

**CITY COUNCIL**

For City Clerk's Use:

**APPROVED**       **DENIED**

Reso No. \_\_\_\_\_ File No. \_\_\_\_\_

Ord No. \_\_\_\_\_

**Agenda Item No.:** \_\_\_\_\_  
**Date:** September 14, 2016

**TO:** Honorable Mayor and Members of the City Council  
**FROM:** Bill Martin, Director of Community Development  
**SUBJECT:** Master and Precise Development Plan and Zone Change for the Victory Industrial Development Project (PHG15-0042 and ENV15-0017)

**STAFF RECOMMENDATION:**

It is recommended that the City Council introduce Ordinance No. 2016-10 approving the proposed Master and Precise Development Plan for the proposed Victory Industrial Park project and Zone Change from Single-Family Residential (R-1-6) to Planned Development-Industrial (PD-I).

**PLANNING COMMISSION RECOMMENDATION:**

On August 9, 2016, the Planning Commission voted 6-0 to approve the project.

**PROJECT DESCRIPTION:**

A Master and Precise Development Plan for the development of 91,000 square feet of light industrial uses in two new buildings on approximately 5.25 acres (4.87 acres on-site and 0.38 acre off-site). Building 1 would be a one-story building with a 51,400-square-foot ground floor and a 4,100-square-foot mezzanine for a total of 55,500 square feet. Building 2 would be a one-story building with a 32,900-square-foot ground floor and a 2,600-square-foot mezzanine for a total of 35,500 square feet. The project includes 184 surface parking spaces, landscaping, on- and off-site infrastructure, and storm water-drainage improvements. Off-site grading and street improvements also are proposed. A rezone will be required to change the zoning from single-family residential (R-1-6) to Planned Development-Industrial (PD-I) to be consistent with the General Plan land use designation of Light Industrial (LI). A 20-foot-wide Rincon Del Diablo Municipal Water District easement (approximately 0.38 acre off-site area) along the western boundary is part of an adjacent industrial development (Harmony Grove Industrial Park) and is proposed to be incorporated into the project site. A boundary adjustment would be required to modify the project boundaries to incorporate the additional 0.38 acres.

**LOCATION:**

The approximately 4.87-acre project site is located along the southern side of Harmony Grove Road, south of Enterprise Street, east of Pacific Oaks Place, addressed as 2005 Harmony

Grove Road (APN 235-050-1500). A portion of four off-site properties (approximately 0.38 acres) also are included in the project (APNs 235-040-46, -47, -48 and -49).

**FISCAL ANALYSIS:**

None

**GENERAL PLAN ANALYSIS:**

The General Plan land-use designation for the project site is Light Industrial (LI), and the proposed industrial project and Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The project site currently is zoned as single-family residential (R-1-6) and a zone change to Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. The project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community."

**ENVIRONMENTAL REVIEW:**

A Draft Initial Study/Mitigated Negative Declaration (City File No. ENV15-0017) was issued for the project for a 30-day public review period in conformance with the California Environmental Quality Act (CEQA). The findings of the environmental review identified effects related to biological resources, cultural and tribal cultural resources, and traffic that might be potentially significant. However, design and minimization measures, revisions in the project plans, and/or mitigation measures agreed to by the applicant would provide mitigation to a point where potential impacts are reduced to less than a significant level. The City has concluded necessary consultation with the Native American Tribes in accordance with Assembly Bill 52 with the incorporation of appropriate mitigation measures to address potential impacts to tribal cultural resources. Traffic mitigation is necessary for off-site roadway improvements to improve traffic flow along Harmony Grove Road (project entrance north to Enterprise St.) and at the intersection of Harmony Grove Road/Hale Avenue. The project also is required to pay a fair-share contribution to the future extension of Citracado Parkway. Biological mitigation is required to off-set impacts to non-native grassland (2.57 acres at 0.5:1 ratio) and small amount disturbed wetland (0.002 acre at 3:1 ratio) through the purchase of equivalent habitat credits at an approved mitigation bank. The Final Mitigated Negative Declaration may be viewed on the City's web site at the following link:

<https://www.escondido.org/Data/Sites/1/media/PDFs/Planning/VictoryIndustrialParkProject/finalmnd.pdf?v=2>

Staff did not receive any comments from surrounding property owners or the general public during the public review period. One letter was received from the County of San Diego (included in the Final MND) regarding traffic impacts requesting the project provide a fair-share contribution to the future improvements to Kauana Loa Drive located west of the project site.

The Engineering Division determined that although the project would direct a small amount of vehicle trips to Kauana Loa Drive in the short term, the number of trips would not warrant any traffic mitigation or trigger any necessary off-site improvements. When the Citracado Parkway extension is completed, direct access to Kauana Loa from Harmony Grove Road will be cut off. Harmony Grove Road traveling west would terminate with a cul-de-sac and would not connect to Citracado Parkway. Traffic Impact Fees paid by the developer would go towards the maintenance and improvements of streets throughout the City.

#### BACKGROUND:

A 22-lot single-family residential Tentative Subdivision Map (Escondido Tract No. 936) originally was approved on the 4.87-acre project site by the City Council in 2009. The previous General Plan residential land-use designation of Urban 1 that allowed for single-family residential development on the site was changed to Light Industrial (LI) with the 2012 General Plan update. Because residential development is not consistent with the new General Plan industrial land-use designation, the Tentative Map never was finalized/recorded. Badiie Development, Inc., has since acquired the property and submitted a request to construct a 91,000 SF industrial development on the site. Although the General Plan designates the property as Light Industrial, the underlying R-1-6 zoning designation must be changed to an industrial zoning designation to be consistent with the General Plan and also to facilitate the appropriate type of industrial development for the site that would be compatible with the surrounding Specific Plan and Industrial Park zoning and development.

#### PLANNING COMMISSION RECOMMENDATION AND SUMMARY:

On August 9, 2016, the Planning Commission voted 6-0 to recommend approval of the project. The Commissioners discussion primarily focused on the proposed signage program for the project and parking for the various uses that could be on site. The Commissioners did not express any concerns regarding the project design or land uses.

#### PUBLIC INPUT:

Staff has not received any written public comments regarding the project, but did receive one phone call from a nearby resident requesting additional information regarding the project. No one from the public spoke at the Planning Commission hearing.

#### ANALYSIS:

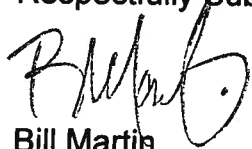
The project site is adjacent to similar industrial park type development on the west and to the northwest, and vacant industrial land on the north. The project site plan, building architecture, materials and colors have been designed to be compatible with the quality of the buildings throughout the Harmony Grove industrial area incorporating increased setbacks and landscape buffers as required by the Industrial Park (IP) zoning requirements. The two proposed buildings include a variety of exterior colors and window elements, vertical and horizontal score lines, and a varied roof line to help break up the mass and scale of the buildings. Metal canopy/eyebrows would be provided over the main entries to each building and a tile accent

wall fin incorporated into the design at the main corner of each building. Landscape planters also would be provided along the more visible building elevations, as seen from the public way and adjacent industrial development to help soften the building massing. The Escondido Creek Flood Control Channel is located along the eastern and southern boundary of the site, and the architecture of the buildings along these elevations and loading docks have been designed/screened to avoid any adverse visual impacts from Creek views. Pedestrian access also would be provided to the existing maintenance access road that runs along the creek to accommodate any future plans to extend the Class I Escondido Creek pathway along the northern side of the Creek from Harmony Grove Road to the future Citracado Parkway extension. Off-site grading is proposed along the edge of the maintenance road and the project is required to landscape and maintain this area, which provides additional screening opportunities from Creek views.

The buildings have been designed to be used by a single tenant, but with provisions for the buildings to accommodate more than one tenant with multiple main entry areas and potential future loading doors if needed. The project would provide 184 on-site parking spaces at a ratio of 1 space for every 494 SF of building area. This ratio is in the middle of the range of parking ratios/uses required for the Industrial Park zone. Staff believes the amount of parking provide is more than sufficient for the site and the ratio provided would be able to accommodate a wide range of future uses. The Planned Development process allows for the project to establish an appropriate parking ratio for the project and eliminates the need for City staff to evaluate future lease of the buildings spaces (during review of business license) based on the type of uses and individual parking requirements.

The project includes a comprehensive sign program to ensure conformity and quality of the building signs throughout the project. The comprehensive sign program is based on the M-1 (Light Industrial) sign requirements with some modifications to control the overall size and placement of the signs on the buildings. Staff believes the overall site design, building setbacks, landscaping and building architecture create a well-integrated and high quality planned industrial development that is compatible with other industrial park development throughout the area.

Respectfully Submitted,



Bill Martin  
Director of Community Development



Jay Paul  
Associate Planner

**ACTION:**

Moved by Commissioner Weiler, seconded by Commissioner Spann, to approve staff's recommendation. Motion carried. Ayes: Spann, McQuead, Cohen, and Weiler. Noes: Weber, and Romo. (4-2)

**2. MASTER AND PRECISE DEVELOPMENT PLAN AND ZONE CHANGE  
- PHG 15-0042:**

**REQUEST:** A Master and Precise Development Plan for the development of 91,000 square feet of light industrial uses in two new buildings on approximately 5.25 acres (4.87 acres on-site and 0.38 acre off-site). Building 1 would be a one-story building with a 51,400-square-foot ground floor and a 4,100-square-foot mezzanine for a total of 55,500 square feet. Building 2 would be a one-story building with a 32,900-square-foot ground floor and a 2,600-square-foot mezzanine for a total of 35,500 square feet. The project includes 184 surface parking spaces, landscaping, infrastructure and storm water-drainage improvements. A rezone will be required to change the zoning from existing single-family residential (R-1-6) to Planned Development-Industrial (PD-I) to be consistent with the General Plan land use designation of Light Industrial (LI). A 20-foot-wide Rincon Del Diablo Municipal Water District easement (approximately 0.38-acre off-site area) along the western boundary is part of an adjacent industrial development and is proposed to be incorporated into the project site. A boundary adjustment would be required to modify the project boundaries. Off-site grading and street improvements also are proposed. The proposal also includes the adoption of the environmental determination prepared for the project.

**LOCATION:** The project site is located along the southern side of Harmony Grove Road, south of Enterprise Street, east of Pacific Oaks Place, addressed as 2005 Harmony Grove Road (APN 235-050-15-00).

Bill Martin, Director of Community Development, referenced the staff report and noted staff issues were the appropriateness of the proposed Planned Development-Industrial zoning designation, and whether the proposed Planned Industrial project is compatible with adjacent industrial and residential development. Staff recommended approval based on the following: 1) The General Plan land-use designation for the project site was Light Industrial (LI), and the proposed industrial project and corresponding Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The industrial development provisions (Zoning Code Article 26) encouraged the planned development process for industrial park type development. The project would be subject to the Industrial Park (IP) land-use provisions and list of allowed uses as part of the Master Plan details and project conditions. Staff believed the Industrial Park zoning provisions and corresponding Planned Development-Industrial zoning was appropriate for the

subject site due to the adjacent Specific Plan and Industrial Park zoning on the west and northwest. This Planned Development designation also would ensure compatibility with the quality of the surrounding industrial development and limited the site to lower intensity industrial and office type uses to avoid potential conflicts with nearby residential development; and 2) The proposed project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community." Staff believes the overall site design, building setbacks, landscaping and building architecture create a well-integrated and high quality planned industrial development that would be compatible with other industrial park development throughout the area.

Discussion ensued regarding a clarification of the allowable signage for the subject area.

Chairman Weber and staff discussed the undergrounding of utilities and in lieu fees for the subject project.

Commissioner Weiler and staff discussed height limits for the Sign Program.

Commissioner Weiler asked if the project had a limitation on the amount of office space allowed, noting his concern for on-street parking impacts. Mr. Martin noted that the project had more parking than required, noting staff felt it could accommodate future parking needs.

**Scott Merry, Badiee Development**, thanked staff for their help with the project with special emphasis being given to Jay Paul. He stated that they had incorporated many of staff's suggestions into the project. He noted that the power pole as referenced by Chairman Weber would be taken down. He also elaborated that the parking was really driven by the use and the marketplace. He then asked for Commission approval.

Commissioner Weiler was in favor of the project.

Chairman Weber felt the project was appropriate for the site.

**ACTION:**

Moved by Commissioner Romo, seconded by Commissioner Weiler, to approve staff's recommendation. Motion carried unanimously. (6-0)

## PLANNING COMMISSION

Agenda Item No.: G.2  
Date: August 9, 2016

**CASE NUMBER:** PHG 15-0042, ENV 15-0017

**APPLICANT:** Badiee Development Inc.

**LOCATION:** The approximately 4.87-acre project site is located along the southern side of Harmony Grove Road, south of Enterprise Street, east of Pacific Oaks Place, addressed as 2005 Harmony Grove Road (APN 235-050-1500). A portion of four off-site properties (approximately 0.38 acres) also are included in the project (APNs 235-040-46, -47, -48 and -49).

**TYPE OF PROJECT:** Master and Precise Development Plan and Zone Change

**PROJECT DESCRIPTION:** A Master and Precise Development Plan for the development of 91,000 square feet of light industrial uses in two new buildings on approximately 5.25 acres (4.87 acres on-site and 0.38 acre off-site). Building 1 would be a one-story building with a 51,400-square-foot ground floor and a 4,100-square-foot mezzanine for a total of 55,500 square feet. Building 2 would be a one-story building with a 32,900-square-foot ground floor and a 2,600-square-foot mezzanine for a total of 35,500 square feet. The project includes 184 surface parking spaces, landscaping, on- and off-site infrastructure improvements, and storm water-drainage improvements. A rezone will be required to change the zoning from existing single-family residential (R-1-6) to Planned Development-Industrial (PD-I) to be consistent with the General Plan land use designation of Light Industrial (LI). A 20-foot-wide Rincon Del Diablo Municipal Water District easement (approximately 0.38-acre off-site area) along the western boundary is part of an adjacent industrial development (Harmony Grove Industrial Park) and is proposed to be incorporated into the project site. A Boundary Adjustment would be required to modify the project boundaries to incorporate the additional 0.38 acres. Off-site grading and street improvements also are proposed. The proposal also includes the adoption of the environmental determination prepared for the project.

**GENERAL PLAN DESIGNATION:** Light Industrial (LI)

**ZONING:** Existing On-Site Parcel: R-1-6 (Single-Family Residential, 6,000 SF min. lot size); Proposed: PD-I (Planned Development-Industrial)  
Existing Off-Site Parcel: SP (Specific Plan) The Specific Plan zoning for the 0.37-acre off-site property will remain SP.

**BACKGROUND/SUMMARY OF ISSUES:** A 22-lot single-family residential Tentative Subdivision Map (Escondido Tract No. 936) originally was approved on the 4.87-acre project site by the City Council in 2009. The previous General Plan residential land-use designation of Urban 1 that allowed for single-family residential development on the site was changed to Light Industrial (LI) with the 2012 General Plan update. Because residential development is not consistent with the new General Plan industrial land-use designation, the Tentative Map never was finalized/recorded.

Badiee Development, Inc., has since acquired the property and submitted a request to construct a 91,000 SF industrial development on the site. Although the General Plan designates the property as Light Industrial, the underlying R-1-6 zoning designation must be changed to an industrial zoning designation to be consistent with the General Plan and also to facilitate the appropriate type of industrial development for the site that would be compatible with the surrounding Specific Plan and Industrial Park zoning and development.

Staff feels the issues are as follows:

1. Appropriateness of the proposed Planned Development-Industrial zoning designation.
2. Whether the proposed Planned Industrial project is compatible with adjacent industrial and residential development.

**REASONS FOR STAFF RECOMMENDATION:**

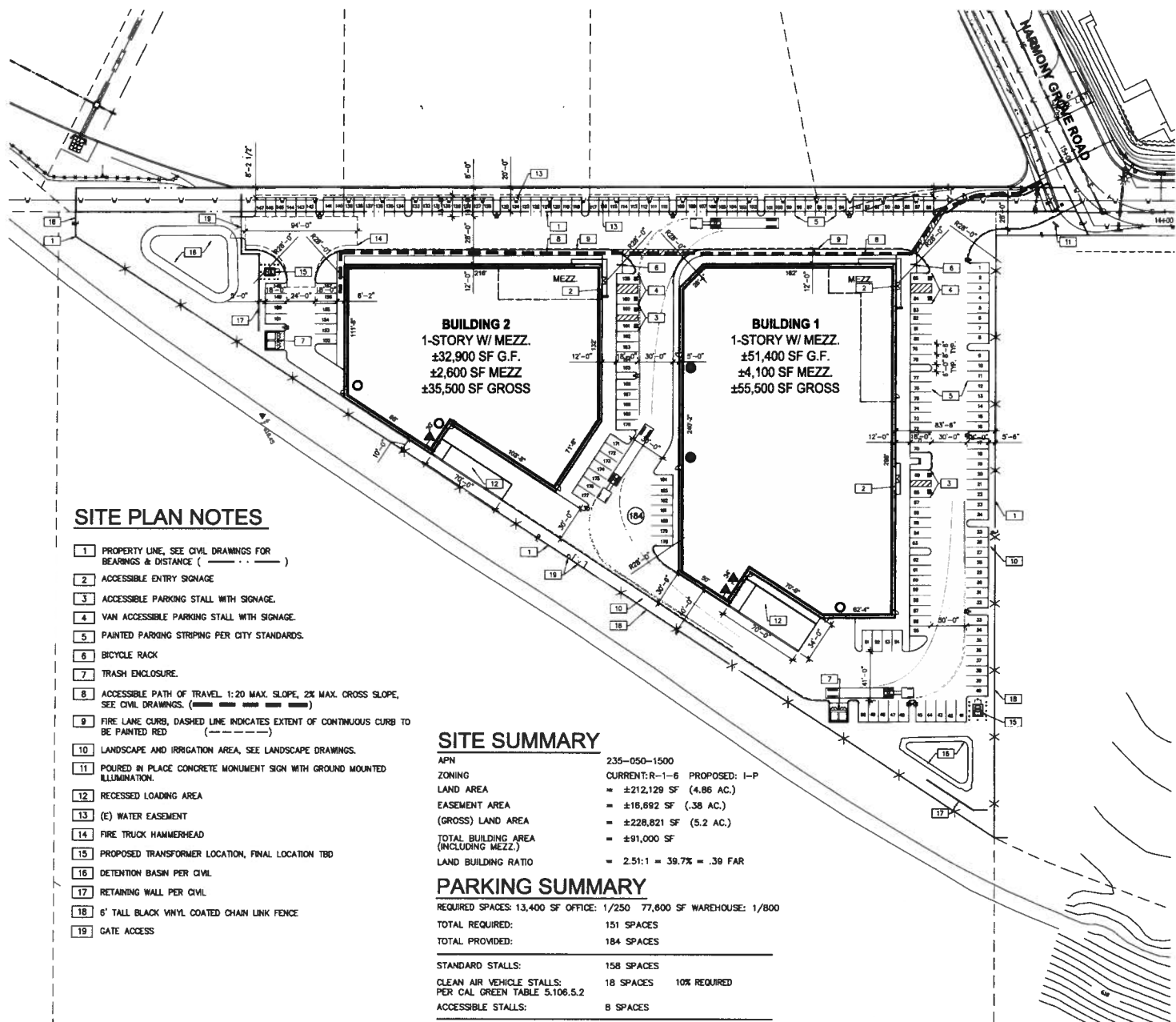
1. The General Plan land-use designation for the project site is Light Industrial (LI), and the proposed industrial project and corresponding Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The industrial development provisions (Zoning Code Article 26) encourage the planned development process for industrial park type development. The project would be subject to the Industrial Park (IP) land-use provisions and list of allowed uses as part of the Master Plan details and project conditions. Staff believes the Industrial Park zoning provisions and corresponding Planned Development-Industrial zoning is appropriate for the subject site due to the adjacent Specific Plan and Industrial Park zoning on the west and northwest. This Planned Development designation also would ensure compatibility with the quality of the surrounding industrial development and limits the site to lower intensity industrial and office type uses to avoid potential conflicts with nearby residential development.
2. The proposed project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community." Staff believes the overall site design, building setbacks, landscaping and building architecture create a well-integrated and high quality planned industrial development that is compatible with other industrial park development throughout the area.

Respectfully Submitted,



Jay Paul  
Associate Planner





**SITE PLAN NOTES**

- 1 PROPERTY LINE, SEE CIVIL DRAWINGS FOR BEARINGS & DISTANCE ( - - - - - )
- 2 ACCESSIBLE ENTRY SIGNAGE
- 3 ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 4 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 5 PAINTED PARKING STRIPING PER CITY STANDARDS.
- 6 BICYCLE RACK
- 7 TRASH ENCLOSURE.
- 8 ACCESSIBLE PATH OF TRAVEL 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS. ( - - - - - )
- 9 FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED ( - - - - - )
- 10 LANDSCAPE AND IRRIGATION AREA, SEE LANDSCAPE DRAWINGS.
- 11 POURED IN PLACE CONCRETE MONUMENT SIGN WITH GROUND MOUNTED ILLUMINATION.
- 12 RECESSED LOADING AREA
- 13 (E) WATER EASEMENT
- 14 FIRE TRUCK HAMMERHEAD
- 15 PROPOSED TRANSFORMER LOCATION, FINAL LOCATION TBD
- 16 DETENTION BASIN PER CIVIL
- 17 RETAINING WALL PER CIVIL
- 18 6' TALL BLACK VINYL COATED CHAIN LINK FENCE
- 19 GATE ACCESS

**SITE SUMMARY**

APN	235-050-1500
ZONING	CURRENT: R-1-6 PROPOSED: I-P
LAND AREA	= ±212,129 SF (4.86 AC.)
EASEMENT AREA	= ±16,692 SF (.38 AC.)
(GROSS) LAND AREA	= ±228,821 SF (5.2 AC.)
TOTAL BUILDING AREA (INCLUDING MEZZ.)	= ±91,000 SF
LAND BUILDING RATIO	= 2.51:1 = 39.7% = .39 FAR

**PARKING SUMMARY**

REQUIRED SPACES: 13,400 SF OFFICE: 1/250 77,600 SF WAREHOUSE: 1/800	
TOTAL REQUIRED:	151 SPACES
TOTAL PROVIDED:	184 SPACES
STANDARD STALLS:	158 SPACES
CLEAN AIR VEHICLE STALLS: PER CAL GREEN TABLE 5.106.5.2	18 SPACES 10% REQUIRED
ACCESSIBLE STALLS:	8 SPACES
PARKING PROVIDED:	184 SPACES
PARKING RATIO:	2/1000
BICYCLE PARKING: PER CAL GREEN 5.106.4.1	9 SPACES 5% REQUIRED

SITE PLAN

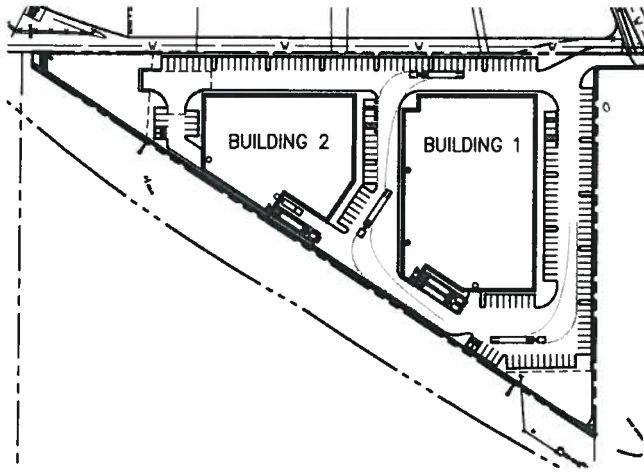


**PROPOSED PROJECT  
PHG 15-0042**

**S**

SITE PLAN

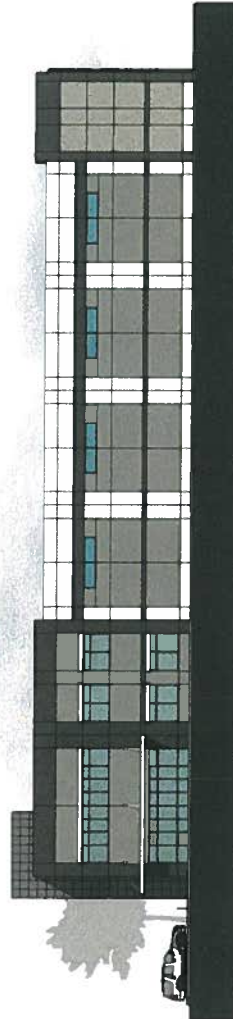
**BUILDING 1 - EXTERIOR  
ELEVATIONS A & B**



**KEY PLAN**

- TOP OF WALL 35'-0"
- TOP OF WALL 33'-0"
- MEZZANINE 15'-0"
- TOP OF GLAZING 9'-0"
- FINISHED FLOOR 0'-0"

WEST EXTERIOR ELEVATION - BUILDING 1 (A)



- TOP OF WALL 35'-0"
- TOP OF WALL 33'-0"
- MEZZANINE 15'-0"
- TOP OF GLAZING 9'-0"
- FINISHED FLOOR 0'-0"

NORTH EXTERIOR ELEVATION - BUILDING 1 (B)

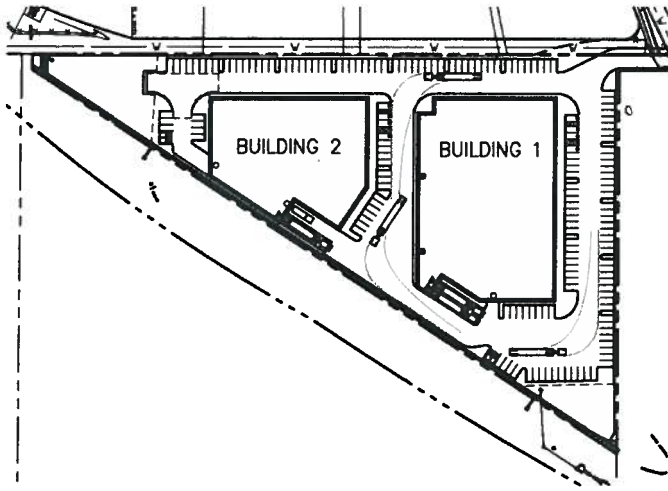


**PROPOSED PROJECT  
PHG 15-0042**

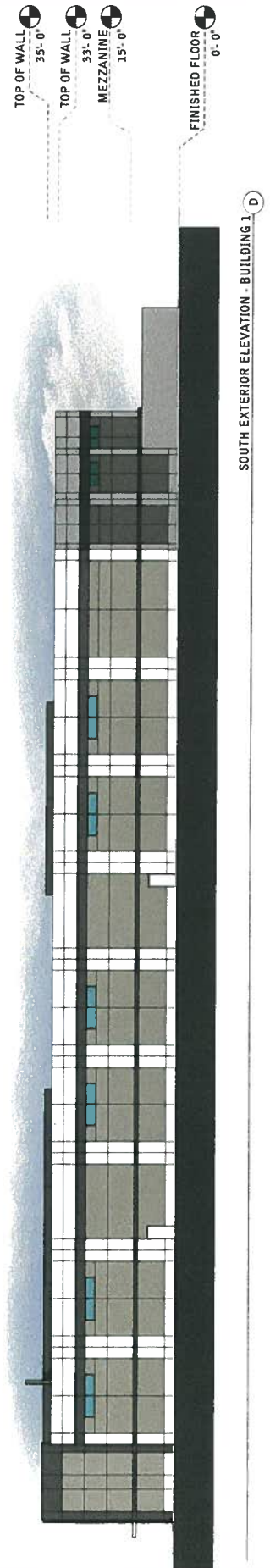
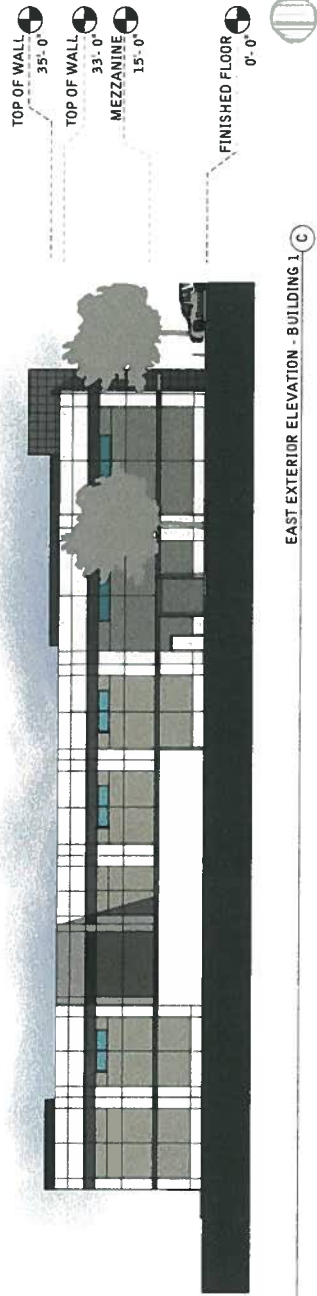
**E**

**ELEVATIONS**

**BUILDING 1 - EXTERIOR  
ELEVATIONS C & D**



**KEY PLAN**

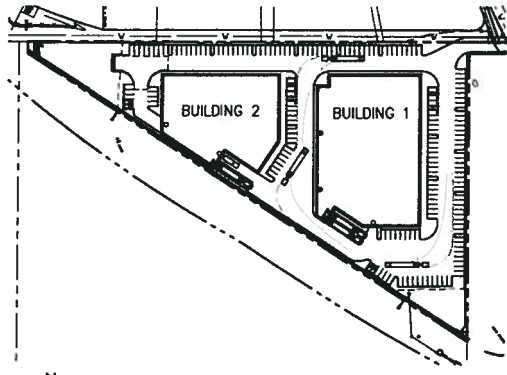


**PROPOSED PROJECT  
PHG 15-0042**

**E**

**ELEVATIONS**

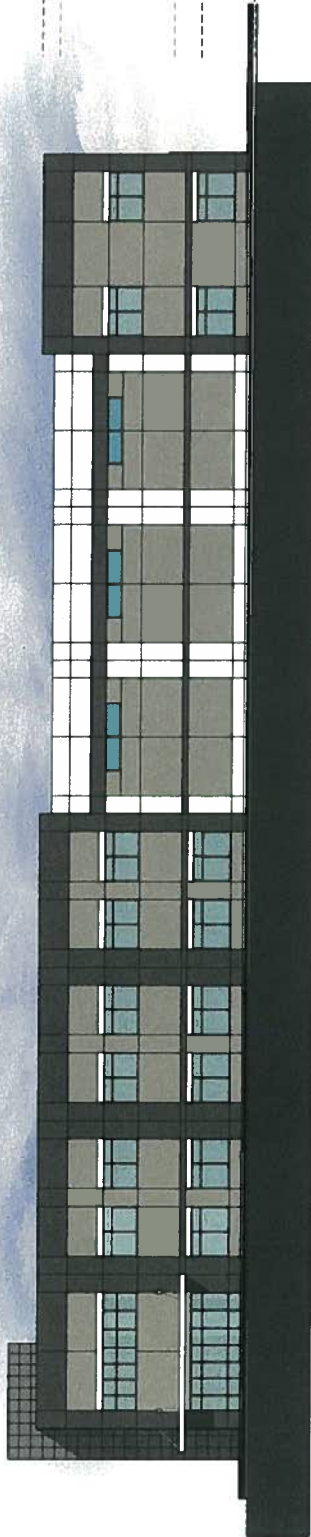
**BUILDING 2 - EXTERIOR ELEVATIONS A & B**



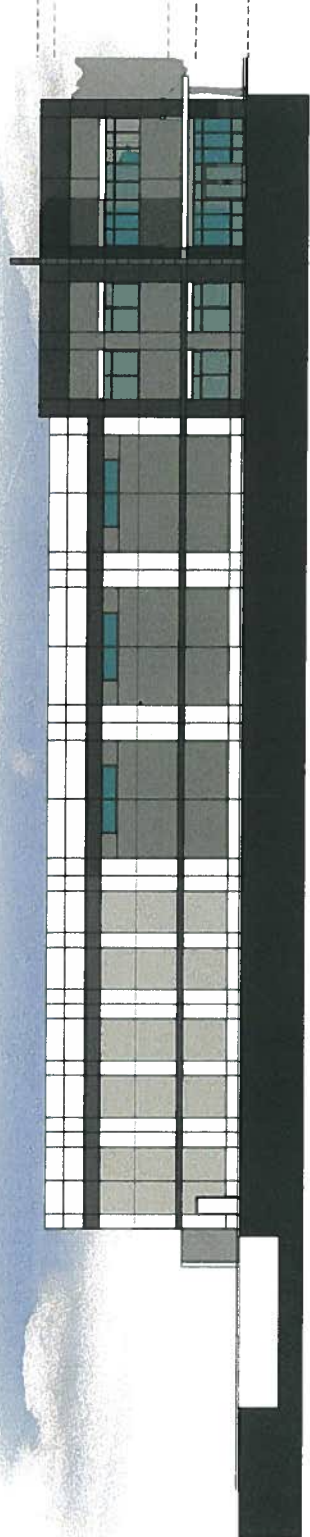
**KEY PLAN**

TOP OF WALL 35'-0"  
 TOP OF WALL 33'-0"  
 MEZZANINE 15'-0"  
 TOP OF GLAZING 9'-0"  
 FINISHED FLOOR 0'-0"

TOP OF WALL 35'-0"  
 TOP OF WALL 33'-0"  
 MEZZANINE 15'-0"  
 TOP OF GLAZING 9'-0"  
 FINISHED FLOOR 0'-0"



WEST EXTERIOR ELEVATION - BUILDING 2 (A)



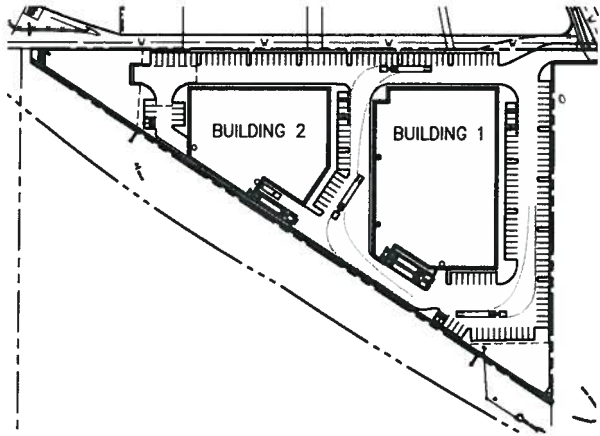
NORTH EXTERIOR ELEVATION - BUILDING 2 (B)

**PROPOSED PROJECT  
 PHG 15-0042**



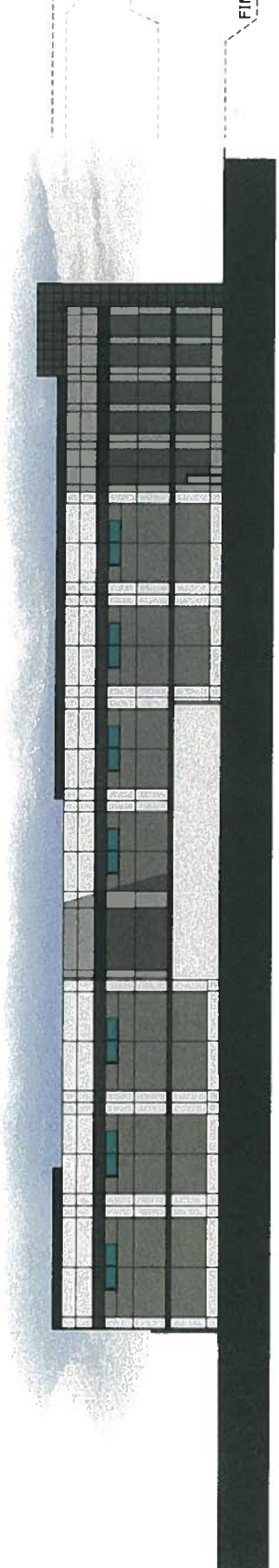
**ELEVATIONS**

**BUILDING 2 - EXTERIOR  
ELEVATIONS C & D**



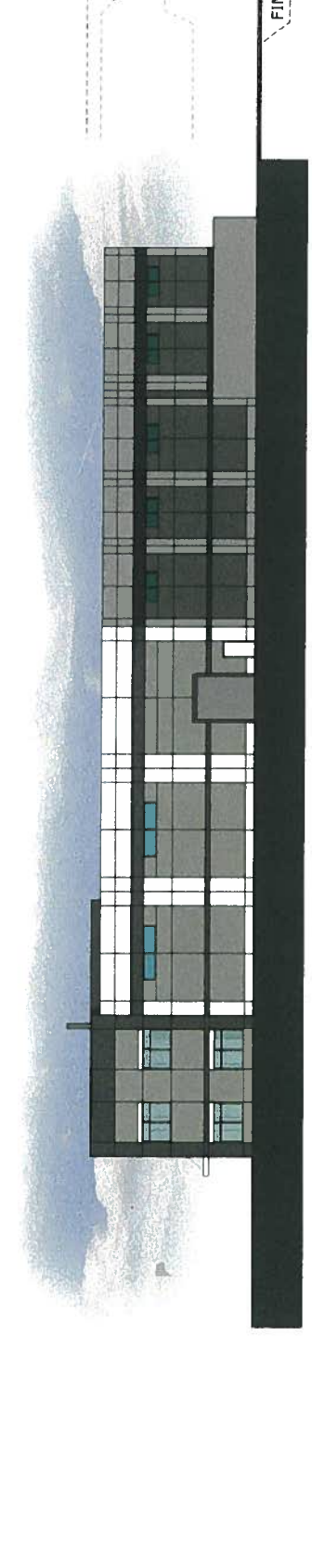
**KEY PLAN**

TOP OF WALL 35'-0"  
TOP OF WALL 33'-0"  
MEZZANINE 15'-0"  
FINISHED FLOOR 0'-0"



EAST EXTERIOR ELEVATION - BUILDING 2 C

TOP OF WALL 35'-0"  
TOP OF WALL 33'-0"  
MEZZANINE 15'-0"  
FINISHED FLOOR 0'-0"



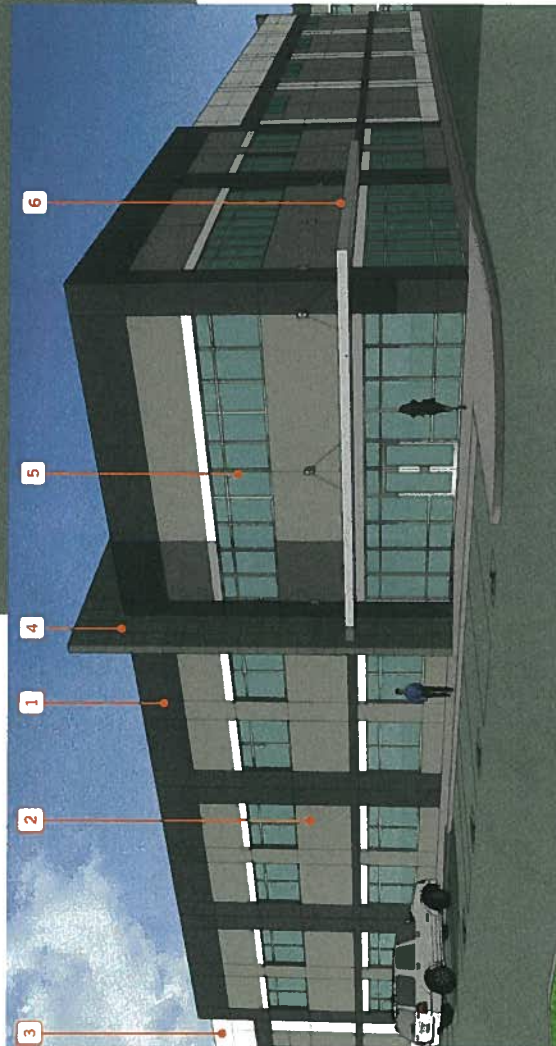
SOUTH EXTERIOR ELEVATION - BUILDING 2 D

**PROPOSED PROJECT  
PHG 15-0042**

**E**

**ELEVATIONS**

**BUILDING 1 - CONCEPTUAL  
PERSPECTIVES**



**KEY NOTES**

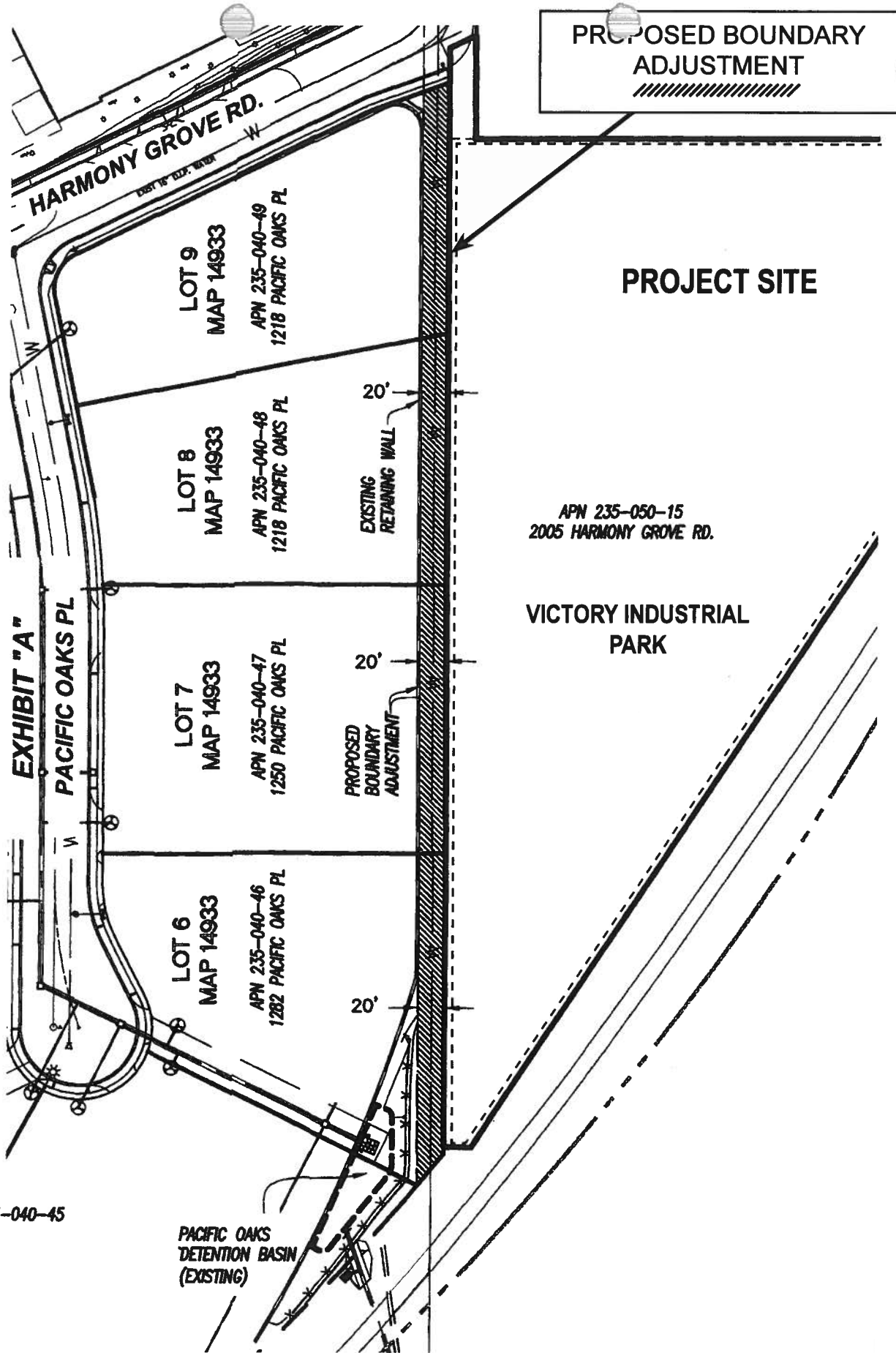
- 1 CONCRETE PANEL PAINTED DARK GRAY
- 2 CONCRETE PANEL PAINTED LIGHT GRAY
- 3 CONCRETE PANEL PAINTED WHITE
- 4 ACCENT FIN TO BE STEEL FRAME CONSTRUCTED WITH TILE CLADDING, BUENOS AIRES "PALERMO"
- 5 HIGH PERFORMANCE GLAZING WITH CLEAR ANODIZED ALUMINUM MULLIONS
- 6 STEEL TUBE CANOPY WRAPPED WITH ALUMINUM PANELS



**PROPOSED PROJECT  
PHG 15-0042**

**3D**

3D PERSPECTIVES



PROPOSED BOUNDARY ADJUSTMENT

PROJECT SITE

APN 235-050-15  
2005 HARMONY GROVE RD.

VICTORY INDUSTRIAL PARK

EXHIBIT "A"  
PACIFIC OAKS PL

LOT 9  
MAP 14933  
APN 235-040-49  
1218 PACIFIC OAKS PL

LOT 8  
MAP 14933  
APN 235-040-48  
1218 PACIFIC OAKS PL

LOT 7  
MAP 14933  
APN 235-040-47  
1250 PACIFIC OAKS PL

LOT 6  
MAP 14933  
APN 235-040-46  
1282 PACIFIC OAKS PL

20'  
EXISTING RETAINING WALL  
20'  
PROPOSED BOUNDARY ADJUSTMENT  
20'

APN 235-040-45

PACIFIC OAKS  
DETENTION BASIN  
(EXISTING)

PROPOSED PROJECT  
PHG 15-0042

BA

# ANALYSIS

## **A. LAND USE COMPATIBILITY/SURROUNDING ZONING**

**NORTH:** R-1-7 zoning (Single-Family Residential, 7,000 SF min. lot size). A vacant approximately 6.03-acre parcel is located immediately north of the project site with a City of Escondido General Plan land use designation of Light Industrial. Single-family residences are located further north along the southern side of Harmony Grove Road on lots generally ranging in size from 8,200 square feet to 9,600 square feet. The larger 6.03-acre parcel is situated at a similar or slightly higher elevation to the project site. A shallow drainage enters the project site from the northern property towards the northeastern corner of the project site. Vegetation to the north generally consists of grasses, weeds and a variety of mature trees, including stands of mature eucalyptus. The adjacent parcel generally is maintained by occasional mowing or clearing. Barbed-wire fencing is located along the shared northern/southern property boundary. Industrial development also is located northwest of the project site along the northern and western side of Harmony Grove Road.

**SOUTH:** The Escondido Creek flood control channel is located immediately south, southeast and southwest of the project site. A paved maintenance road (approximately 10 to 12 feet in width) is located off-site along the eastern and southern boundary of the project site. Vegetation to the south consists of non-native and native habitat located along the edges of the creek/maintenance road and within the creek. The HARRF on Hale Avenue is located southeast of the project site along the southern/eastern side of the creek. Rural-estate residential development on large lots are located further to the southwest of the site with the County of San Diego jurisdiction. The future extension of Citracado Parkway would be located to the south of the project site, generally on the southern side of Escondido Creek

**EAST:** The Escondido Creek flood-control channel is located immediately east and southeast of the site. A paved maintenance road (which varies from 10 feet to 12 feet in width) is located along both sides of the flood control channel. The paved maintenance road is located at a higher elevation than the project site (generally 5 to 8 feet higher). A mobile-home park is located further east across the flood-control channel (approximately 400+ feet to the east). A small church and single-family homes are located to the northeast across the Escondido Creek channel, and the City Hale Avenue Resource Recovery Facility (HARRF) is located to the southeast.

**WEST:** Specific Plan zoning (SP). An industrial development (Harmony Grove Industrial Park) is located immediately to the west of the project site. A 20-foot-wide Rincon Del Diablo Water District easement (which contains an 18-inch water line) separates the industrial development from the project site. The utility easement is paved with gravel. A split-face retaining wall is located along the western side of the water easement ranging from 6 feet in height towards the north and up to approximately 14 feet in height towards the south.

## **B. AVAILABILITY OF PUBLIC SERVICES**

1. **Effect on Police Service** -- The Police Department expressed no concern regarding the proposed development and their ability to serve the site.
3. **Effect on Fire Service** -- The Fire Department indicated that adequate services can be provided to the site and the proposed project would not impact levels of service. Appropriate on-site circulation and turnaround areas are provided. The nearest fire station to the site is Station No. 6 located at 1735 Del Dios Highway.
4. **Traffic** -- A Traffic Analysis was prepared for the project which was estimated to generate up to 728 average daily trips (ADT) with 80 AM peak hour trips and 87 PM peak hour trips. Access to the site would be provided by a single driveway from Harmony Grove Road. The traffic study indicated that all intersections in the study area are calculated to operate at LOS C or better with the exception of Harmony Grove Road/Hale Avenue, which currently operates at LOS D in the PM peak hour. Because the project would contribute to the delay at this intersection by more than 2.0 seconds and would result in a direct impact based on the City's significance criteria, mitigation is required to improve the circulation at this intersection with restriping to provide one dedicated right-turn lane and one through lane within the existing right-of-way. All roadway segments in the study area are calculated to operate at LOS C or better and would continue to operate at



LOS C or better with the project. However, due to project + cumulative impacts, the segment of Harmony Grove Road between the project access and Enterprise Street would operate at LOS F, and the segment of Harmony Grove Road between Enterprise Street and Hale Avenue would degrade to LOS F. Therefore, a significant cumulative impact would occur at both of these roadways segments because the project and cumulative projects would increase the volume to capacity ratio (V/C) by more than 0.02. Mitigation is required that would require the project to widen Harmony Grove Road within the existing right-of-way between the project entrance and Enterprise Street to include a two-way left-turn lane serving as a refuge for left-turn vehicles in and out of the project. The project also is required to pay a fair share towards the Citracado Parkway Extension Project to improve and redirect the flow of traffic along the section of Harmony Grove Road between Enterprise Street and Hale Avenue.

5. **Utilities** – Water and sewer is available from existing mains in the adjoining street or easements. The Engineering Department indicated the project would not result in a significant impact to public services or other utilities. The project would either connect to the City's utilities (water) or the Rincon Del Diablo Water District utilities (water service). Sewer service is provided by the City of Escondido within an existing main located north of the site within the access maintenance road along the Escondido Creek Channel. The sewer line would be extended to the project site along the channel maintenance roadway and appropriate access provided for City maintenance vehicles. The sewer system has adequate capacity to accommodate the project's needs.

The City's existing water infrastructure is located in Harmony Grove Road approximately 1,000 feet east of the project site. Existing Rincon Del Diablo Water District water infrastructure is located in Harmony Grove Road at the project site entrance (16" water line). The applicant proposes to connect to the Rincon Del Diablo Water District water line and a water service/meter exchange agreement would be required between the City and the Rincon Del Diablo Water District to allow Rincon to serve the site. The applicant has been working with the Rincon District and City regarding the exchange agreement.

**Solid Waste** – Trash service is provided by Escondido Disposal. The project is proposing trash enclosures to serve the each building.

**Drainage** – The proposed drainage system is designed to convey on-site flow volumes per the City of Escondido drainage design standards. The Engineering Department determined the project would not materially degrade the levels of service of the existing drainage facilities. A Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) and a Preliminary Drainage Study were prepared to address the design of drainage and water quality features in accordance with SUSMP requirements. On-site drainage would be directed to two drainage basins, and after treatment would drain into Escondido Creek via the proposed storm drain system. The off-site runoff from the north would bypass the site along the eastern portion of the project site from north to south via a proposed storm drain system that also would drain into the Escondido Creek.

### **C. ENVIRONMENTAL STATUS**

A Mitigated Negative Declaration (City File No. ENV15-0017) was issued for the project for a 30-day public review period in conformance with the California Environmental Quality Act (CEQA) and is attached to this report. The findings of environmental review identified effects related to biological resources, cultural and tribal cultural resources, and traffic that might be potentially significant. However, design and minimization measures, revisions in the project plans, and/or mitigation measures agreed to by the applicant would provide mitigation to a point where potential impacts are reduced to less than a significant level. The City has concluded necessary consultation with the Native American Tribes in accordance with Assembly Bill 52 with the incorporation of appropriate mitigation measures to address potential impacts to Tribal Cultural Resources, including Native American monitors during initial site grading. Traffic mitigation is necessary for off-site roadway improvements to improve traffic flow along Harmony Grove Road (project entrance north to Enterprise St.) and at the intersection of Harmony Grove Road/Hale Avenue. The project also is required to pay a fair-share contribution to the future extension of Citracado Parkway. Biological mitigation is required to off-set impacts to non-native grassland (2.57 acres at 0.5:1 ratio) and small amount disturbed wetland (0.002 acre at 3:1 ratio) through the purchase of equivalent habitat credits at an approved mitigation bank. The Final Mitigated Negative Declaration may be viewed on the City's web site at the following link listed below and the corresponding technical studies at <https://www.escondido.org/victory-industrial-park-project-.aspx>.

Staff did not receive any comments from surrounding property owners or the general public during the public review period. One letter was received from the County of San Diego (attached) regarding traffic impacts requesting the project provide a fair-share contribution to the future improvements to Kauana Loa Drive located west of the project site. The Engineering Division determined that although the project would direct a small amount of vehicle trips to Kauana Loa Drive in the short term, the number of trips would not warrant any traffic mitigation or trigger any necessary off-site improvements. When the Citracado Parkway extension is completed, direct access to Kauana Loa from Harmony Grove Road will be cut off. Harmony Grove Road traveling west would terminate with a cul-de-sac and would not connect to Citracado Parkway. Traffic Impact Fees paid by the developer would go towards the maintenance and improvements of streets throughout the City, and the project is required to pay a fair share towards the construction of Citracado Parkway.

#### **D. CONFORMANCE WITH CITY POLICY**

##### **General Plan**

The General Plan land-use designation for the project site is Light Industrial (LI), and the proposed industrial project and Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The project site currently is zoned as single-family residential (R-1-6) and a zone change to Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. The project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community."

#### **E. PROJECT ANALYSIS**

**Project Design and Conformance with Surrounding Development** – The project site is adjacent to similar industrial park type development on the west and to the northwest, and vacant industrial land on the north. The project site plan and building architecture, materials and colors has been designed to be compatible with the quality of the buildings throughout the Harmony Grove industrial area incorporating increased setbacks and landscape buffers as required by the Industrial Park (IP) zoning requirements. The two proposed buildings include a variety of exterior colors and window elements, vertical and horizontal score lines, and a varied roof line to help break up the mass and scale of the buildings. Metal canopy/eyebrows would be provided over the main entries to each building and a tile accent wall fin incorporated into the design at the main corner of each building. Landscape planters also would be provided along the more visible building elevations, as seen from the public way and adjacent industrial development to help soften the building massing. The Escondido Creek Flood Control Channel is located along the eastern and southern boundary of the site, and the architecture of the buildings along these elevations and loading docks have been designed/screened to avoid any adverse visual impacts from Creek views. Pedestrian access also would be provided to the existing maintenance access road that runs along the creek to accommodate any future plans to extend the Class I Escondido Creek pathway along the northern side of the Creek from Harmony Grove Road to the future Citracado Parkway extension. Off-site grading is proposed along the edge of the maintenance road and the project is required to landscape and maintain this area, which provides additional screening opportunities from Creek views. The project also includes a comprehensive sign program to ensure conformity and quality of the building signs throughout the project. The comprehensive sign program is based on the M-1 (Light Industrial) sign requirements with some modifications to control the overall size and placement of the signs on the buildings. The buildings have been designed to be used by single tenant within each building, but with provisions for the buildings to accommodate more than one tenant with multiple main entry areas and potential future loading doors if needed.

**Parking** – Parking for Industrial Park zoning is based on the type of use (i.e., office, manufacturing, warehouse/storage, etc.) and each use requires a different parking ratio (1:250, 1:500, 1:650, 1:800). The project would provide 184 on-site parking spaces at a ratio of 1 space for every 494 SF of building area. This ratio is in the middle of the range of parking ratios/uses required for the Industrial Park zone. Staff believes the amount of parking provided is more than sufficient for the site and the ratio provided would be able to accommodate a wide range of future uses in accordance with the Industrial Park zoning category. The Planned Development process allows for the project to establish an appropriate parking ratio for the project and

eliminates the need for City staff to evaluate future lease of the buildings spaces (during review of business license) based on the type of uses and individual parking requirements.

Acquisition of Off-Site Property – The project proposes to incorporate approximately 0.38-acres of land located along the western boundary of the site that is part of an adjacent industrial development (Harmony Grove Industrial Park). The 20-foot-wide strip of land contains an 18-inch Rincon Del Diablo Municipal Water District water line and utility easement. The existing adjacent Harmony Grove Industrial Development is located outside of this easement area. Acquisition of the property would allow the developer to maximize development of the site as well as avoid the need to install another retaining wall along the property boundary. This avoids creating a 20-foot-wide “no man’s land” between the two sites. This also helps to avoid future maintenance, graffiti and security issues. There currently is a retaining wall along the western side of the easement and the applicant proposes to fill the site to the existing wall and provide parking spaces with landscape planters over the subject area. The final grading design and improvements within the easement will need to be approved by the Rincon District in order to avoid any conflicts with the existing water 18” water line. The water line is proposed to be abandoned when the Citracado Parkway extension is completed. There is a separate 16-inch Rincon Water line in Harmony Grove Road that is proposed to accommodate the project site. An easement would be provided for the adjacent Harmony Grove Industrial Park to access and maintain their storm water basin located towards the southern end of the subject area.

Boundary Adjustments would need to be approved between the subject site and four affected industrial parcels in the adjacent industrial development, and the project has been conditioned accordingly. The applicant has obtained signed purchase agreements from all of the affected property owners. Although the subject property boundary would be adjusted and incorporated into the subject site, the underlying General Plan land-use designation of Specific Plan (Specific Plan Area 8) would remain on the 20-foot-wide strip of land and the project site would maintain a split zone and split General Plan land-use designation, because an amendment to the General Plan and Harmony Grove Specific Plan are not part of this request. This split land use and zoning designation would not affect use of the site because parking, access and landscape features are permitted within each designation, and the Master and Precise Development Plan provisions would cover all of the parcels involved.

## SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

### A. PHYSICAL CHARACTERISTICS

The triangular-shaped parcel is located on the eastern periphery of the Harmony Grove neighborhood which was formerly a rural area used for ranching and citrus production. The area has since been developed with single-family housing and light industrial uses. The property fronts onto and takes access from Harmony Grove Road on the north. The project site is basically flat, possibly having been graded to some degree in the past. The site slopes gently from the north to the south on an average of 2 percent. A small depression runs northeast to southwest inside the project boundary. A flood control berm/levee runs along the southern edge of the site. The project site contains the foundations for buildings that have since been demolished. The site contains no native habitats and very few native plants. The vegetation communities existing on-site include disturbed habitat, non-native grassland, and eucalyptus woodland.

### B. SUPPLEMENTAL DETAILS OF REQUEST

1. **Property Size:** 4.87 acre (on site) APN 235-050-15  
0.38 acres (off-site) Rincon Del Diablo water easement area  
 5.25 acres total project area
  
2. **Off-site Property Data:**

APN 235-040-46 (Lot 6)	4,824.51 SF (20-foot-wide strip)
Lots 6-9 of TR 828 APN 235-040-47 (Lot 7)	4,117.2 SF (20-foot-wide strip)
APN 235-040-48 & -49 (Lots 8 and 9)	<u>7,678 SF (20-foot-wide strip)</u>
	Total Area 16,619.71 SF (0.38 ac)

Note: Boundary Adjustments are proposed to incorporate this area into the project to accommodate on-parking and perimeter landscaping.

### 3. **Building Data:**

- No. of Bldgs.: 2
- Building Size: 91,000 SF total building floor area
- |          |  |
|----------|--|
| Bldg. 1: | 51,000 SF ground floor; 4,100 SF mezzanine level |
| Bldg. 2: | 32,900 SF ground floor; 3,600 SF mezzanine level |
- Height: 1 story with small mezzanine level up to 35 feet (top of parapet). Architectural wall panel feature on both buildings up to 40 feet.

### 4. **Material/Colors:**

Tilt-up concrete type walls with varied roof planes, horizontal and vertical score lines, lower story glass-front style glass windows and entry features, and mezzanine and upper story clearstory windows, steel tube canopies with aluminum panels above entries. Exterior concrete panel colors range from light to dark gray, white, with an accent wall fin for each building with dark gray tile cladding. Metal roll-up doors on certain elevations with options for additional roll-up door cut outs designated.

### 5. **Setbacks:**

Planned Development zoning establishes its own zoning standards, including setbacks and is not subject to the underlying zoning requirements. However, the project has been designed to be in substantial conformance with the Industrial Park (IP) zoning requirements. The IP zoning requirements have been provided for reference purposes.

	<u>Proposed</u>	<u>IP Requirement for Comparison</u>
Front:	130' corner Bldg. 1	20' min.
Rear:	225' to Bldg. 2	None
Side:		
North:	83' to Bldg. 1	None:
West	63' (to proposed new P/L)	None:
East:	Ranges 10' to 40'	None



<b>6. Lot Coverage</b>	40%	40%
<b>7. Parking:</b>	<u><b>Proposed</b></u> 184 on-site (1:494 ratio)	<u><b>IP Zone</b></u> Ratio of 1:650 Manufacturing Ratio of 1:800 Warehouse/Storage Ratio of 1:250 Office type uses

IP parking ratios are based on the suite/bldg. size and the number of required spaces goes down as the suite/bldg. size increases. By utilizing the Planned Development process the facility would provide parking at a ratio that would accommodate a mix of manufacturing, warehouse and office type uses that would eliminate the need for ongoing parking studies for the occupation of each building or suite. For comparison, the facility provides parking at a similar ratio to the standard manufacturing ratio of 1:500 for projects in the Light Industrial (M-1) or General Industrial (M-2) zones.

- 8. Loading Area:** Each building provides a screened loading dock to accommodate a variety of trucks. Loading also can take place at various roll-up doors around the buildings.
- 9. Landscaping:** New ornamental landscaping to be provided around the project perimeter and throughout the project. The off-site encroachment area (grading) along the eastern side of the project (adjacent to the creek) would be landscaped and maintained by the development.
- 10. Walls/Fencing:** Six-foot-high black vinyl coated chain link fencing along the northern, southern and eastern perimeter, with gates to allow for any maintenance and pedestrian access along the Escondido Creek maintenance road.
- 11. Signage:** A Draft Comprehensive Sign Program has been developed for the site which would be similar conformance with the Light Industrial (M1) sign standards. Limited wall signage for each building would be allowed along with a six-foot-high entry monument sign along Harmony Grove Road.
- 12. Trash:** A dedicate trash enclosure area would be provided to accommodate each building.
- 13. Grading:** Grading of the project site would include approximately 67,000 cubic yards of import to raise the elevation of the site to provide level building pad and parking areas, and to facilitate sewer service. Off-site grading also is proposed on the adjacent parcel on the north and within the City's proposed along the Escondido Creek Flood Control Channel access/maintenance roadway.
- 14. Allowable Uses:** The list of allowable uses in the buildings and on-site activities would be subject to those uses allowed in the Industrial Park (IP) zone.

## EXHIBIT "A"

### FINDINGS OF FACT/FACTORS TO BE CONSIDERED PHG15-0042, ENV15-0017

#### Master and Precise Development Plan and Zone Change

1. The General Plan land-use designation for the project site is Light Industrial (LI), and the proposed industrial project and Planned Development Industrial zoning (PD-I) would be consistent with this land-use designation. The project site currently is zoned single-family residential (R-1-6) and a zone change to Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. The project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community." The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets and intersections (as mitigated) or public facilities, create excessive noise or compatibility impacts, and adequate on-site parking, circulation and public services could be provided to the site.
2. The approval of the proposed Master and Precise Development Plan would be based on sound principles of land use and is well-integrated with the surrounding properties because adequate parking, access, on-site circulation, utilities, as well as appropriate setbacks from adjacent industrial uses and the Escondido Creek Flood Control Channel would be provided (as detailed in the staff report and Final Mitigated Negative Declaration). The design of the buildings and quality of the architecture and landscaping would be compatible with the pattern of industrial development throughout the Harmony Grove industrial area. All vehicular traffic generated by the project will be accommodated safely and without degrading the level of service on the adjoining streets or intersection with the implementation of the conditions of approval and as mitigated.
3. The proposed Master and Precise Development Plan would not cause deterioration of bordering land uses and the site is physically suitable for the proposed development because the industrial park type development is proposed and would be located adjacent to similar industrial park type development. The proposed grading design would not result in any manufactured slopes or pads that would create any significant adverse visual or compatibility impacts with adjacent lots, nor block any significant views. The Engineering Department indicated the project is not anticipated to have any significant individual or cumulative impacts to the circulation system or degrade the levels of service on any of the adjacent roadways or intersections because identified impacts have been mitigated to less than a significant level. The project would not result in the destruction of desirable natural features, nor be visually obstructive or disharmonious with surrounding areas because the site is located within a developed area characterized by a mix of industrial, single- and multi-family residential uses. Appropriate setbacks and buffer areas would be provided from adjacent industrial uses, the Escondido Creek and nearby residential development. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets and intersection or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided.
4. The overall design of the project would produce an attractive planned industrial development that would be similar in design and architectural quality to exiting industrial development located throughout the Harmony Grove industrial area. The project would be subject to the Industrial Park (IP) list of permitted uses in order that allow lower intensity industrial park and office type uses (including restricting outdoor storage) in order to be more compatible with adjacent Specific Plan industrial development and land-use goals for the area (SPA 8 - ERTC) and to reduce the potential any impacts to nearby residential development.
5. The uses proposed have a beneficial effect not obtainable under existing zoning regulations because the project proposes a comprehensively designed industrial development that would be compatible with the surrounding neighborhood. The Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. Planned developments may set their own development standards to encourage creative approaches to the use of land through variation in

the siting of buildings and design that enhances the appearance and livability of the community. The proposed development proposes a variety of setbacks and appropriate orientation of the buildings (including major entries, loading docks, building access areas, and storm water features) to correspond to and reduce potential impacts to the variety of adjacent land uses and the built environment. The project provides comprehensive and self-contained development, which creates an environment of sustained desirability and stability through the controls offered and regulated through the Planned Development process.

6. All of the requirements of the California Environmental Quality Act (CEQA) have been met because the findings of the environmental analysis (as demonstrated in ENV15-0017) are that the Initial Study identified effects related to biological resources, cultural and tribal cultural resources, and transportation/traffic that might be potentially significant. However, design and minimization measures, revisions in the project plans and/or mitigation measures provide mitigation to a point where potential impacts are reduced to less than a significant level. The City also has complied with the provisions of Assembly Bill 52 regarding consultation with the Native American Tribes and appropriate mitigation measures have been included to address potential impacts to tribal cultural resources.

### Zone Change

1. The public health, safety and welfare will not be adversely affected by the proposed Zone Change from R-1-6 (Single-Family Residential, 6,000 SF min. lot size) to PD-I (Planned Development-Industrial) because the General Plan land-use designation for the subject site is LI (Light Industrial). The project site currently is zoned as single-family residential (R-1-6) and a zone change to Planned Development-Industrial (PD-I) is proposed to facilitate development of the project in accordance with Chapter 33, Article 26 of the Zoning Code that encourages the planned development process for industrial park type development. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets and intersection or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided to the site. The Initial Study/Mitigated Negative Declaration prepared for the project identified effects related to biological resources, cultural and tribal cultural resources, and traffic that might be potentially significant. However, design and minimization measures, revisions in the project plans and/or mitigation measures provide mitigation to a point where potential impacts are reduced to less than a significant level.
2. The property involved is suitable for the uses permitted by the proposed PD-I zone because the General Plan for the subject site is Light Industrial and the range of uses proposed would be consistent with the City's Industrial Park zoning requirements. The project has been designed to be compatible with the adjacent industrial development and Escondido Creek with appropriate grading, building design and orientation, setbacks, walls/fencing and perimeter landscaping. The project would be consistent with the General Plan industrial land use goal of providing "a variety of industrial uses located and designed to assure compatibility with adjoining land uses offering diverse jobs for the community."
3. The uses permitted by the proposed Planned Development-Industrial zone would not be detrimental to surrounding properties because the project site is adjacent to similar industrial development on the west and northwest, and is separated and adequately buffered from residential uses to the east, northeast and south by the Escondido Creek Flood Control Channel. The adjacent property immediately on the north is designed for future industrial development with a Light Industrial General Plan land-use designation. The scale of the project would be in conformance with the general pattern of industrial development within the area. The proposed change of zone would not result in a significant impact to the environment (as mitigated), nor impact existing services or degrade levels of-service to adjacent streets, as detailed in the staff report and environmental analysis.
4. The portion of the project site that is proposed for the change of zone to Planned Development-Industrial would not conflict with any specific plans for the area because the site is not subject to any adopted specific plans for the property or within a designated General Plan Specific Planning Area. The project would be in conformance with and Escondido General Plan which allows for light industrial development. The adjacent industrial development on the west is located within Specific Planning Area 8 (ERTC) and the range of industrial uses proposed for the project site and the design of the project would be compatible with the adjacent industrial specific plan and other industrial development throughout the surrounding area.

## **EXHIBIT "B"**

### **CONDITIONS OF APPROVAL**

PHG15-0042

#### **General**

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Director of Building, and the Fire Chief.
2. If blasting occurs, verification of a San Diego County Explosive Permit and a policy or certificate of public liability insurance shall be filed with the Fire Chief and City Engineer prior to any blasting within the City of Escondido.
3. Access for use of heavy fire fighting equipment as required by the Fire Chief shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshal.
4. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
5. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Community Development. All requirements of the Public Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program
6. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75) and be consistent with the lighting design for the shopping center. A copy of the lighting plan shall be included as part of the building plans, to the satisfaction of the Planning Division.
7. All project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
8. As proposed, the buildings, architecture, color and materials, and the conceptual landscaping of the proposed development shall be in accordance with the staff report, exhibits and the project's Details of Request, to the satisfaction of the Planning Division.
9. The proposed uses of the buildings/site shall be in accordance with the Permitted and Conditionally Permitted Principal Uses for the Industrial Park (IP) zone, along with Permitted Accessory Uses and Structures.
10. Signage for the proposed buildings shall be in conformance with the Comprehensive Sign Program prepared for the project. The sign program shall be based on the general signage requirements for the M1 zone, unless specifically modified by the Final Sign Program. A final Sign Program shall be submitted to the City for approval as part of the final building plans. A separate sign permit would be required for any building signage in conformance with the City's Sign Ordinance.



11. Any rooftop equipment must be fully screened from all public view utilizing materials and colors which match the building, to the satisfaction of the Director of Planning and Building. The final building plans shall clearly indicate that any proposed rooftop equipment is properly screened. A cross section and roof plan shall be included (which details the location and height of all rooftop equipment) to demonstrate that the height of the parapet is sufficient to screen the mechanical equipment. Ground mounted equipment should be located to avoid conflict with pedestrian circulation and access, as well as to screen the equipment from view as much as possible. Appropriate decorative screening shall be placed around the ground-mounted units where visible from the exterior of the project.
12. As indicated on the plans, 184 on-site spaces shall be provided and maintained in conjunction with this development, as indicated in the Details of Request and site plan. The spaces shall be striped in accordance with the Zoning Code. The parking provided (ratio of 1:494) will allow for all the range of permitted uses within the IP zone. Minor modifications to the number of parking spaces required may be approved by the Director of Community Development to address any necessary future site plan issues such as, but not limited to address ADA parking, path of travel, health and safety, maintenance or code related issues. Driveways and fire lanes do not allow for parking, and curb markings and fire lane signs are required, to the satisfaction of the Fire Marshall. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with Chapter 2-71, Part 2 of Title 24 of the State Building Code, including signage.
13. All new utilities shall be underground.
14. A Boundary Adjustment(s) must be submitted and approved (along with the appropriate processing fees) by the City of Escondido to incorporate the approximately 0.38-acres of land along the western boundary of the project site prior to issuance of development permits for the project. The adjustment affects the subject site (APN 235-050-15) and APNs 235-040-46, -47, -48 and -49). The adjusted parcels will need to conform to the minimum lot size for the underlying zone or Specific Plan. Should the Boundary Adjustment not be completed and/or become feasible, then the project site plan and buildings will need to be modified to adjust for the reduction in lot area. Certifications of Compliance will be prepared with the Boundary Adjustments. The project applicant/owner shall create an easement over the project site to provide appropriate maintenance access to the existing storm water basin/features and retaining wall for the Harmony Grove Industrial Park parcels/development.
15. Any proposed retaining walls and perimeter or screen walls shall incorporate decorative block materials. This shall be noted on the project improvement plan (i.e., type of block, color, decorative cap, etc.). The trash enclosures also shall utilize a decorative masonry block material. The sides of the enclosures that face the Escondido Creek Channel shall incorporate appropriate landscaping to screen the enclosures.
16. The project shall provide for appropriate pedestrian and bicycle access to the Escondido Creek Channel to accommodate for the future extension of the Escondido Creek bicycle and pedestrian path.
17. The City of Escondido hereby notifies the applicant that State Law (AB 3158) effective January 1, 1991, requires certain projects to pay fees for purposes of funding the California Department of Fish and Game. If the project is found to have a significant impact to wildlife resources and/or sensitive habitat, in accordance with State law, the applicant should remit to the City of Escondido Planning Division, within two (2) working days of the effective date of this approval ("the effective date" being the end of the appeal period, if applicable) a certified check payable to the "County Clerk," in the amount of \$2,260.25 for a project with a Negative Declaration. In addition, these fees include an additional authorized County administrative handling fee of \$50.00. Failure to

remit the required fees in full within the specified time noted above will result in County notification to the State that a fee was required but not paid, and could result in State imposed penalties and recovery under the provisions of the Revenue and Taxation code. In addition, Section 21089(b) of the Public Resources Code, and Section 711.4(c) of the Fish and Game Code provide that no project shall be operative, vested, or final until all the required filing fees are paid.

18. The project shall be in compliance with all of the following mitigation measures:

### **Biological Resources Mitigation**

**BIO-1:** Prior to issuance of grading permits, the following shall be identified on the grading plan:

A qualified biologist shall determine if any active raptor nests occur on or in the immediate vicinity of the project site if construction is set to commence or continue into the breeding season of raptors (January 1 to September 1). If active nests are found, their situation shall be assessed based on topography, line of sight, existing disturbances, and proposed disturbance activities to determine an appropriate distance of a temporal buffer.

**BIO-2:** Prior to issuance of grading permits, the following shall be identified on the grading plan:

If project construction cannot avoid the period of January 1 through September 1, a qualified biologist shall survey potential nesting vegetation within the project site for nesting birds prior to commencing any project activity. Surveys shall be conducted at the appropriate time of day, no more than three days prior to vegetation removal or disturbance. Documentation of surveys and findings shall be submitted to the City for review and concurrence prior to conducting project activities. If no nesting birds were observed and concurrence was received, project activities may begin. If an active bird nest is located, the nest site shall be fenced a minimum of 200 feet (500 feet for special status species and raptors) in all directions on-site, and this area shall not be disturbed until after September 1 or until the nest becomes inactive. If threatened or endangered species are observed within 500 feet of the work area, no work shall occur during the breeding season (January 1 through September 1) to avoid direct or indirect (noise) take of listed species.

**BIO-3:** Prior to the issuance of grading permits, impacts to non-native grassland shall be mitigated at a ratio of 0.5:1 and shall consist of 1.28 acres. Mitigation shall be provided by either 1) preservation of equivalent or better habitat at an off-site location via a covenant of easement or other method approved by the City to preserve the habitat in perpetuity, or 2) purchase of non-native grassland or equivalent habitat credits at an approved mitigation bank, to the satisfaction of the City.

**BIO-4:** Prior to the issuance of grading permits, impacts to disturbed wetland shall be mitigated at a ratio of 3:1 and shall consist of 0.002 acre of wetland creation and 0.004 acre of wetland restoration or enhancement. Mitigation shall be provided by either 1) preservation of equivalent or better habitat at an off-site location via a covenant of easement or other method approved by the City to preserve the habitat in perpetuity, or 2) purchase of wetland or equivalent habitat credits at an approved mitigation bank, to the satisfaction of the City. Additionally, prior to the issuance of grading permits, the project shall obtain a California Department of Fish and Wildlife 1600 Streambed Alteration Agreement, a San Diego Regional Water Quality Control Board Construction General Permit (401), and a U.S. Army Corps of Engineers Section 404 permit.

### **Cultural Resources Mitigation:**

**CUL-1:** An archaeological resources monitoring program shall be implemented, which shall include the following:

1. Prior to issuance of a grading permit, the applicant shall provide written verification to the City of Escondido that a qualified archaeologist has been retained to implement the monitoring program. This verification shall be presented in a letter from the project archaeologist to the City. The City, prior to any preconstruction meeting, shall approve all persons involved in the monitoring program.
2. The qualified archaeologist and a Native American representative shall attend the pre-grading meeting with the grading contractors to explain and coordinate the requirements of the monitoring program.
3. During the original cutting of previously undisturbed deposits, the archaeological monitor(s) shall be on-site full-time to perform inspections of the excavations. The frequency of inspections will depend upon the rate of excavation, the materials excavated, and any discoveries of prehistoric artifacts and features.
4. Isolates and clearly non-significant deposits will be minimally documented in the field so the monitored grading can proceed.
5. In the event that previously unidentified cultural resources are discovered, the archaeologist shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. The archaeologist shall contact the project manager at the time of discovery. The archaeologist, in consultation with the project manager for the lead agency, shall determine the significance of the discovered resources. The lead agency must concur with the evaluation before construction activities will be allowed to resume in the affected area. For significant cultural resources, a Research Design and Data Recovery Program to mitigate impacts shall be prepared by the consulting archaeologist and approved by the lead agency, then carried out using professional archaeological methods. If any human bones are discovered, the county coroner and lead agency shall be contacted. In the event that the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the NAHC, shall be contacted in order to determine proper treatment and disposition of the remains.
6. Before construction activities are allowed to resume in the affected area, the artifacts shall be recovered and features recorded using professional archaeological methods. The archaeological monitor(s) shall determine the amount of material to be recovered for an adequate artifact sample for analysis.
7. All cultural material collected during the grading monitoring program shall be processed and curated according to the current professional repository standards. The collections and associated records shall be transferred, including title, to an appropriate curation facility within San Diego County, to be accompanied by payment of the fees necessary for permanent curation.
8. A report documenting the field and analysis results and interpreting the artifact and research data within the research context shall be completed and submitted to the satisfaction of the lead agency prior to the issuance of any building permits. The report will include Department of Parks and Recreation (DPR) Primary and Archaeological Site Forms.

**CUL-2:** Prior to commencement of project construction, a qualified paleontologist shall be retained to attend the project pre-construction meeting and discuss proposed grading plans with the project contractor(s). If the qualified paleontologist determines that proposed grading/excavation activities would likely affect previously undisturbed areas of Pleistocene-age alluvial deposits, then monitoring shall be conducted as outlined below.

1. A qualified paleontologist or a paleontological monitor shall be on site during original cutting of Pleistocene-age alluvial deposits. A paleontological monitor is defined as an individual who has at least one year of experience in the field identification and collection of fossil materials, and who is working under the direction of a qualified paleontologist. Monitoring of the noted geologic unit shall be conducted at least half-time at the beginning of excavation, and may be either increased or decreased thereafter depending on initial results (per direction of a qualified paleontologist).
2. In the event that well-preserved fossils are discovered, a qualified paleontologist shall have the authority to temporarily halt or redirect construction activities in the discovery area to allow recovery in a timely manner (typically on the order of 1 hour to 2 days). All collected fossil remains shall be cleaned, sorted, catalogued and deposited in an appropriate scientific institution (such as the San Diego Museum of Natural History) at the applicant's expense.
3. A report (with a map showing fossil site locations) summarizing the results, analyses and conclusions of the above described monitoring/recovery program shall be submitted to the City within three months of terminating monitoring activities.

**CUL-3:** The City of Escondido Planning Division ("City") recommends the applicant enter into a Tribal Cultural Resource Treatment and Monitoring Agreement (also known as a pre-excavation agreement) with a tribe that is traditionally and culturally affiliated with the Project Location ("TCA Tribe") prior to issuance of a grading permit. The purposes of the agreement are (1) to provide the applicant with clear expectations regarding tribal cultural resources, and (2) to formalize protocols and procedures between the Applicant/Owner and the TCA Tribe for the protection and treatment of, including but not limited to, Native American human remains, funerary objects, cultural and religious landscapes, ceremonial items, traditional gathering areas and cultural items, located and/or discovered through a monitoring program in conjunction with the construction of the proposed project, including additional archaeological surveys and/or studies, excavations, geotechnical investigations, grading, and all other ground disturbing activities.

**CUL-4:** Prior to issuance of a grading permit, the applicant shall provide written verification to the City that a qualified archaeologist and a Native American monitor associated with a TCA Tribe have been retained to implement the monitoring program. The archaeologist shall be responsible for coordinating with the Native American monitor. This verification shall be presented to the City in a letter from the project archaeologist that confirms the selected Native American monitor is associated with a TCA Tribe. The City, prior to any pre-construction meeting, shall approve all persons involved in the monitoring program.

**CUL-5:** The qualified archaeologist and a Native American monitor shall attend the pre-grading meeting with the grading contractors to explain and coordinate the requirements of the monitoring program.

**CUL-6:** During the initial grubbing, site grading, excavation or disturbance of the ground surface, the qualified archaeologist and the Native American monitor shall be on site full-time. The frequency of inspections shall depend on the rate of excavation, the materials excavated,

and any discoveries of Tribal Cultural Resources as defined in California Public Resources Code Section 21074. Archaeological and Native American monitoring will be discontinued when the depth of grading and soil conditions no longer retain the potential to contain cultural deposits. The qualified archaeologist, in consultation with the Native American monitor, shall be responsible for determining the duration and frequency of monitoring.

**CUL-7:** In the event that previously unidentified Tribal Cultural Resources are discovered, the qualified archaeologist and the Native American monitor shall have the authority to temporarily divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. Isolates and clearly non-significant deposits shall be minimally documented in the field and collected so the monitored grading can proceed.

**CUL- 8:** If a potentially significant tribal cultural resource is discovered, the archaeologist shall notify the City of said discovery. The qualified archaeologist, in consultation with the City, the TCA Tribe and the Native American monitor, shall determine the significance of the discovered resource. A recommendation for the tribal cultural resource's treatment and disposition shall be made by the qualified archaeologist in consultation with the TCA Tribe and the Native American monitor and be submitted to the City for review and approval.

**CUL-9:** The avoidance and/or preservation of the significant tribal cultural resource and/or unique archaeological resource must first be considered and evaluated as required by CEQA. Where any significant Tribal Cultural Resources and/or unique archaeological resources have been discovered and avoidance and/or preservation measures are deemed to be infeasible by the City, then a research design and data recovery program to mitigate impacts shall be prepared by the qualified archaeologist (using professional archaeological methods), in consultation with the TCA Tribe and the Native American monitor, and shall be subject to approval by the City. The archaeological monitor, in consultation with the Native American monitor, shall determine the amount of material to be recovered for an adequate artifact sample for analysis. Before construction activities are allowed to resume in the affected area, the research design and data recovery program activities must be concluded to the satisfaction of the City.

**CUL-10:** As specified by California Health and Safety Code Section 7050.5, if human remains are found on the project site during construction or during archaeological work, the person responsible for the excavation, or his or her authorized representative, shall immediately notify the San Diego County Coroner's office. Determination of whether the remains are human shall be conducted on-site and in situ where they were discovered by a forensic anthropologist, unless the forensic anthropologist and the Native American monitor agree to remove the remains to an off-site location for examination. No further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the Coroner has made the necessary findings as to origin and disposition. A temporary construction exclusion zone shall be established surrounding the area of the discovery so that the area would be protected, and consultation and treatment could occur as prescribed by law. In the event that the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the Native American Heritage Commission, shall be contacted in order to determine proper treatment and disposition of the remains in accordance with California Public Resources Code section 5097.98. The Native American remains shall be kept in-situ, or in a secure location in close proximity to where they were found, and the analysis of the remains shall only occur on-site in the presence of a Native American monitor.

- CUL-11:** If the qualified archaeologist elects to collect any tribal cultural resources, the Native American monitor must be present during any testing or cataloging of those resources. Moreover, if the qualified Archaeologist does not collect the cultural resources that are unearthed during the ground disturbing activities, the Native American monitor, may at their discretion, collect said resources and provide them to the TCA Tribe for respectful and dignified treatment in accordance with the Tribe's cultural and spiritual traditions. Any Tribal Cultural Resources collected by the qualified archaeologist shall be repatriated to the TCA Tribe. Should the TCA Tribe or other traditionally and culturally affiliated tribe decline the collection, the collection shall be curated at the San Diego Archaeological Center. All other resources determined by the qualified archaeologist, in consultation with the Native American monitor, to not be tribal cultural resources, shall be curated at the San Diego Archaeological Center.
- CUL-12:** Prior to the release of the grading bond, a monitoring report and/or evaluation report, if appropriate, which describes the results, analysis and conclusion of the archaeological monitoring program and any data recovery program on the project site shall be submitted by the qualified archaeologist to the City. The Native American monitor shall be responsible for providing any notes or comments to the qualified archaeologist in a timely manner to be submitted with the report. The report will include California Department of Parks and Recreation Primary and Archaeological Site Forms for any newly discovered resources.

#### **Transportation/Traffic Mitigation:**

- TRA-1:** Intersection #4. Harmony Grove Road at Hale Avenue – Prior to the issuance of occupancy permits, restripe the approach on Hale Avenue within the existing 21-foot southbound lane to provide one dedicated right-turn lane (11-feet wide) and one through lane (10-feet wide) extending 120 feet from the stop bar. Figure 11-1 of the TIA shows the conceptual striping plan for these improvements.
- TRA-2:** Street Segment #2. Harmony Grove Road between the Project Driveway and Enterprise Street – Prior to the issuance of occupancy permits, widen Harmony Grove Road within the existing right-of-way between the project driveway to Enterprise Street to provide a two-way left-turn lane serving as a refuge for left-turning vehicles in and out of the project site and nearby industrial driveways, thus allowing for improved flow for thru traffic along Harmony Grove Road. From the project driveway to Enterprise Street (a length of approximately 415 feet), widen Harmony Grove Road extending north along the project frontage to provide a 13 to 18-foot northbound lane and an 11-foot two-way left-turn lane for a total paved width varying between 38 and 54 feet. Appendix H of the TIA contains the City of Escondido preferred concept drawing with truck turning analysis along this segment.
- TRA-3:** Street Segment #2. Harmony Grove Road between Enterprise Street and Hale Avenue – Prior to the issuance of occupancy permits, the applicant shall pay a fair share (0.4 percent) toward the Citracado Parkway Extension Project to improve and redirect the flow of traffic along this roadway.

## Landscaping

1. Five copies of a detailed landscape and irrigation plan(s) shall be submitted to the Engineering Division in conjunction with the submittal of the Final Map and Grading Plans, and shall be equivalent or superior to the concept plan attached as exhibit(s) in the staff report(s). A plan check fee of will be collected at the time of submittal. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards in the City's Landscape Standards as well as the State Model Water Efficient Landscape Ordinance. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
2. The landscaping plan shall include specimen sized evergreen trees, to the satisfaction of the Planning Division. Root barriers shall be provided in accordance with the Landscape Ordinance. The applicant and future owners shall be responsible for landscaping and ongoing maintenance (landscape and irrigation) the off-site slopes (within the City property) along the Escondido Creek Channel. Because the planting of trees may be limited on site along the eastern property boundary due to proposed storm drain infrastructure, the off-site slope along the creek shall include appropriate trees to be included in the design.
3. Appropriate landscape planters shall be incorporated around certain perimeters of the buildings, as indicated on the concept landscape plan.
4. The off-site slopes on the northern parcel shall include appropriate erosion control (temporary landscaping and irrigation) to the satisfaction of the Engineering Division.
5. The final fencing design shall be included with the landscape plans. Standard chain-link fencing is not allowed. Black or green vinyl-clad fencing is acceptable. Screening shrubs and vines shall be incorporated into the landscape design along eastern side of the perimeter fence to provide additional visual screening into the site.
6. The landscape design for the storm water basins shall be a visual amenity for the project to include an appropriate variety of plants and features (trees, shrubs and groundcover). The landscape should include appropriate outdoor amenities for the employees (i.e., outdoor seating and shade areas). The landscape plan also shall include appropriate access for future pedestrian and bicycle access to the adjacent Escondido Creek.
7. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.
8. All manufactured slopes, or slopes cleared of vegetation shall be landscaped within thirty (30) days of completion of rough grading. If, for whatever reason, it is not practical to install the permanent landscaping, then an interim landscaping solution may be acceptable. The type of plant material, irrigation and the method of application shall be to the satisfaction of the Planning Division and City Engineer.
9. Prior to occupancy of the buildings, all required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
10. The installation of the landscaping and irrigation shall be inspected by the project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

## **ENGINEERING CONDITIONS OF APPROVAL**

### **Victory Industrial Park**

#### **GENERAL.**

1. Improvement plans prepared by a Civil Engineer are required for all public street and sewer improvements and a Grading/Private Improvement plan prepared by Civil Engineer is required for all grading, drainage and private onsite improvement design. Landscaping Plans shall be prepared by a Landscape Architect.
2. The developer shall post securities in accordance with the City prepared bond and fee letter based on a final estimate of grading and improvements cost prepared by the project engineer. The project owner is required to provide Grading Bond and Cash Clean Up deposit for all grading, private Improvements and onsite drainage improvements prior to approval of Grading Plans and issuance of Grading Permit. Grading bond amount shall be 10% the total cost of the project private improvements, drainage and landscaping minus the cash clean up deposit. The project owner is required to provide Performance (100% of total public improvement cost estimate), Labor and Material (50% of total public improvement cost estimate) and Guarantee and Warrantee (10% of total public improvement cost estimate) bonds for all public improvements prior to approval Improvement Plans and issuance of Building Permit. All improvements shall be completed prior to issuance of Occupancy Permit.
3. As surety for the construction of required off-site and on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of Grading Permit and/or Final Subdivision Map.
4. No construction permits will be issued until Final Plans and Storm Water Quality Management Plan (SWQMP) have been approved and appropriate securities are deposited and agreements executed to the requirements of the City Engineer and City Attorney.
5. If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
6. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
7. The project owner shall submit to the Planning Division 3 copies of the approved Planned Development certified by the Planning Division and must be included in the first submittal for final plans plan check, together with a final Storm Water Quality Management Plan (SWQMP) to the Engineering Department.



## **STREET IMPROVEMENTS AND TRAFFIC**

1. Public streets improvements shall be designed in compliance with City of Escondido Design Standards and requirements of the City Engineer. Private Street improvements shall be designed in accordance with the requirements of the City Engineer, Fire Marshal and Director of Community Development and shall be shown on the Grading/Private Improvement Plans.
2. The project owner shall construct public and private street improvements for the following streets:

### **STREET**

### **CLASSIFICATION**

Harmony Grove Road

Industrial Street

3. The project owner shall be responsible for construction of project entrance and offsite improvements on Harmony Grove Road in accordance with the project tentative plans and to the requirements of the City Engineer. All required improvement plans shall be approved by the City Engineer prior to issuance of grading permit and shall be constructed prior to project occupancy.
4. The project owner shall be responsible to prepare and submit a signing and striping plan for proposed signing and striping improvements on Harmony Grove Road and intersection of Harmony Grove Road and Hale Avenue in accordance with the project tentative plans and to the requirements of the City Engineer. All required improvement plans shall be approved by the City Engineer prior to issuance of grading permit and shall be constructed prior to project occupancy.
5. The project owner shall be responsible to remove existing striping on Harmony Grove Road and intersection of Harmony Grove Road and Hale Avenue and slurry seal and re-stripe in accordance with the project tentative plans and traffic study mitigation exhibits and to the requirements of the City Engineer. All required improvement plans shall be approved by the City Engineer prior to issuance of grading permit and shall be constructed prior to project occupancy.
6. The project owner will be required to provide a detailed detour and traffic control plan, for all construction within existing right-of-way, to the satisfaction of the City Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.

## **GRADING**

1. A site grading and erosion control plan shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report and on the grading plan, that he/she has reviewed the grading and retaining wall design and found it to be in conformance with his or her recommendations.

2. All onsite parking and access drives are private and shall be designed and constructed to the requirements of Fire Marshal, Planning Director and City Engineer. All proposed onsite project improvements shall be included in Grading Plans subject to review and approval by the City Engineer, Fire Marshall and Director of Community Development.
3. All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in the Geotechnical Report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings.
4. The project owner shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
5. A General Construction Activity Permit is required from the State Water Resources Board prior to issuance of Grading Permit.
6. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.

### **DRAINAGE**

1. A Final Storm Water Quality Management Plan(SWQMP) in compliance with City's latest adopted Storm Water Standards (2015 BMP Manual) shall be prepared for all onsite and newly created impervious frontage and required offsite improvements and submitted for approval together with the final improvement and grading plans. The Storm Water Quality Management Plan shall include hydro-modification calculations, treatment calculations, post construction storm water treatment measures and maintenance requirements.
2. The project owner will be required to submit a signed, notarized and recorded copy of Storm Water Control Facility Maintenance Agreement to the City Engineer. The maintenance agreement shall indicate property owner's responsibility for maintenance of all proposed frontage Green Street landscaping, onsite drainage system, storm water treatment and hydro-modification facilities and their drainage systems.

### **WATER SUPPLY**

1. This project is located within Escondido Water service area, however, Rincon Del Diablo will serve the project with a Water Meter Exchange Agreement between the City of Escondido and Rincon Del Diablo Water District. The developer is responsible for coordination of the Water Meter Exchange Agreement and provide the City with approved Rincon Del Diablo Water improvement plans and a copy of the executed Rincon Del Diablo Water District Board. Prior to issuance of Building Permit, the developer shall complete Meter Exchange Agreement between the City and Rincon and provide the City Engineer with a copy of the executed agreement and approved plans by the Rincon Del Diablo Water District.

2. All onsite detector checks and fire hydrants shall be designed to be located as determined by the Fire Marshal.

### **SEWER**

1. The project owner is required to design and construct an onsite/offsite public sewer system and access to serve the project in accordance with the City of Escondido Design Standards and to the requirements of Utilities Engineer.
2. All sewer laterals within the project are private and shall be maintained by the project applicant/owner.

### **EASEMENTS AND DEDICATIONS**

1. The project owner shall dedicate right-of-way on Harmony Grove Road at project entrance to accommodate for completion of frontage improvements at the project entrance. Legal description and plat shall be prepared and submitted to the City Engineer for preparation of dedication document to be executed by the project owner. Right-of-way dedication shall be completed prior to approval of the frontage public improvement plans.
2. Necessary public utilities easements for sewer shall be granted to the City. The minimum easement width is 20 feet.
3. All easements, both private and public, affecting subject property shall be shown and delineated on the plot plan.
4. The project owner is responsible for making the arrangements to quitclaim all easements of record which conflict with the proposed development prior to issuance of building permit, unless approved by the easement owner. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to Grading or Building permit, as determined by the City Engineer.

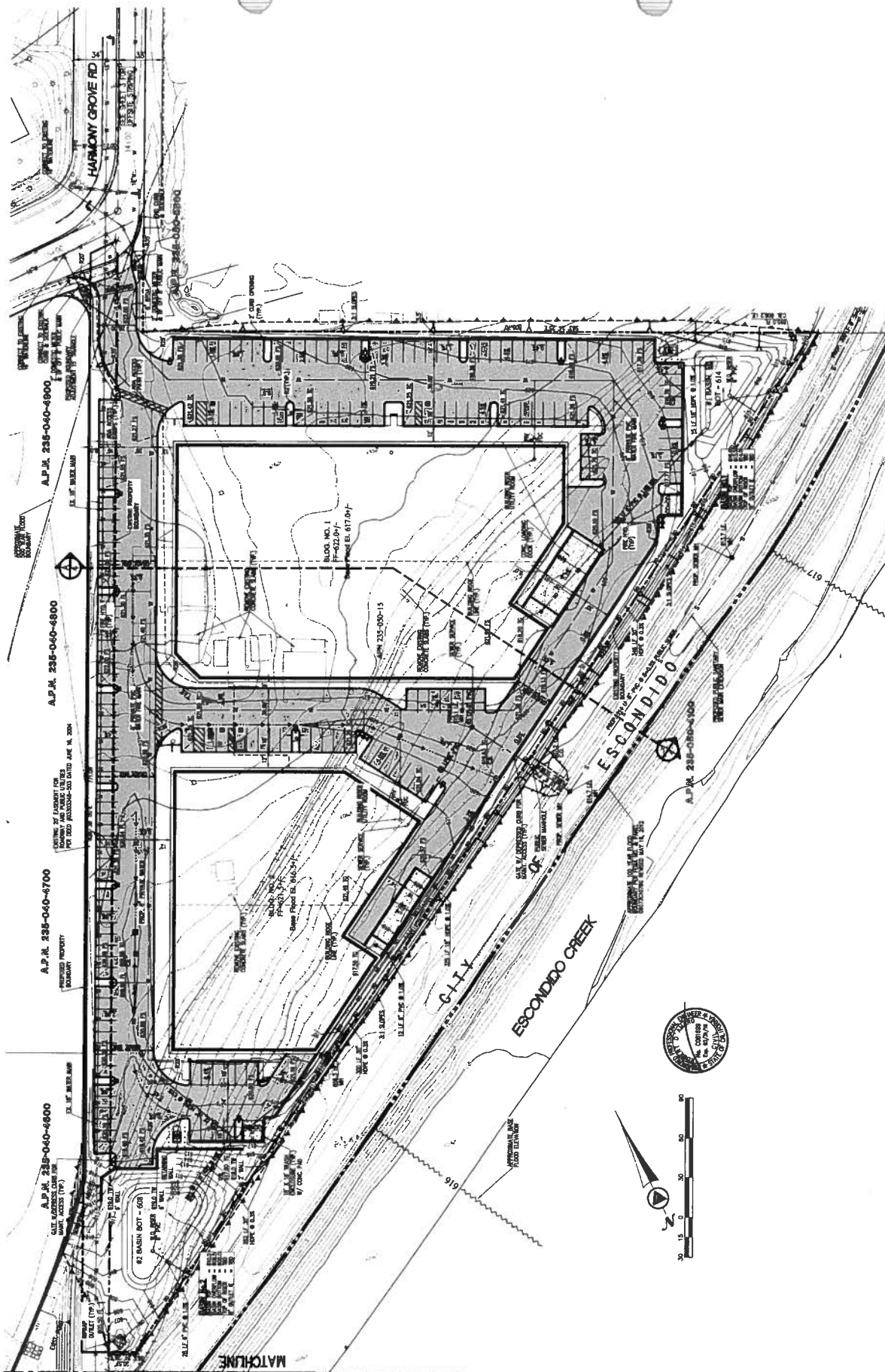
### **REPAYMENTS, FEES AND CASH SECURITIES**

1. The project owner shall be required to pay all development fees, including any repayments in effect prior to approval of the. All development impact fees are paid at the time of Building Permit or as determined by the Building Official.
2. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the project owner until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security deposit for the project shall be \$50,000.
3. The project owner shall provide the city with cash contribution towards future construction of Citracado Parkway between Andreasen Drive and Harmony Grove Village Parkway.

The required cash contribution shall be deposited with the City Engineer prior to issuance of Building Permit.

### **UTILITY UNDERGROUNDING AND RELOCATION**

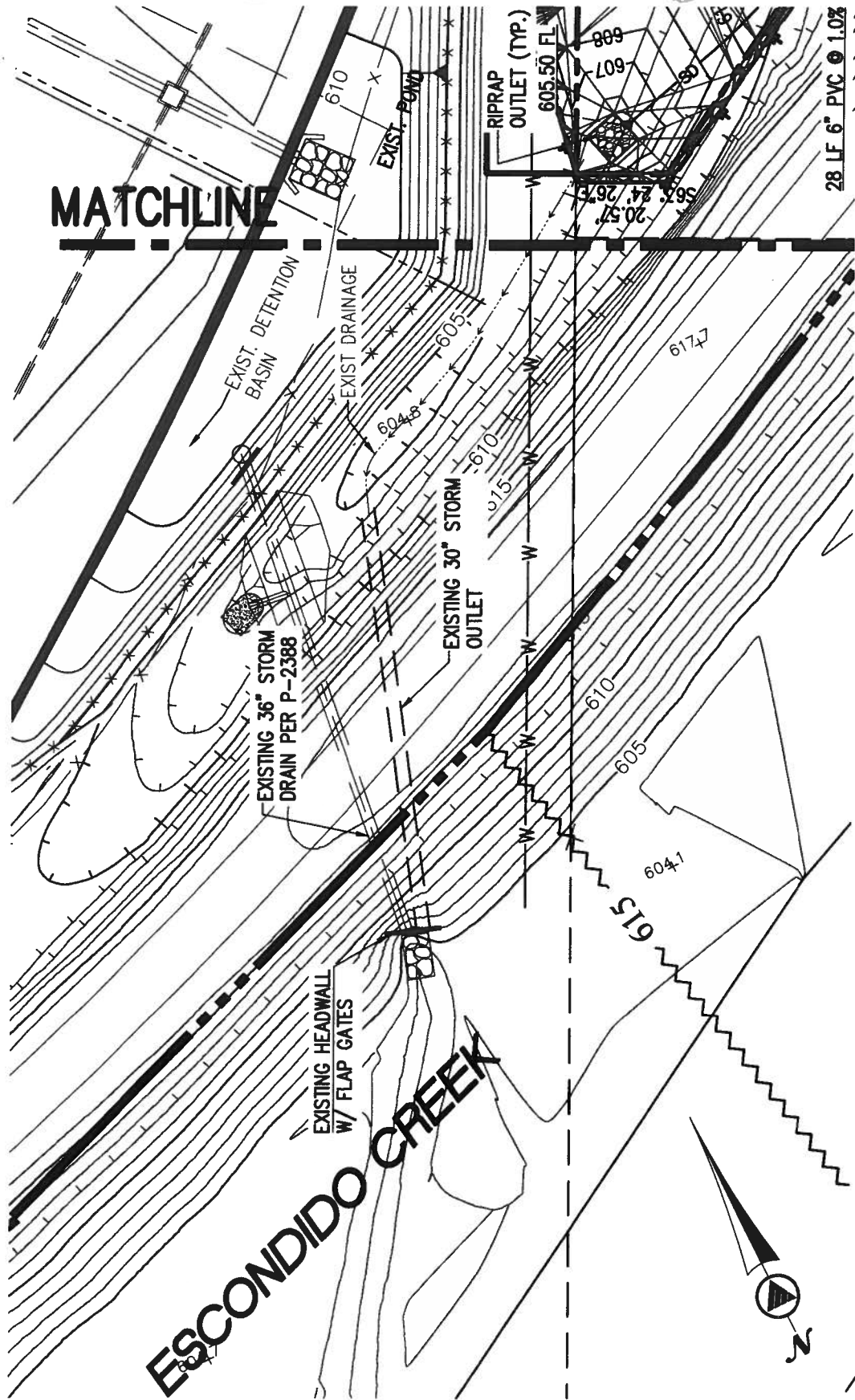
1. The developer shall be required to underground the existing power line at project entrance if it is in conflict with the proposed improvements at the project entrance or pay in lieu fee and relocate the section of overhead utilities along project frontage on Harmony Grove Road.
2. All new dry utilities to serve the project shall be constructed underground. The project owner shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.



**PROPOSED PROJECT  
PHG 15-0042**

**PD**

PLANNED DEVELOPMENT

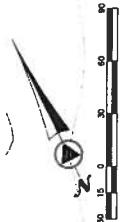
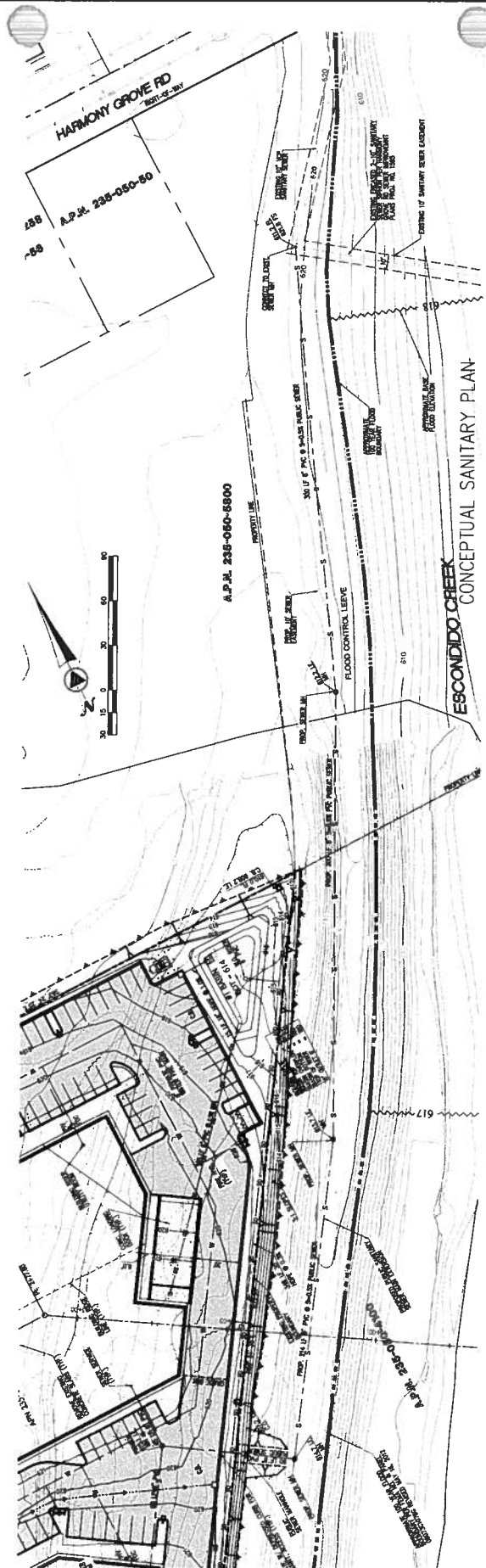


28 LF 6" PVC @ 1.0%

PROPOSED PROJECT  
PHG 15-0042



PLANNED DEVELOPMENT



**PROPOSED PROJECT  
PHG 15-0042**



EXISTING SDGE EASEMENT  
PER DOC. #89-487489  
REC. 9-11-89



ENTERPRISE  
STREET

HARMONY GROVE RD

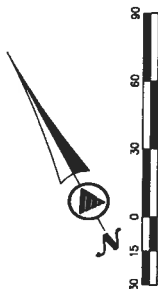
LOT 24, MAP 12842  
A.P.N. 232-051-37

A.P.N. 235-050-58

A.P.N. 232-051-13

REMOVE EXISTING STRIPING (11')

CONCEPTUAL STRIPING PLAN



A.P.N. 235-040-4800

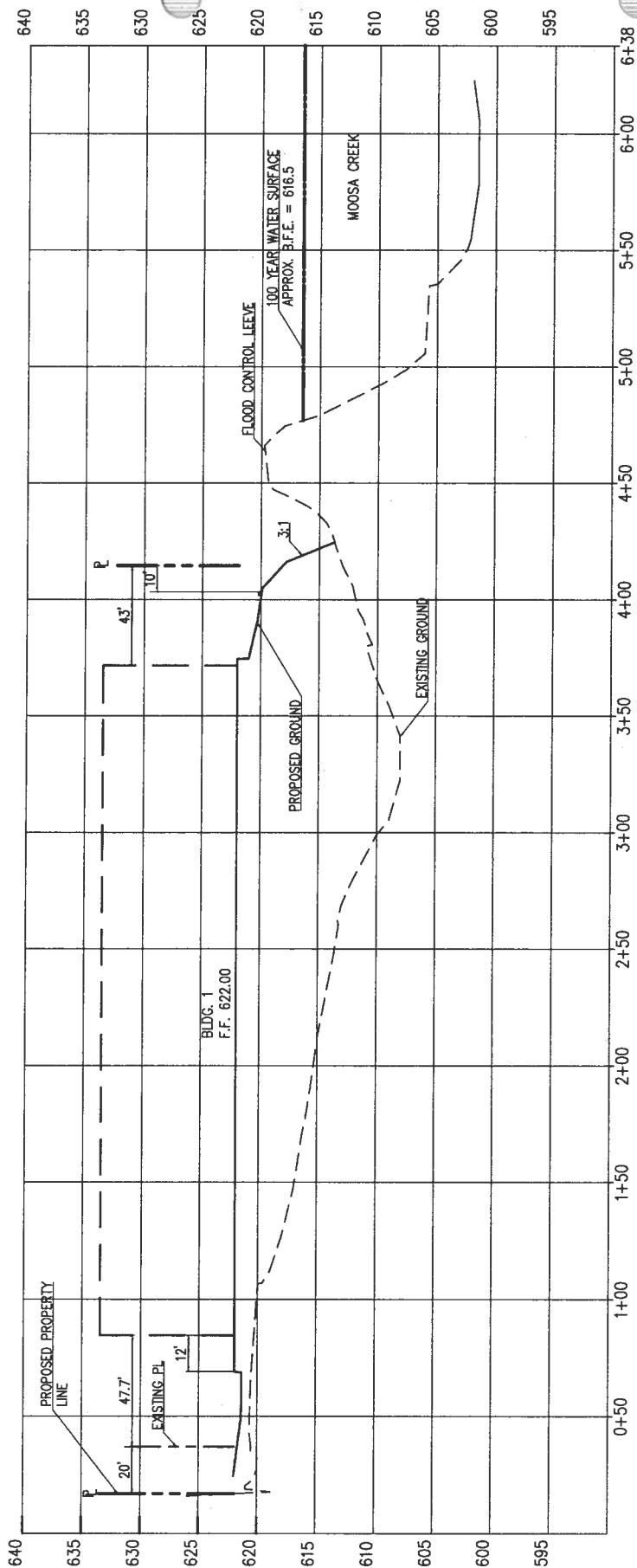
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HARMONY GROVE RD

PROPOSED PROJECT  
PHG 15-0042

CS





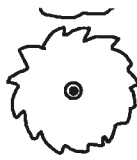
BUILDING SECTION "A-A"

**PROPOSED PROJECT  
PHG 15-0042**

**S**

SECTION DRAWING



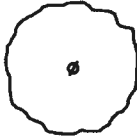


PINUS ELDARICA /  
AFGHAN PINE

24" BOX

CONIFEROUS  
SCREEN & PARKING  
CANOPY

L



RHUS LANCEA /  
AFRICAN SUMAC

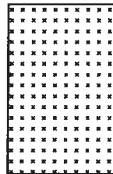
24" BOX

PARKING LOT  
CANOPY

L

**SHRUBS, VINES & GROUNDCOVERS:**

**FOREGROUND**

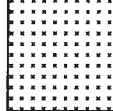


ALOE 'BLUE ELF' /  
BLUE ELF CORAL ALOE

1 GAL. /  
18" O.C.

SUCCULENT  
ACCENT

L



CAREX DIVULSA /  
BERKELEY SEDGE

1 GAL. /  
24" O.C.

ORNAMENTAL  
GRASS

M



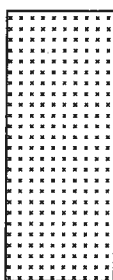
FESTUCA MAIREI /  
ATLAS FESCUE

1 GAL. /  
30" O.C.

ORNAMENTAL  
GRASS

L

**MIDGROUND**



CALLISTEMON 'LITTLE JOHN' /  
DWARF BOTTLEBRUSH

5 GAL. /  
30" O.C.

FLOWERING  
SHRUB MASS

L

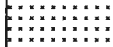


HESPERALOE PARVIFLORA /  
RED YUCCA

5 GAL. /  
36" O.C.

UPRIGHT  
ACCENT

L



LANTANA 'NEW GOLD' /  
YELLOW LANTANA

5 GAL. /  
36" O.C.

FLOWERING  
SHRUB MASS

L



MUHLENBERGIA C. 'REGAL MIST' /  
PINK MUHLY

5 GAL. /  
36" O.C.

ORNAMENTAL  
GRASS

M



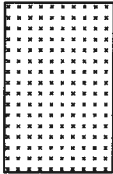
RHAMPHIOLEPIS INDICA /  
INDIAN HAWTHORN

5 GAL. /  
36" O.C.

FLOWERING  
SHRUB

M

**BACKGROUND**



LEUCOPHYLLUM 'GREEN CLOUD' /  
GREEN CLOUD TEXAS RANGER

5 GAL. /  
48" O.C.

FLOWERING  
SHRUB

L



LIGUSTRUM J. 'TEXANUM' /  
TEXAS PRIVET

5 GAL. /  
36" O.C.

EVERGREEN  
HEDGE

M



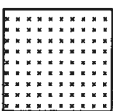
WESTRINGIA FRUTICOSA /  
COAST ROSEMARY

5 GAL. /  
36" O.C.

EVERGREEN  
HEDGE

L

**GROUNDCOVER**



LONICERA J. 'HALLIANA' /  
HALL'S HONEYSUCKLE

FLATS /  
18" O.C.

EVERGREEN  
GROUNDCOVER

M



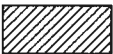
ROSMARINUS O. 'PROSTRATUS' /  
PROSTRATE ROSEMARY

FLATS /  
18" O.C.

EVERGREEN  
GROUNDCOVER

L

**BIORETENTION AREAS**



BIORETENTION SEED MIX  
FROM S AND S SEEDS

SEED

-

L

**WATER NEEDS KEY:**

VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE.  
WATER USE STATED IS PER 'A GUIDE TO ESTIMATING IRRIGATION WATER NEEDS OF LANDSCAPE  
PLANTINGS IN CALIFORNIA' (ALSO REFERRED TO AS WUCOLS).

**LANDSCAPE TABULATIONS**

TOTAL PARKING LOT TREES

TOTAL PARKING SPACES =

166

PARKING LOT TREES REQUIRED (1 TREE / 4 STALLS) =

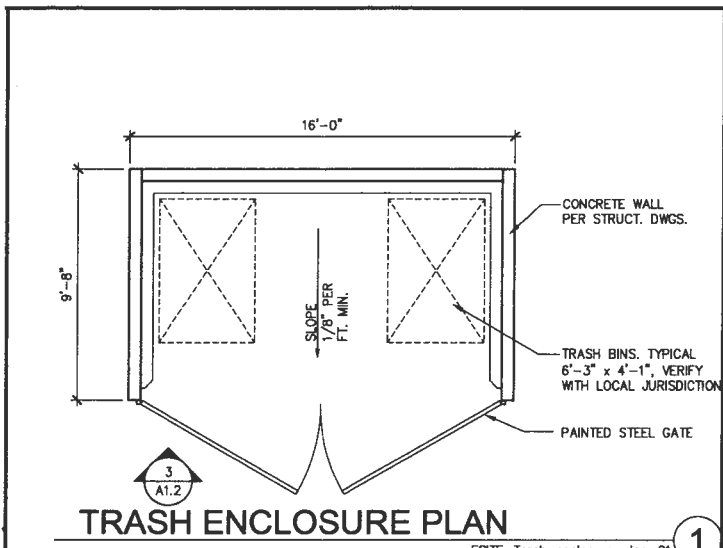
42

PARKING LOT TREES PROVIDED =

57 \*

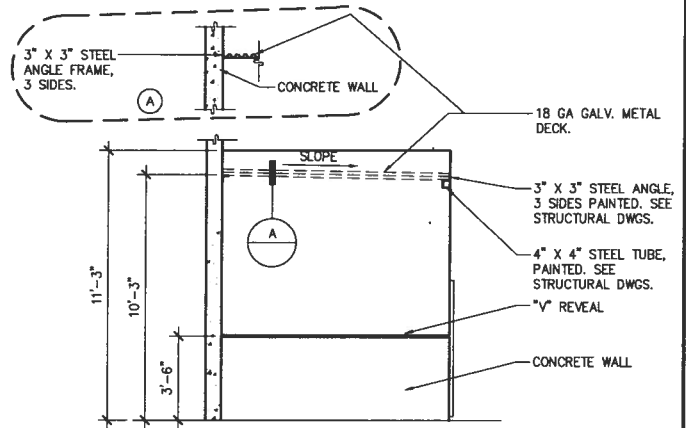
**PROPOSED PROJECT  
PHG 15-0042**

**LP**



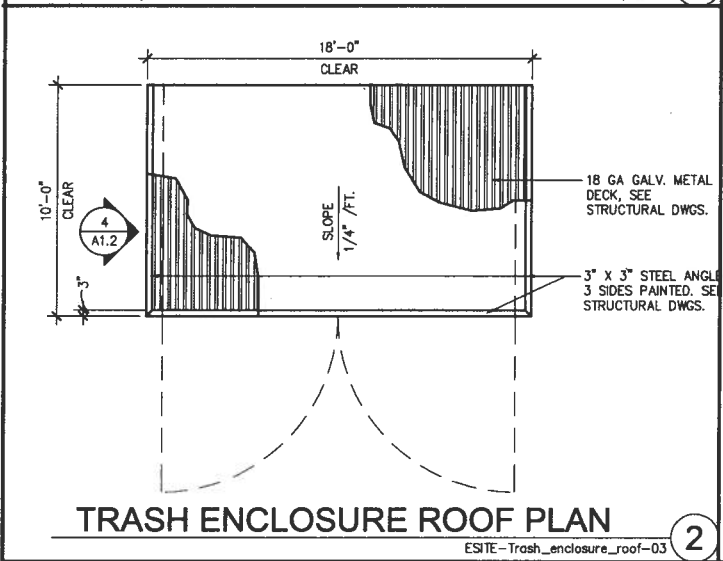
ESITE-Trash\_enclosure\_plan-01

1



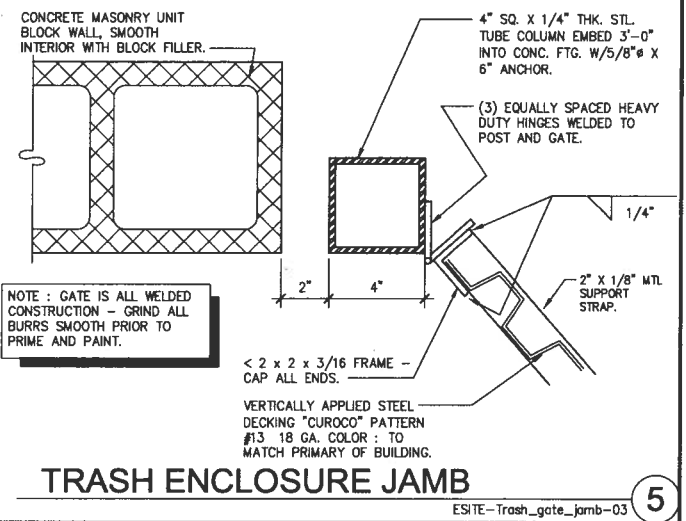
ESITE-Trash\_enclosure\_elev-03

4



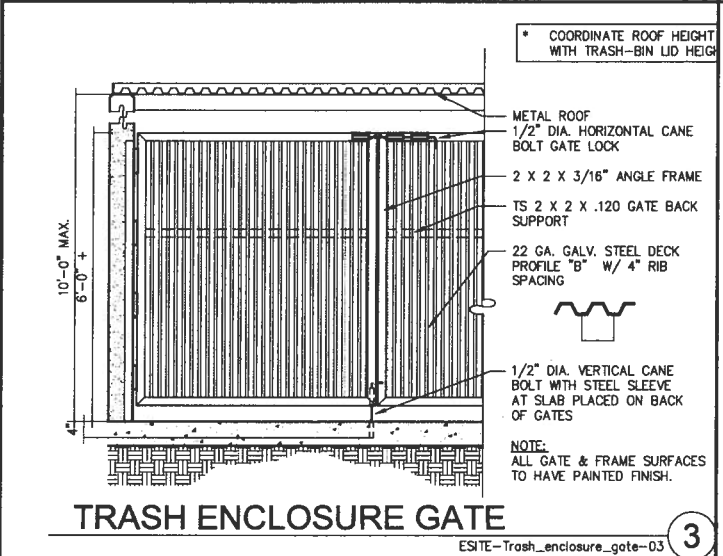
ESITE-Trash\_enclosure\_roof-03

2



ESITE-Trash\_gate\_jamb-03

5



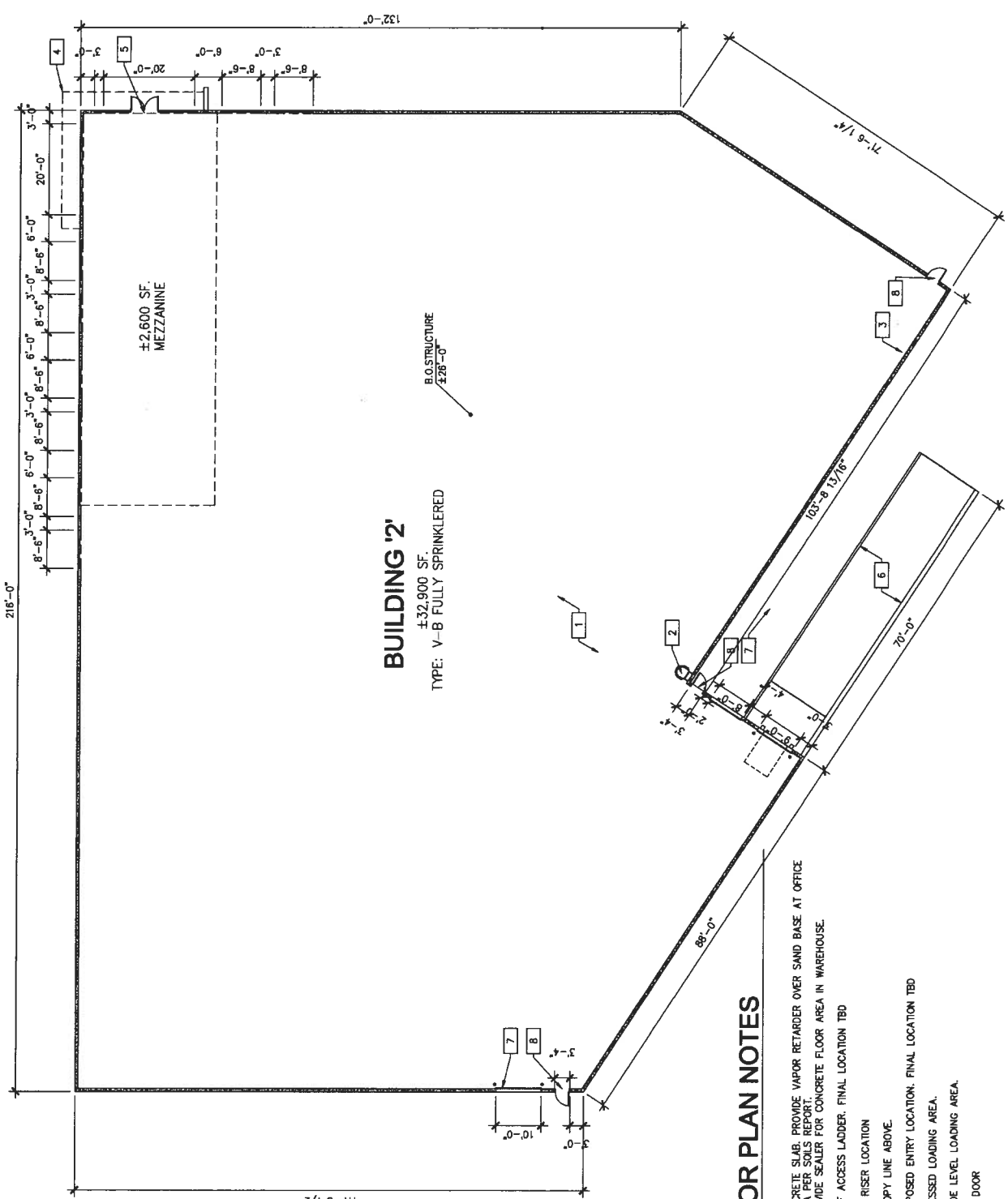
ESITE-Trash\_enclosure\_gate-03

3

PROPOSED PROJECT  
PHG 15-0042

ED

ENCLOSURE DETAILS



**BUILDING '2'**

±32,900 SF.  
TYPE: V-B FULLY SPRINKLERED

±2,600 SF.  
MEZZANINE

B.O. STRUCTURE  
±28'-0"

**FLOOR PLAN NOTES**

- 1 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOLS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 2 ROOF ACCESS LADDER. FINAL LOCATION TBD
- 3 FIRE RISER LOCATION
- 4 CANOPY LINE ABOVE.
- 5 PROPOSED ENTRY LOCATION. FINAL LOCATION TBD
- 6 RECESSED LOADING AREA.
- 7 GRADE LEVEL LOADING AREA.
- 8 EXIT DOOR

**FLOOR PLAN - BUILDING 2**

**PROPOSED PROJECT  
PHG 15-0042**

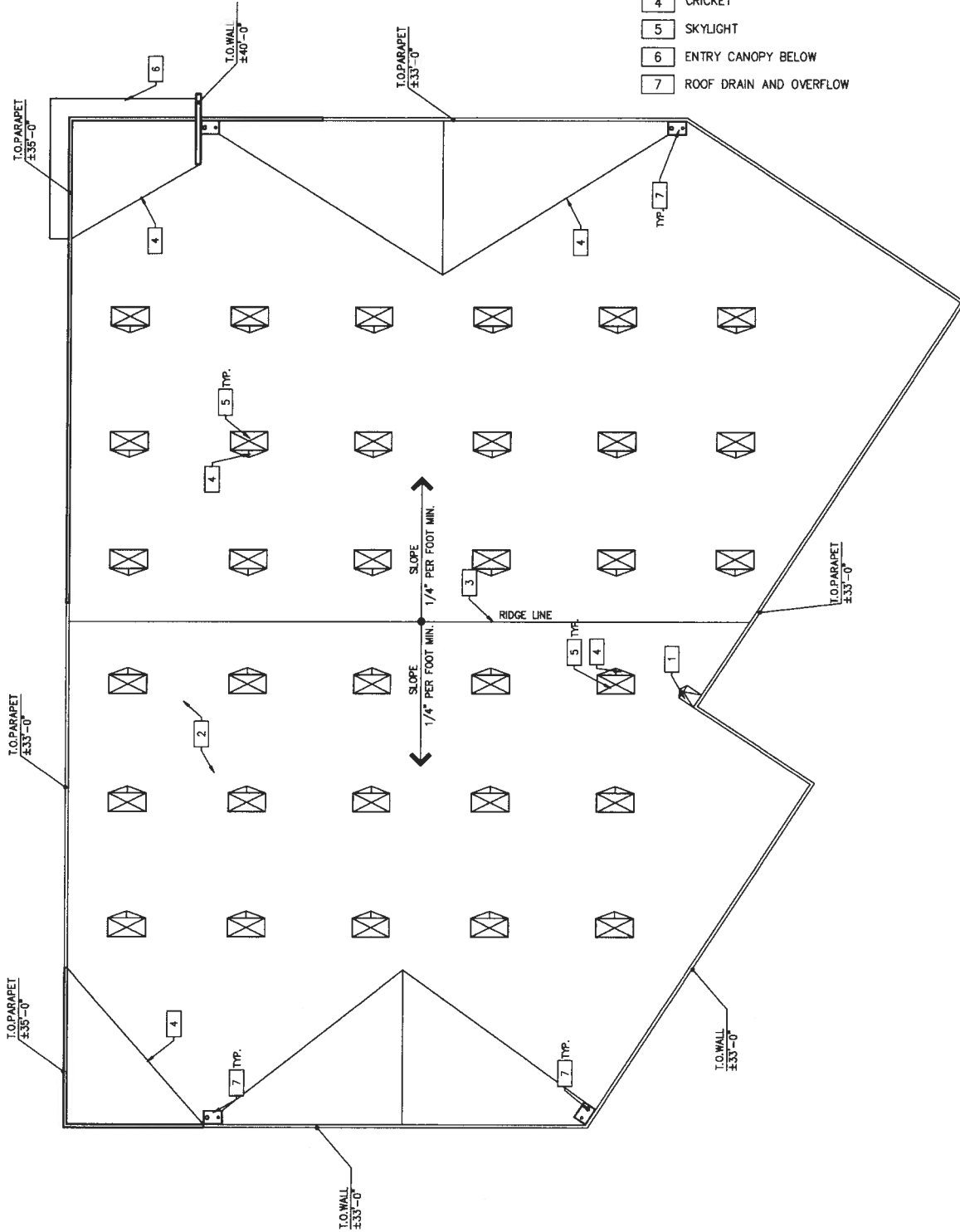
**F**

# ROOF PLAN - BUILDING 2



## ROOF PLAN NOTES

- 1 ROOF HATCH, FINAL LOCATION TBD
- 2 SINGLE PLY ROOFING
- 3 ROOF RIDGE
- 4 CRICKET
- 5 SKYLIGHT
- 6 ENTRY CANOPY BELOW
- 7 ROOF DRAIN AND OVERFLOW



**PROPOSED PROJECT  
PHG 15-0042**



ROOF PLAN

**ELEVATION NOTES**

- 1 CONCRETE TILT-UP WALL, FINISH PER SCHEDULE
- 2 CONCRETE WALL JOINT
- 3 ENTRY ACCENT WALL
- 4 3/4" V-REVEAL
- 5 3/4" DEEP RECESS
- 6 ALUMINUM STOREFRONT SYSTEM W/ 1" THICK INSULATED GL
- 7 KNOCK-OUT PANEL FOR FUTURE WIRELESS OR DOORS
- 8 METAL CANOPY - FIRE-FINISHED
- 9 WALL PACK MOUNTED
- 10 ROOF LINE BEYOND
- 11 HOLLOW METAL EXIT DOOR
- 12 METAL ROLL-UP DOOR
- 13 METAL GUARD RAIL

**GENERAL NOTE**

- 1. ALL FUTURE ROOF TOP EQUIPMENT TO BE SORLED FROM THE RIGHT-OF-WAY.
- 2. SIGNAGE UNDER SEPARATE REVIEW AND APPROVAL.

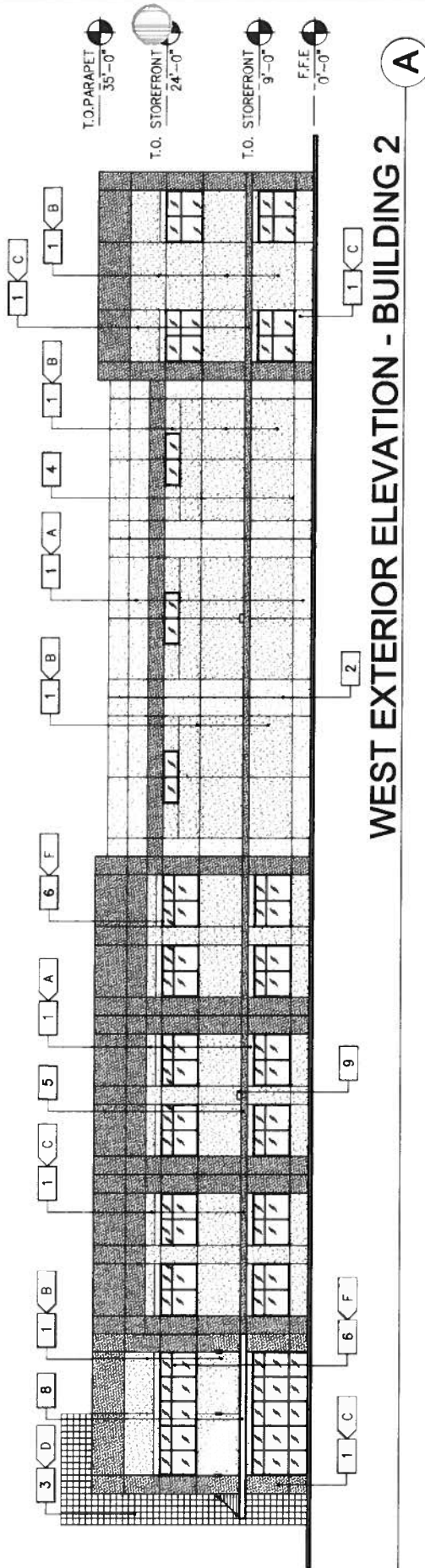
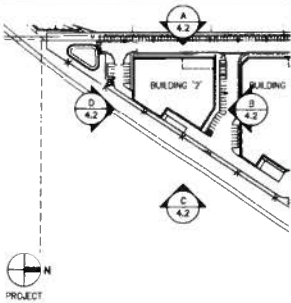
**LEGEND**

- VISION GLASS
- SPANDELL GLASS
- TEMPERED GLASS
- CONCRETE TILT-UP PANEL

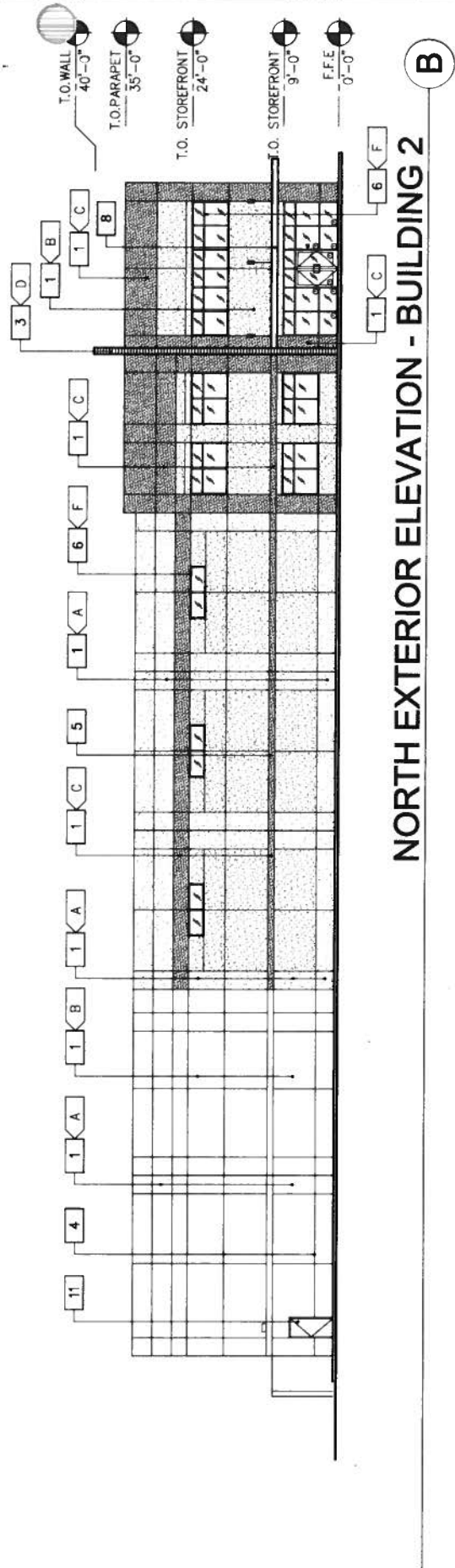
**COLOR LEGEND**

- A BASE COLOR: FRAZZE CLW1047W "DEER FEATHER"
- B SECONDARY COLOR: FRAZZE CL3013M "ARTESAN"
- C ACCENT COLOR: FRAZZE CL3106 "SOOT"
- D TILE: TEXTURED TILE
- E GLAZING: PPG "SOLARCOOL PACIFICA"
- F STOREFRONT COLOR: CLEAR ANODIZED ALUMINUM

**KEY PLAN**



**WEST EXTERIOR ELEVATION - BUILDING 2**



**NORTH EXTERIOR ELEVATION - BUILDING 2**

**PROPOSED PROJECT  
PHG 15-0042**

**E**

ELEVATIONS

**ELEVATION NOTES**

- 1 CONCRETE TILT-UP WALL, FINISH PER SCHEDULE
- 2 CONCRETE WALL JOINT
- 3 ENTRY ACCENT WALL
- 4 3/4" V-REVEAL
- 5 3/4" DEEP RECESS
- 6 ALUMINUM STOREFRONT SYSTEM W/ 1" THICK INSULATED GLASS
- 7 KNOCK-OUT PANEL FOR FUTURE WINDOWS OR DOORS
- 8 METAL CANOPY - PRE-FINISHED
- 9 WALL PACK MOUNTED
- 10 ROOF LINE BEYOND
- 11 HOLLOW METAL EXT DOOR
- 12 METAL ROLL-UP DOOR
- 13 METAL GUARD RAIL

**GENERAL NOTE**

- 1. ALL FUTURE ROOF TOP EQUIPMENT TO BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY
- 2. SIGNAGE UNDER SEPARATE REVIEW AND APPROVAL

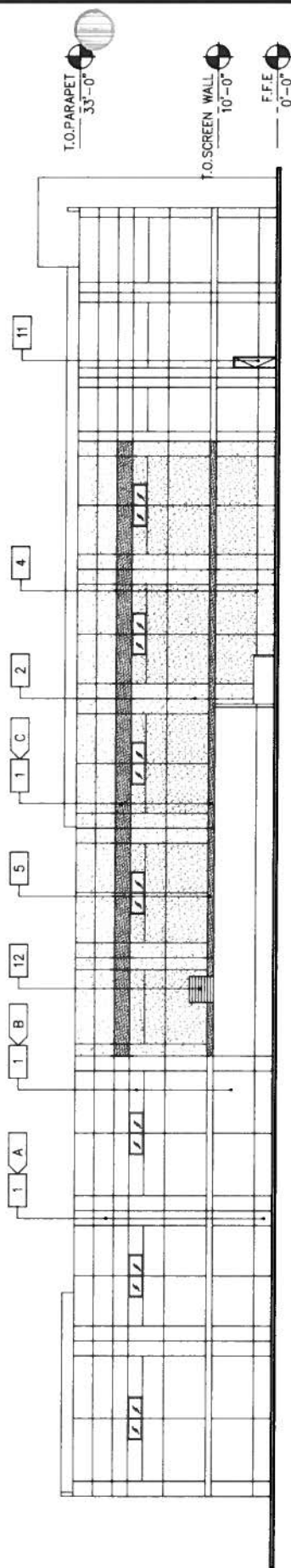
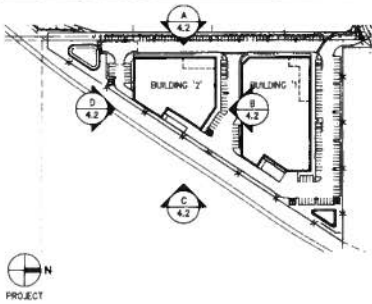
**LEGEND**

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS
- CONCRETE TILT-UP PANEL

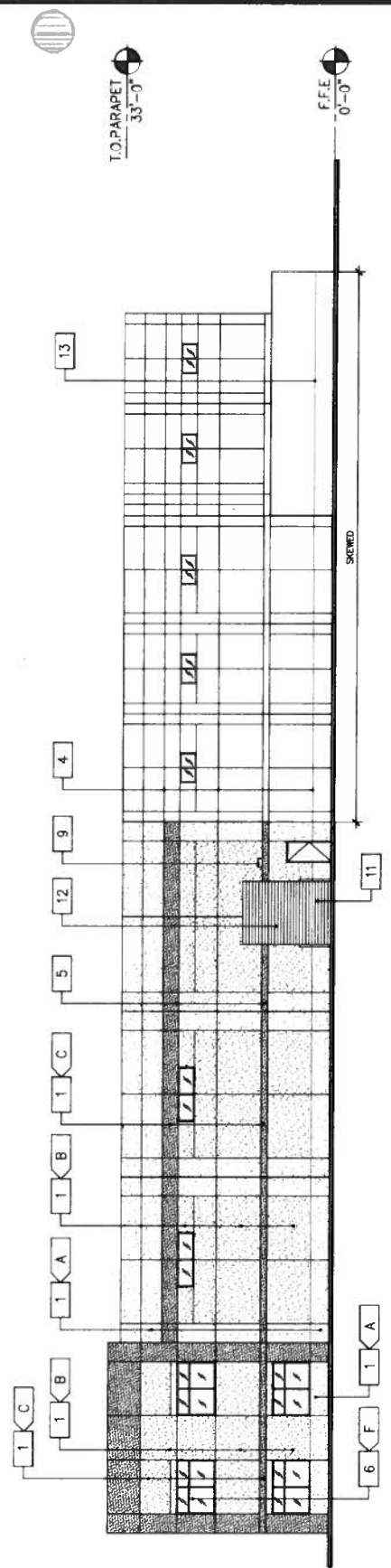
**COLOR LEGEND**

- A BASE COLOR: FRAZEE CLW1047W "DEER FEATHER"
- B SECONDARY COLOR: FRAZEE CL5013M "ARTESAN"
- C ACCENT COLOR: FRAZEE CL3186 "SOOT"
- D TILE: TEXTURED TILE
- E GLAZING: PPG "SOLARCOOL PACIFICA"
- F STOREFRONT COLOR: CLEAR ANODIZED ALUMINUM

**KEY PLAN**



**EAST EXTERIOR ELEVATION - BUILDING 2**



**SOUTH EXTERIOR ELEVATION - BUILDING 2**

**PROPOSED PROJECT  
PHG 15-0042**

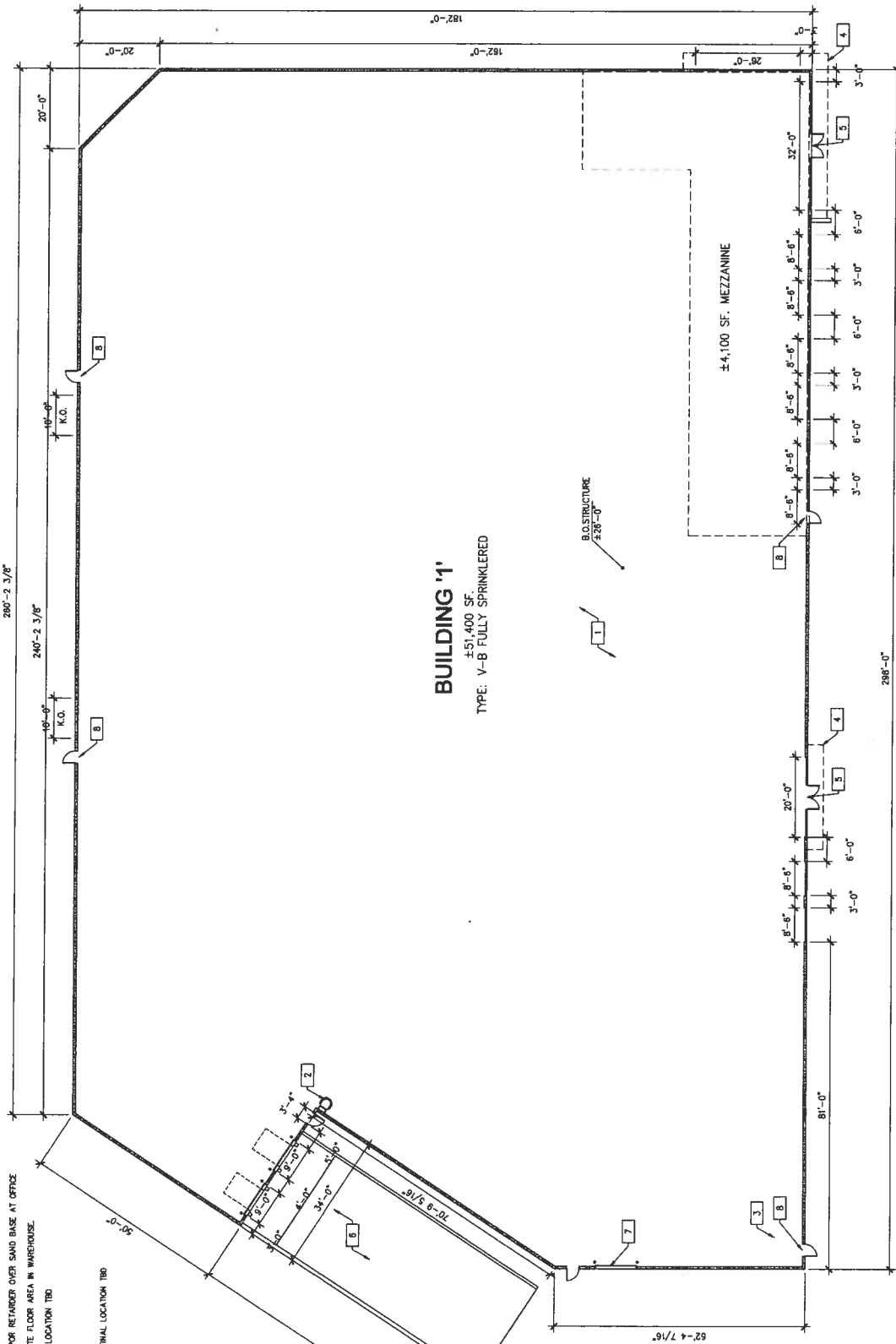
**E**

**ELEVATIONS**



**FLOOR PLAN NOTES**

- 1. CONCRETE SLAB PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 2. ROOF ACCESS LADDER. FINAL LOCATION TBD
- 3. PRE RISER LOCATION
- 4. CANOPY LINE ABOVE.
- 5. PROPOSED ENTRY LOCATION. FINAL LOCATION TBD
- 6. RECESSED LOADING AREA.
- 7. GRADE LEVEL LOADING AREA.
- 8. EXIT DOOR



**BUILDING 1'**  
 ±51,400 SF.  
 TYPE: V-B FULLY SPRINKLERED

±4,100 SF. MEZZANINE

B.O. STRUCTURE  
 ±28'-0"

**PROPOSED PROJECT**  
**PHG 15-0042**

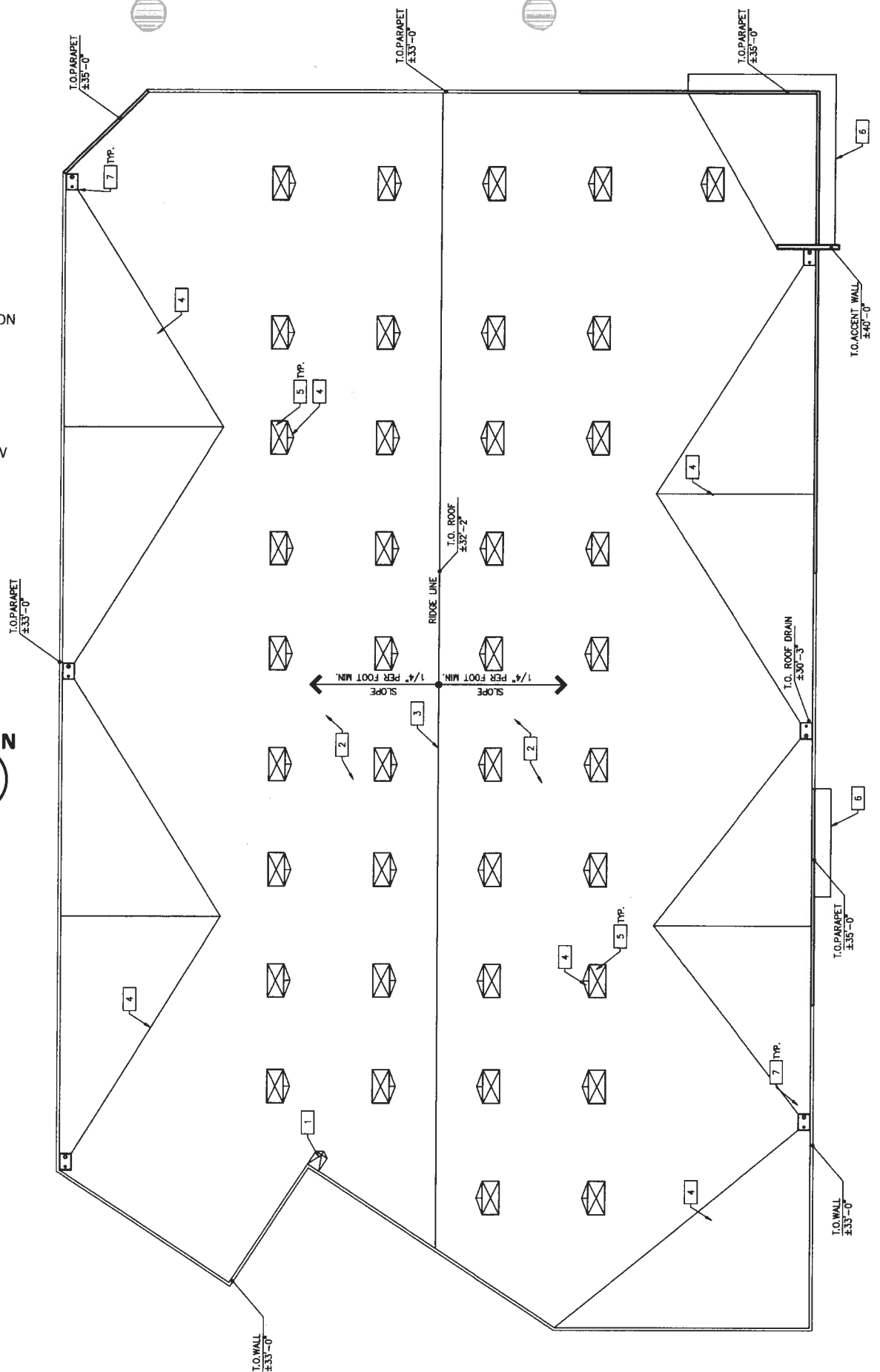
**F**

**FLOOR PLAN - BUILDING 1**

**ROOF PLAN NOTES**

- 1 ROOF HATCH- FINAL LOCATION TBD
- 2 SINGLE PLY ROOFING
- 3 ROOF RIDGE
- 4 CRICKET
- 5 SKYLIGHT
- 6 ENTRY CANOPY BELOW
- 7 ROOF DRAIN AND OVERFLOW

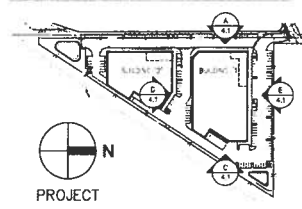
**ROOF PLAN BUILDING 1**



**PROPOSED PROJECT  
PHG 15-0042**



**KEY PLAN**



**COLOR LEGEND**

- A BASE COLOR: FRAZEE CLUSTON "DEER FEATHER"
- B SECONDARY COLOR: FRAZEE CLUSTON "ARTESAN"
- C ACCENT COLOR: FRAZEE CLUSTON "SUD"
- D TILE: TEXTURED TILE
- E GLAZING: PPG "SOLARCOOL PACIFIC"
- F STOREFRONT COLOR: CLEAR ANODIZED ALUMINUM

**GENERAL NOTE**

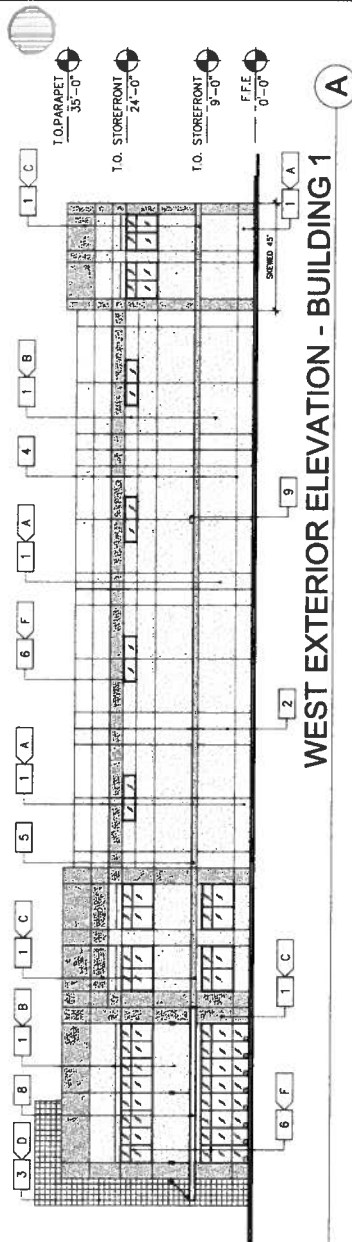
1. ALL FUTURE ROOF TOP EQUIPMENT TO BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY.
2. SIGNAGE LARGER SEPARATE REVIEW AND APPROVAL.

**LEGEND**

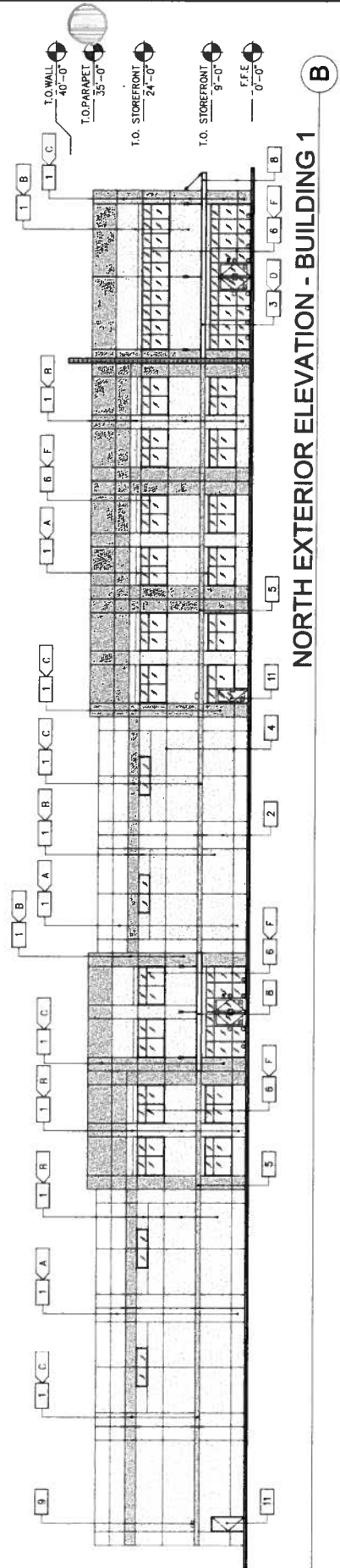
- VISION GLASS
- SPANDREL GLASS
- T TINTED GLASS
- CONCRETE TILT-UP PANEL

**ELEVATION NOTES**

1. CONCRETE TILT-UP WALL, FINISH PER SCHEDULE
2. CONCRETE WALL JOINT
3. ENTRY ACCENT WALL
4. 3/4" V-REVEAL
5. 3/4" DEEP RECESS
6. ALUMINUM STOREFRONT SYSTEM W/ 1" THICK INSULATED GLASS
7. KNOCK-OUT PANEL FOR FUTURE WINDOWS OR DOORS
8. METAL CANOPY - PRE-FINISHED
9. WALL PACK LIGHTING
10. ROOF LINE BEYOND
11. HOLLOW METAL EXIT DOOR
12. METAL ROLL-UP DOOR
13. SCREEN WALL



**WEST EXTERIOR ELEVATION - BUILDING 1**



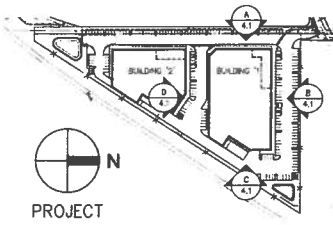
**NORTH EXTERIOR ELEVATION - BUILDING 1**

**PROPOSED PROJECT  
PHG 15-0042**

**E**

ELEVATIONS

**KEY PLAN**



**COLOR LEGEND**

- A** BASE COLOR: FRAZEE CL11047W "DEER FEATHER"
- B** SECONDARY COLOR: FRAZEE CL3013M "ARTESAN"
- C** ACCENT COLOR: FRAZEE CL3186 "SOOT"
- D** TILE: TEXTURED TILE
- E** GLAZING: PPG "SOLARCOOL PACIFICA"
- F** STOREFRONT COLOR: CLEAR ANODIZED ALUMINUM

**GENERAL NOTE**

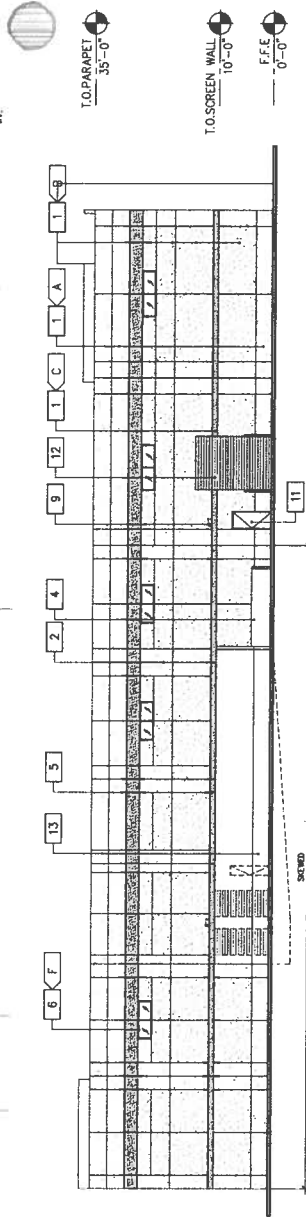
1. ALL FUTURE ROOF TOP EQUIPMENT TO BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY
2. SIGNAGE UNDER SEPARATE REVIEW AND APPROVAL

**LEGEND**

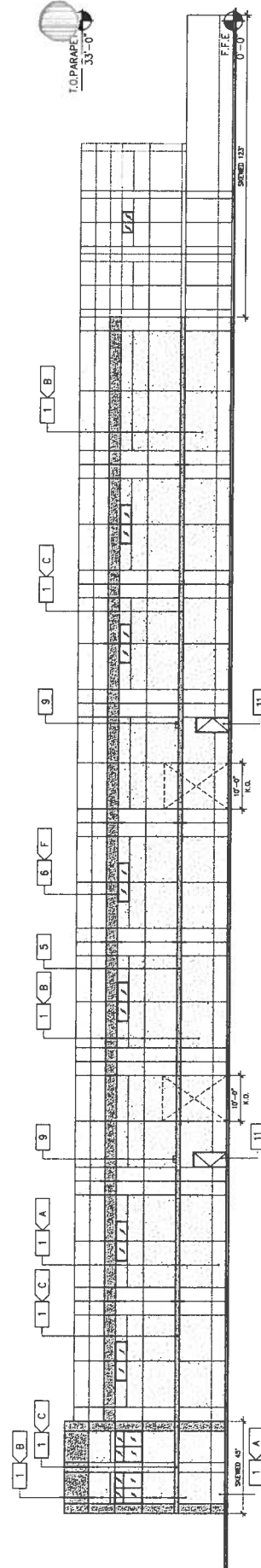
- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS
- CONCRETE TILT-UP PANEL

**ELEVATION NOTES**

- 1 CONCRETE TILT-UP WALL, FINISH PER SCHEDULE
- 2 CONCRETE WALL JOINT
- 3 ENTRY ACCENT WALL
- 4 3/4" V-REVEAL
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- 6 ALUMINUM STOREFRONT SYSTEM W/ 1" THICK INSULATED GLASS
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- 9 WALL PACK LIGHTING
- 10 ROOF LINE BEYOND
- 11 HOLLOW METAL EXIT DOOR
- 12 METAL ROLL-UP DOOR
- 13 SCREEN WALL



**EAST EXTERIOR ELEVATION - BUILDING 1**



**SOUTH EXTERIOR ELEVATION - BUILDING 1**

**PROPOSED PROJECT  
PHG 15-0042**

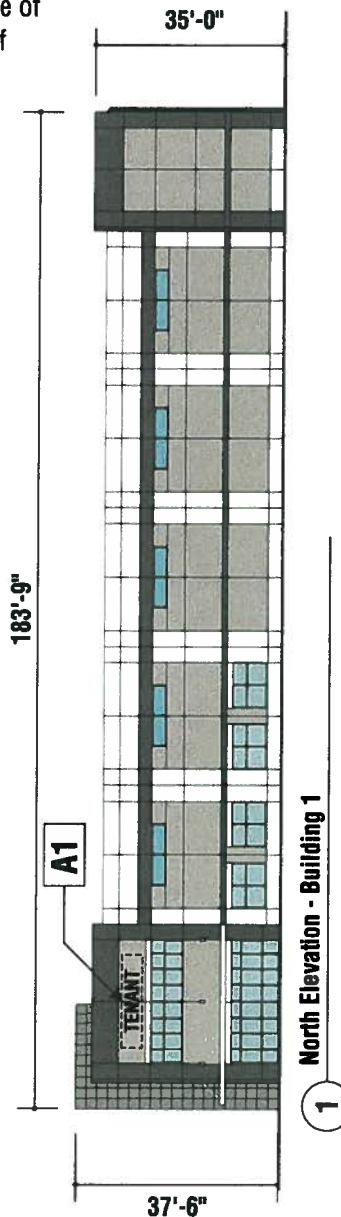
**E**

**ELEVATIONS**

# BUILDING "1" ELEVATIONS

## CHANNEL LETTERS GENERAL REQUIREMENTS:

- Tenants will be allowed to fabricated channel letters, halo letter or dual lite letters, in the Landload's/ Owner's sole and absolute discretion.
- Each tenant will allowed sixty (60) square foot of sign area per elevation. Tenant will be allowed one (1) wall sign for two (2) elevation. Tenant wall signs maybe calculated by measuring each individual letter height by width, not counting the negative spacing between each letter.
- Height will be determined based on square footage of the sign area. Letter height cannot exceed 70% of facade area.



PROPOSED PROJECT  
PHG 15-0042

E

ELEVATIONS - SIGN

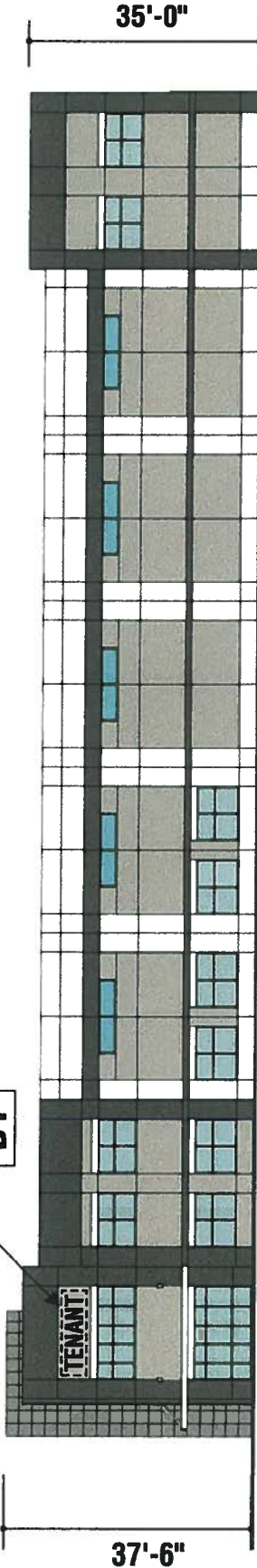
# BUILDING "2" ELEVATIONS

## CHANNEL LETTERS GENERAL REQUIREMENTS:

- Tenants will be allowed to fabricated channel letters, halo letter or dual lite letters, in the Landload's/ Owner's sole and absolute discretion.
- Each tenant will allowed sixty (60) square foot of sign area per elevation. Tenant will be allowed one (1) wall sign for two (2) elevation. Tenant wall signs maybe calculated by measuring each individual letter height by width, not counting the negative spacing between each letter.
- Height will be determined based on square footage of the sign area. Letter height cannot exceed 70% of facade area.

204'-4"

B1



North Elevation - Building 2

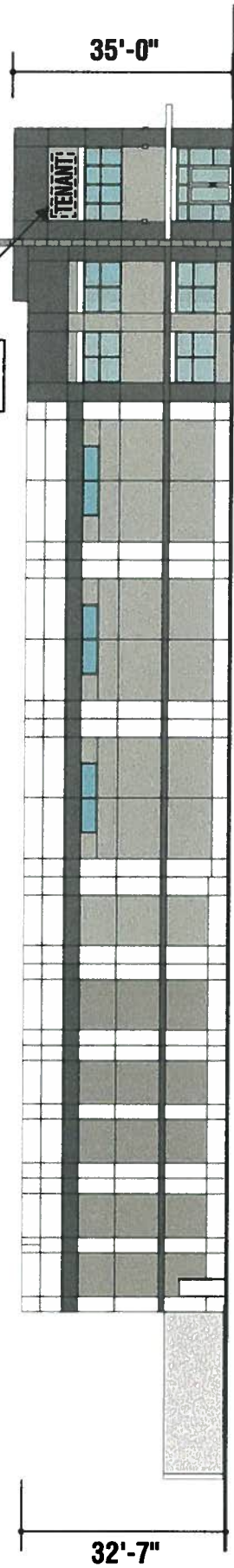
1

37'-6"

35'-0"

208'-10"

B2



East Elevation - Building 2

2

32'-7"

35'-0"

PROPOSED PROJECT  
PHG 15-0042

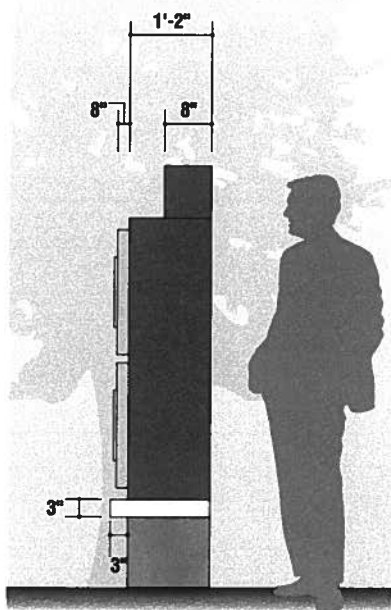
E

ELEVATIONS - SIGN



**C** Sign Elevation Layout  
Qty: One (1) Required

Square Footage: 50 sf



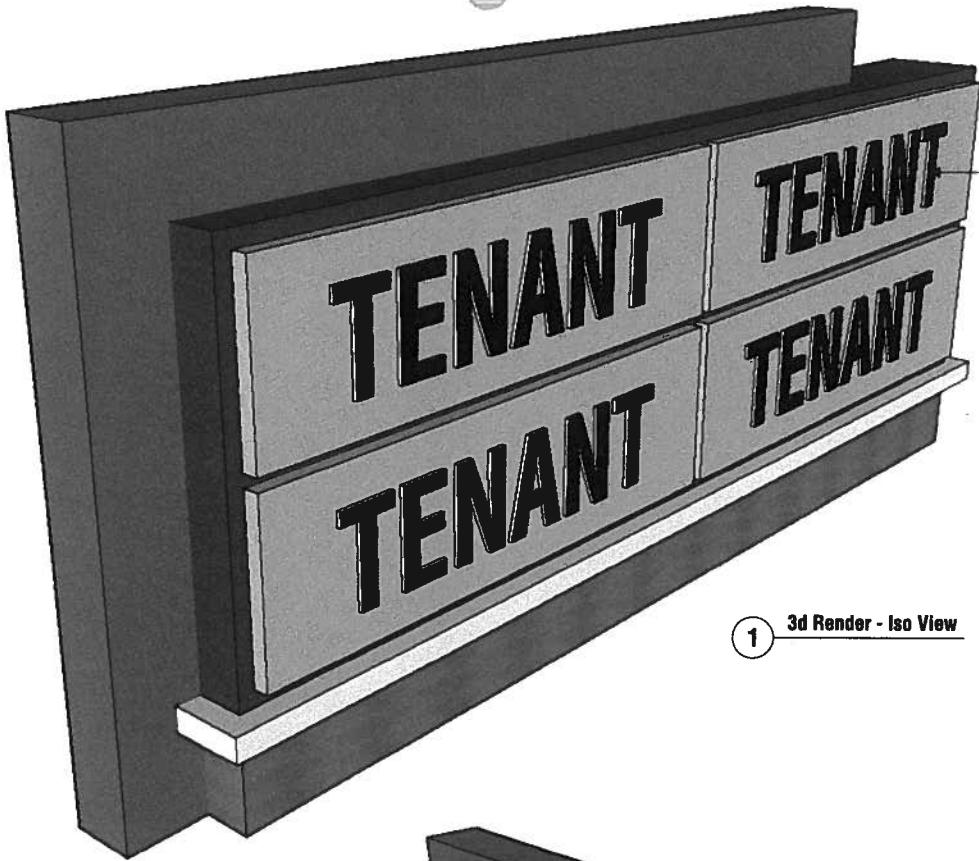
**3** Right Side View

Manufacture and install double face illuminated monument sign

- Cabinet:** Aluminum constructed single face illuminated
- Faces:** Routed out .080 aluminum
- Copy:** 1/2" thick push through acrylic with vinyl overlay
- Illumination:** White LED illumination
- Deco:** 3" aluminum square tube painted white
- Base:** Aluminum with "Crossville Palermo VS155" tile veneer

**PROPOSED PROJECT  
PHG 15-0042**

**E**



Push through copy

1 3d Render - Iso View



2 3d Render Iso View

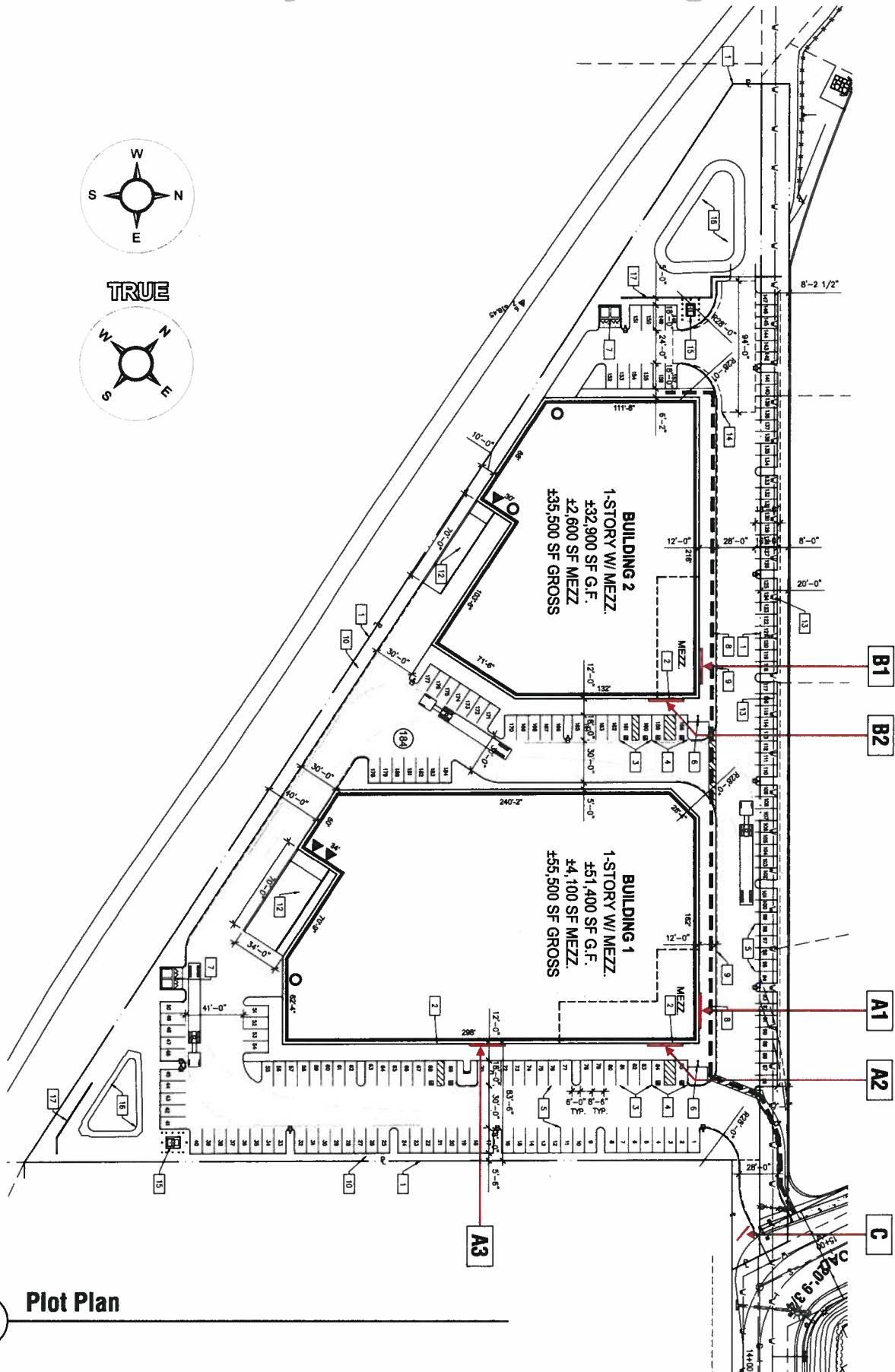
PROPOSED PROJECT  
PHG 15-0042

3D





TRUE



1 Plot Plan

**PROPOSED PROJECT  
PHG 15-0042**

**PP**



# County of San Diego

**MARK WARDLAW**  
DIRECTOR  
PHONE (858) 694-2982  
FAX (858) 694-2555

PLANNING & DEVELOPMENT SERVICES  
5510 OVERLAND AVENUE, SUITE 310, SAN DIEGO, CA 92123  
[www.sdcounty.ca.gov/pds](http://www.sdcounty.ca.gov/pds)

**DARREN GRETLER**  
ASSISTANT DIRECTOR  
PHONE (858) 694-2982  
FAX (858) 694-2555

July 21, 2016

Jay Paul  
Planning Division  
City of Escondido  
201 North Broadway  
Escondido, CA 92025

Via email to: [jpaul@escondido.org](mailto:jpaul@escondido.org)

## **COMMENTS ON THE NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION FOR VICTORY INDUSTRIAL PARK PROJECT, ENV 15-0017 AND PHG 15-0042**

Dear Mr. Paul,

The County of San Diego (County) has received the Notice of Intent to Adopt a Mitigated Negative Declaration (MND) for Victory Industrial Park Project, ENV 15-0017 and PHG 15-0042 (Project). The County appreciates the opportunity to comment on this Project. Please consider and address the following comments.

### **TRANSPORTATION**

1. The County's prior February 2016 comment letter (enclosed) indicated that the City of Escondido had recently coordinated with a County developer for a proposed project (Valiano Specific Plan) located along Country Club Drive within the unincorporated area. The City of Escondido and County (Valiano) developer have reached a tentative agreement for the Valiano project to improve Kauana Loa Drive and make a fair-share contribution towards the planned Citracado Parkway extension. Based on the location of Victory Industrial Park and the projected traffic that would be generated, the County's February 2016 comment letter stated that the proposed industrial development should also be responsible for Kauana Loa Drive improvements and a fair-share contribution towards the planned Citracado Parkway extension. The MND includes a fair-share contribution towards the planned Citracado Parkway extension, but no proposed improvements to Kauana Loa Drive are identified. The MND should also include recommended improvements to Kauana Loa Drive.

Mr. Paul, City of Escondido  
July 21, 2016  
Page 2 of 2

The County looks forward to receiving future documents and/or notices related to this project and providing additional assistance at your request. If you have any questions regarding these comments, please contact Danny Serrano, Land Use / Environmental Planner, at (858) 694-3680 or via email at [daniel.serrano@sdcounty.ca.gov](mailto:daniel.serrano@sdcounty.ca.gov)

Sincerely,



Joe Farasa, Group Program Manager  
Advance Planning Division  
Planning & Development Services

Attachment: County of San Diego comment letter dated February 1, 2016

Email cc:

Keith Corry, Policy Advisor, Board of Supervisors, District 3  
Chris Livoni, Policy Advisor, Board of Supervisors, District 5  
Vincent Kattoula, CAO Staff Officer, LUEG  
Nick Ortiz, Land Use/Planning Manager, Planning & Development Services  
Eric Lardy, Land Use/Planning Manager, Planning & Development Services