
■	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	30" O.C.	L
■	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	1 GAL.	36" O.C.	M
■	DIANELLA 'CASSA BLUE' LILY	CASSA BLUE FLAX LILY	1 GAL.	30" O.C.	L
■	FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	30" O.C.	M
■	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL.	36" O.C.	L
■	MUHLENBERGIA E. 'EL TORO'	BULL GRASS	1 GAL.	30" O.C.	L
■	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	FLATS	18" O.C.	L
■	SESLERIA AUTUMNALIS 'GREENLEE'	GREENLEE AUTUMN MOOR GRASS	1 GAL.	30" O.C.	M
■	RHAPHIOLEPIS UMBELLATA	RHAPHIOLEPIS UMBELLATA 'MINOR'	5 GAL.	30" O.C.	M
●	OLEA EUROPEA 'MONTEA'	LITTLE OLLIE	5 GAL.	48" O.C.	L

WATER USE KEY:
 VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF ESCONDIDO.

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	MIN. SIZE	WATER USE
▲	LAGERSTROEMIA X FAURIEI 'ARAPAHO'	RED CRAPE MYRTLE	24" BOX STD.	8" H X 4" W X 1" CAL.	L
■	LOPHOSTEMON CONFERTUS -OR- PINUS ELДАРICA	BRISBANE BOX -OR- AFGHAN PINE	24" BOX STD.	10" H X 4" W X 1" CAL.	M
●	OLEA EUROPAEA 'SWAN HILL' -OR- CERCIIDIUM 'DESERT MUSEUM'	SWAN HILL FRUITLESS OLIVE -OR- DESERT MUSEUM PALO VERDE	36" BOX MULTI-TRUNK	8" H X 5" W	L
+	RHUS LANCEA -OR- GEUERA PARVIFLORA	AFRICAN SUMAC -OR- AUSTRALIAN WILLOW	24" BOX STD.	10" H X 3" W X 1" CAL.	L

NOTES:
 1. ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES WITHIN 5 FEET OF ANY HARDSCAPE, PAVEMENT, CURB OR WALLS. ROOT BARRIERS ARE TO BE "UB24-2" BY DEEP ROOT CORPORATION, (800) 458-7668, INSTALLED PER MANUFACTURER'S SPECIFICATIONS. NOTE: ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL.
 2. MULCH ALL LANDSCAPE AREAS HAVING LESS THAN A 2:1 SLOPE WITH A 3" LAYER OF MULCH, PER SPECIFICATIONS, AT THE CONCLUSION OF PLANTING OPERATIONS. PROVIDE JUTE NETTING WITH 12" LONG SOIL STAPLES ON SLOPES 2:1 OR GREATER.

LANDSCAPE TABULATIONS

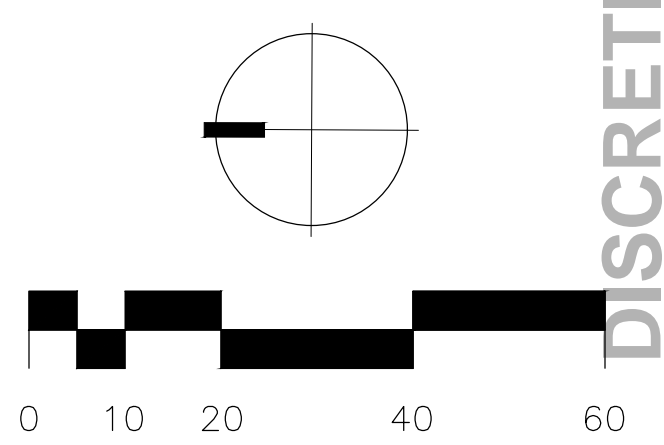
TOTAL PARKING LOT TREES	151
TOTAL PARKING SPACES = (143 STANDARD, 8 ADA)	
PARKING LOT TREES REQUIRED (1 TREE / 4 STALLS) =	38
PARKING LOT TREES PROVIDED =	64

LEGEND

- 1 CONCRETE PAVING
- 2 SPLIT FACE CMU SOUND / SCREEN WALL, 6" HEIGHT
- 3 RETAINING WALL (PER CIVIL)
- 4 TRASH ENCLOSURE (PER ARCHITECT)
- 5 E.V. CHARGING STATIONS
- 6 MAILBOX LOCATION
- 7 SEAT WALL
- 8 LOW SCREENING HEDGE
- 9 TABLE / CHAIRS / UMBRELLAS
- 10 LANDSCAPE BY OTHERS PER LENNAR SUNRISE PLANS

CITY NOTES

- PLANTING ADJACENT TO THE FLOOD CONTROL CHANNEL SHALL COMPLY WITH CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE (CDFW) STANDARDS.
- PLANTING SPECIES SHALL COMPLY WITH THE CITY OF ESCONDIDO FIRE DEPARTMENT STANDARDS FOR PLANTING AT HIGH FIRE SEVERITY ZONE.
- TREES SHALL BE A MINIMUM DISTANCE AS SHOWN ON CITY STANDARD DRAWING NO. L1-E AND L2-E AND AS FOLLOWS:
 35 FEET FROM CURB RETURNS, TRAFFIC SIGNALS, AND DRIVEWAYS ON CLASSIFIED CIRCULATION STREETS.
 15 FEET FROM STREET LIGHTS SEWER MAINS, WATERLINES, STORM DRAINS, AND FIRE HYDRANTS, ETC.
 10 FEET FROM GAS MAINS, ELECTRICAL WIRES, TELCO, CABLE AND OTHER DRY UTILITIES
 15 FEET FROM UTILITY POLES, STREET SIGNS, AND OTHER PERMANENT OBSTRUCTIONS.



DISCRETIONARY RESUBMITTAL 4-11-2022

Trees



LAGERSTROEMIA F. 'ARAPAHO' / RED CRAPE MYRTLE



LOPHOSTEMON CONFERTUS / BRISBANE BOX - OR -



PINUS ELДАРICA / AFGHAN PINE



OLEA EUROPAEA 'SWAN HILL' / SWAN HILL FRUITLESS OLIVE - OR -



CERCIDIUM 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE



RHUS LANCEA / AFRICAN SUMAC - OR -

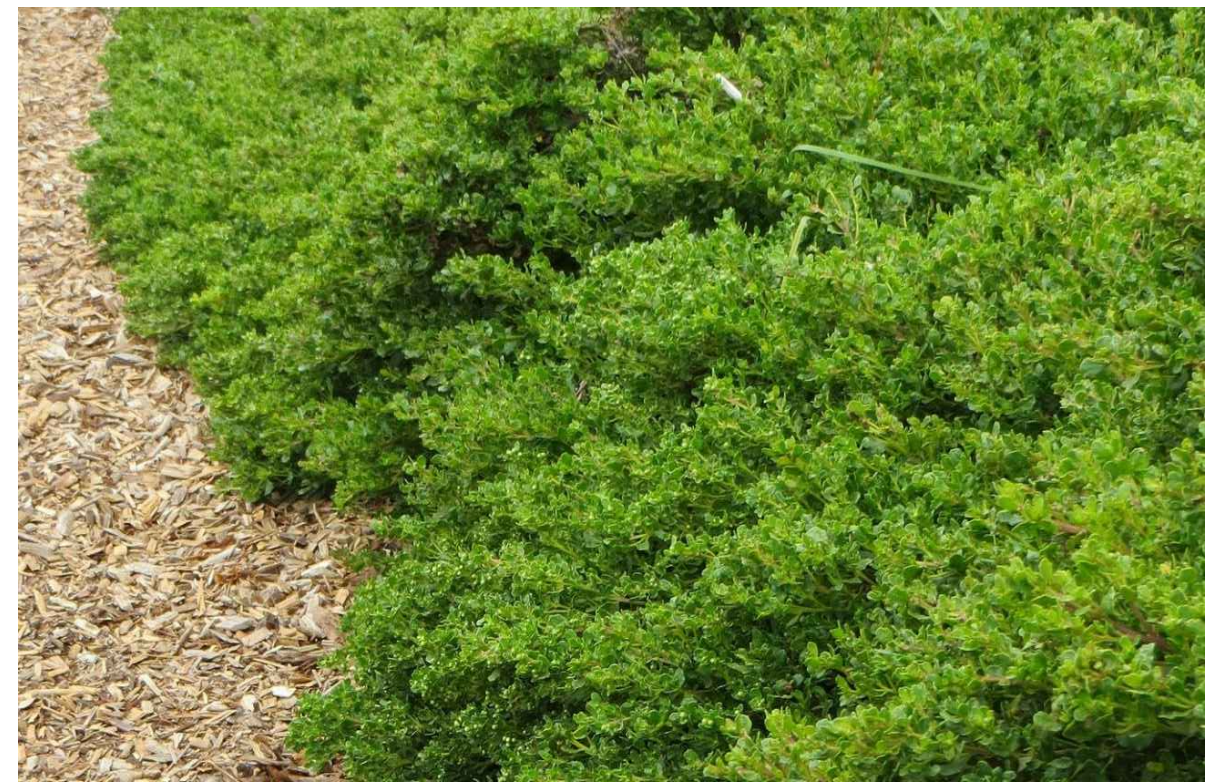


GEIJERA PARVIFLORA / AUSTRALIAN WILLOW

Shrubs, Grasses & Groundcovers



ALOE 'BLUE ELF' / BLUE ELF ALOE



BACCHARIS P. 'TWIN PEAKS' / DWARF COYOTE BRUSH



CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLEBRUSH



COTONEASTER HORIZONTALIS / ROCKSPRAY COTONEASTER



DIANELLA 'CASSA BLUE' / CASSA BLUE FLAX LILY



FESTUCA MAIREI / ATLAS FESCUE



LANTANA 'NEW GOLD' / NEW GOLD LANTANA



MUHLENBERGIA E. 'EL TORO' / BULL GRASS



ROSMARINUS O. 'PROSTRATUS' / PROSTRATE ROSEMARY



RHAPHIOLEPIS UMBELLATA / RHAPHIOLEPIS UMBELLATA 'MINOR'

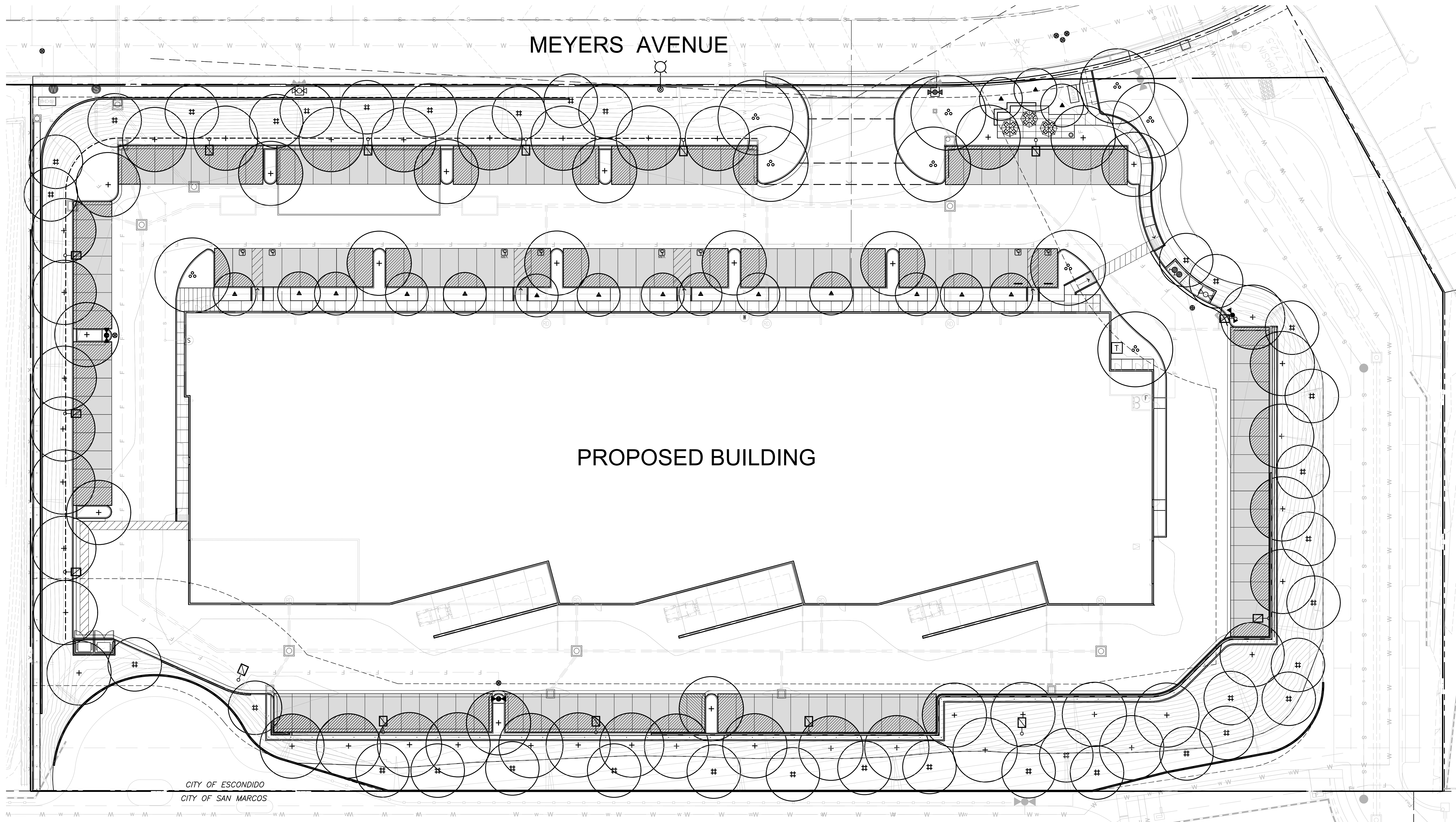


SESLERIA AUTUMNALIS 'GREENLEE' / GREENLEE AUTUMN MOOR GRASS



OLEA EUROPAEA 'MONTRA' / LITTLE OLLIE

J:\DWG\SMITH\2351 Meyers Ave\1_SDMeyersShade.dwg Fri, 25 Mar 2022 11:44am Plotted by: Seo



MEYERS AVENUE

PROPOSED BUILDING

CITY OF ESCONDIDO
CITY OF SAN MARCOS

PLANT SCHEDULE

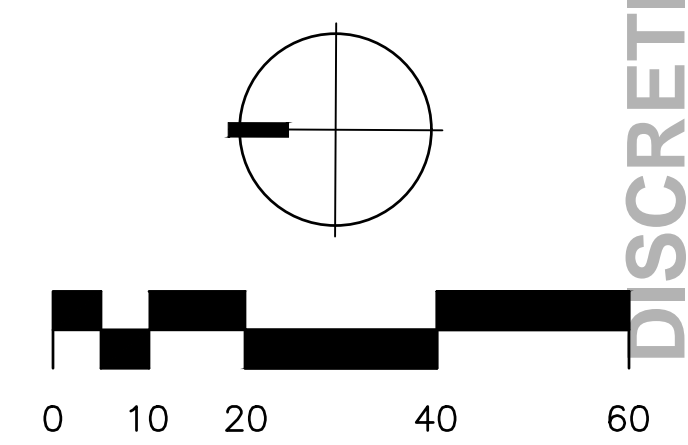
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
▲	LAGERSTROEMIA X FAURIEI 'ARAPAKO'	RED CRAPE MYRTLE
#	LOPHOSTEMON CONFERTUS -OR- PINUS ELDARICA	BRISBANE BOX -OR- AFGHAN PINE
⊕	OLEA EUROPAEA 'SWAN HILL' -OR- CERCIDIUM 'DESERT MUSEUM'	SWAN HILL FRUITLESS OLIVE -OR- DESERT MUSEUM PALO VERDE
+	RHUS LANCEA -OR- GEJERA PARVIFLORA	AFRICAN SUMAC -OR- AUSTRALIAN WILLOW

SHADE CALCULATION

TOTAL AREA OF PARKING STALLS	= 23,640 S.F.
TOTAL REQUIRED SHADE AREA (50%)	= 11,820 S.F.
TOTAL AREA OF SHADE FROM TREES (TREES AT 5 YEARS MATURITY)	= 11,820 S.F.
TOTAL SHADED AREA	= 11,820 S.F. (50%)

SHADE AND PAVING LEGEND

	AREA OF PARKING STALLS & ASSOCIATED VEHICULAR CIRCULATION
	SHADE PROVIDED BY TREES AT 5 YEARS GROWTH



DISCRETIONARY RESUBMITTAL 4-11-2022

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VIAWEST
2351 MEYERS AVE, ESCONDIDO, CA 92029

PROJECT ID: PL20-0654
PRELIMINARY SHADING DIAGRAM

Issue Dates
Planning 11.02.2020
Design Development -
Plan Check -
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Permit Set -
Construction Set -

Drawing Date **4/10/2022**
Check By **RS**
Drawn By **LAMJ**
Scale **AS NOTED**
Job Number **17025.501**
Sheet Number

L3.01