

2006 CRA Award of Excellence

Mixed-Use Development

City of Escondido

Via Roble

Escondido's Via Roble is a mixed-use, mixed-income development on a five-acre site that was once a dilapidated, crime-ridden trailer park where residents were living in unsafe conditions. Today, the site is home to 72 affordable apartments, ten single-family homes, and nine shopkeeper units that run along one of the City's main corridors. The city's redevelopment agency teamed up with Trinity/Wakeland Development to complete Via Roble in the summer of 2005.

Via Roble is naturally appealing. It features one-of-a-kind artistically painted buildings, colloquial architecture, and native landscaping. Each use functions independently, creating a vibrant community. In addition, a community center is located on the site that provides residents with a place to meet and socialize. A park wraps around the development and incorporates a variety of uses including a large playground area, tot lots, meandering cobblestone paths, and a large mature oak tree that serves as the focal point for residents. The development also captures the City's "boulevard" concept, transforming a deteriorated, bleak roadway into a streetscape that invites retailers to stay.

Via Roble has been a catalyst for new development with similar residential projects being developed in the area. In addition, a number of mixed-use developments with condominium-ownership and commercial development are planned in the area.

Via Roble demonstrates how a mixed-use development can eliminate unsafe conditions and be successfully integrated into a community, making a place where people want to live and shop.

Key Officials

RDA Board Members

Lori Holt Pfeiler, Chair; Ed Gallo, Vice Chair; Marie Waldron, Commissioner; Ron Newman, Commissioner; Sam Abed, Commissioner

Key Agency Staff Members

Jerry VanLeeuwen, Director of Housing & Neighborhood Services; Beverly Peterka, Housing Division Manager; Roni Keiser, Management Analyst

Project Developer

Trinity Housing Group (Steve Kuptz)

Project Architect

Rodriguez & Simon Design Associates

Other Project Partners

Wakeland Housing & Development Corp. (Ken Sauder)



Steve Kuptz, President, Trinity Housing Group; Lori Pfeiler, Mayor, City of Escondido; Beverly Peterka, Housing Division Manager, City of Escondido; Roni Keiser, Management Analyst, City of Escondido; Ken Sauder, President/CEO, Wakeland Housing & Development Corporation

The background of the slide is a composite image. On the left, there is a photograph of a playground with children playing on a structure. On the right, there is a photograph of a multi-story apartment building with a modern design, surrounded by trees and a paved area.

City of Escondido

CRA

Award of Excellence

2006

Mixed-Use
Development

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Shopkeeper Units
Street Side



CRA Award of Excellence
2006
Mixed-Use Development

Via
Roble

City of Escondido



Shopkeeper Units

Back Side

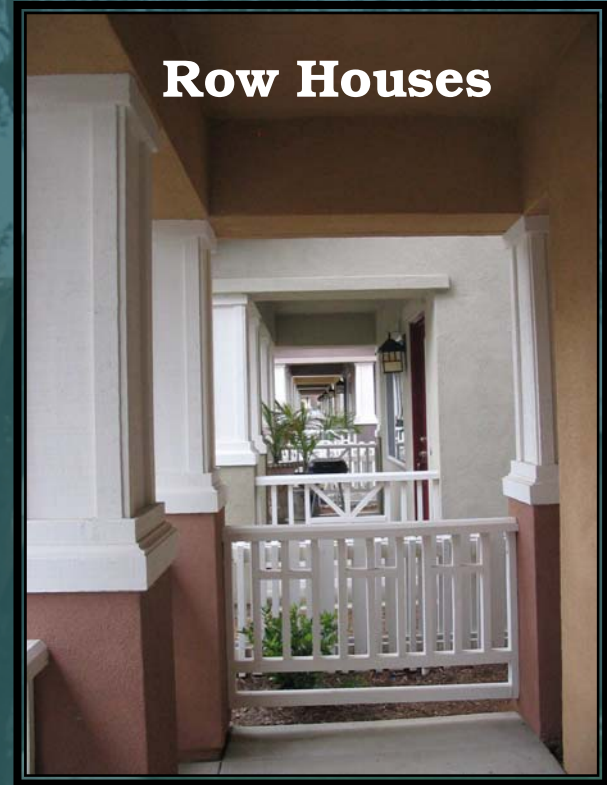
*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Row Houses



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Affordable Rentals

*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido

PROJECT FINANCING

Predevelopment Loan \$1.2M

GMAC Financing \$9.2M

Redevelopment Funds \$4.2M

Low Income Tax Credit Equity \$2.8M

CALHFA Loan \$1.85M

*CRA Award of Excellence
2006*

Mixed-Use Development

*Via
Roble*

The background of the slide is a composite image. On the left, there is a photograph of a playground with children playing on a wooden structure. On the right, there is a photograph of a modern, multi-story apartment complex with a large tree in front of it. The entire background is overlaid with a semi-transparent blue filter.

City of Escondido

- Nine Shopkeeper Units
- Ten Detached Single-Family Homes
- Seventy Two Affordable Rental Units

*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



This oak tree was saved.

*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Tree that was saved



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido

**Community
Resource Room**



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

The background of the slide is a composite image. On the left, there is a photograph of a playground with children playing on a structure. On the right, there is a photograph of a multi-story residential building with a modern architectural style, featuring large windows and a mix of light and dark tones. The entire background is overlaid with a semi-transparent dark teal filter.

City of Escondido

CRA

Award of Excellence

2006

Mixed-Use
Development

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Shopkeeper Units
Street Side



CRA Award of Excellence
2006
Mixed-Use Development

Via
Roble

City of Escondido



Shopkeeper Units

Back Side

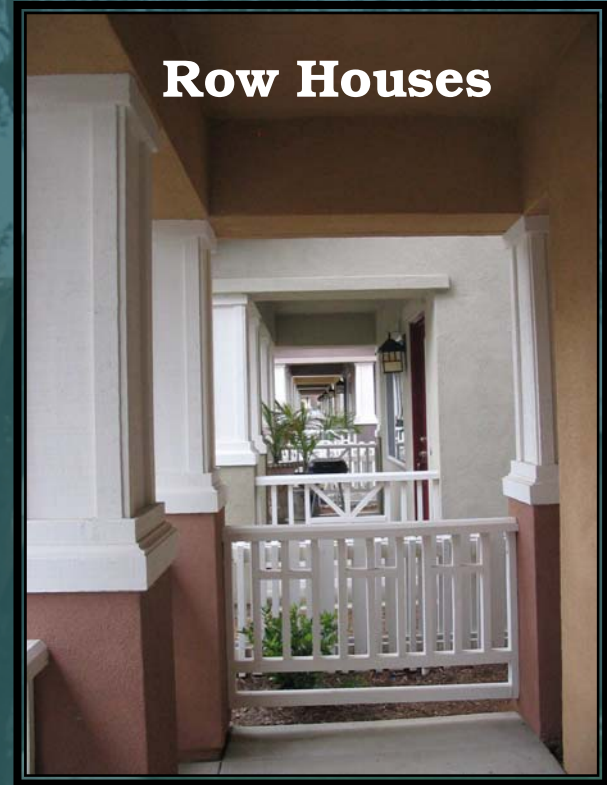
*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Row Houses



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Affordable Rentals

*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido

PROJECT FINANCING

Predevelopment Loan \$1.2M

GMAC Financing \$9.2M

Redevelopment Funds \$4.2M

Low Income Tax Credit Equity \$2.8M

CALHFA Loan \$1.85M

*CRA Award of Excellence
2006*

Mixed-Use Development

*Via
Roble*

The background of the slide is a composite image. On the left, there is a photograph of a playground with children playing on a wooden structure. On the right, there is a photograph of a modern, multi-story apartment complex with a large tree in front of it. The entire background is overlaid with a semi-transparent blue filter.

City of Escondido

- Nine Shopkeeper Units
- Ten Detached Single-Family Homes
- Seventy Two Affordable Rental Units

*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



This oak tree was saved.

*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



Tree that was saved



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido

**Community
Resource Room**



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*

City of Escondido



*CRA Award of Excellence
2006
Mixed-Use Development*

*Via
Roble*